



**Study Session Agenda
City of Council Bluffs, Iowa
November 27, 2023, 3:45 PM
Council Chambers, 2nd Floor, City Hall
209 Pearl Street**

STUDY SESSION AGENDA

- A. IWF Grant Awards for Cycle 3 - Brenda Mainwaring
- B. Advanced Southwest Iowa 2023 Update - Paula Hazlewood
- C. Review Agenda



**Council Agenda, City of Council Bluffs, Iowa
Regular Meeting November 27, 2023, 7:00 PM
Council Chambers, 2nd Floor, City Hall
209 Pearl Street**

AGENDA

1. PLEDGE OF ALLEGIANCE

2. CALL TO ORDER

3. CONSENT AGENDA

- A. Approval of Agenda and tape recordings of these proceedings to be incorporated into the official minutes.
- B. Reading, correction and approval of the November 13, 2023 City Council Meeting Minutes.
- C. Ordinance 6594
Ordinance to amend the zoning map as adopted by reference in Section 15.27.020 and setting a public hearing for December 18, 2023 at 7:00 p.m. by appending a Planned Residential Overlay onto property legally described as Lot 65, City Acres, as defined in Chapter 15.28. Location: 2637 Avenue 'L'. PR-23-006
- D. Resolution 23-302
Resolution to accept the work of Meco-Henne, Inc. and release retainage in the amount of \$141,353.67 to Meco-Henne, Inc.
- E. Resolution 23-318
Resolution to accept the work and release remaining funds in the amount of \$3,825.29 to United Utilities and Excavating, LLC for the Fairmount Park Road Erosion Repair and Storm Water Management, PR24-08
- F. Resolution 23-319
Resolution setting a Public Hearing for December 18, 2023 at 7:00 p.m. for the Prospect Park playground upgrade, project #PR24-16
- G. Resolution 23-324
Resolution setting a Public Hearing for December 18, 2023 at 7:00 p.m. for intent to enter into an agreement for Permanent Easement for Retaining Wall with David K. Reed and Lisa Parmely.
- H. Notice of Right of Redemption
- I. Claim

4. PUBLIC HEARINGS

A. Resolution 23-320

Resolution approving the plans, specifications, form of contract and cost estimate for the Mid-America Center Sound System. Project # BM-24-03

B. Resolution 23-321

Resolution to dispose of City property described as former Wabash Railroad right-of-way across Lots 7-12, Block 28, Fleming and Davis' Addition. Location: Former railroad right-of-way running adjacent to the north of 1704 14th Avenue. OTB-23-008

C. Resolution 23-322

Resolution to dispose of City-owned property described as Lot 3, Block 3, Twin City Place. Location: 2709 2nd Avenue. OTB-23-009

D. Resolution 23-323

Resolution approving the City of Council Bluffs FY25-FY29 Capital Improvement Program (CIP).

5. RESOLUTIONS

A. Resolution 23-325

Resolution accepting the bid of Neuvirth Construction, Inc. for the N. 28th Street Storm Sewer Rehab, Phase IV. Project #PW24-11

B. Resolution 23-326

Resolution authorizing a joint application to the Iowa Economic Development Authority by the City of Council Bluffs and Acadia Healthcare Company, Inc. for benefits under the Targeted Jobs Withholding Tax Credit Program.

C. Resolution 23-327

Resolution authorizing the City Clerk to certify assessments against properties to the Pottawattamie County Treasurer for unreimbursed costs incurred by the City for the abatement of weeds and the removal of solid waste nuisances upon properties and directing them to be collected in the same manner as a property tax.

D. Resolution 23-328

Resolution confirming the appointment of Malina Dobson as Assistant City Attorney II, effective date of January 9, 2024.

6. APPLICATIONS FOR PERMITS AND CANCELLATIONS

A. Liquor Licenses

1. Grand Venue LLC, 4040 South Expressway Street (contingent upon approval of final inspection of Fire, Zoning and Building)
2. Hooters of Council Bluffs, 2910 23rd Avenue

B. Liquor License

St. Patrick's Catholic Church, 4 Valley View Drive

- 7. OTHER BUSINESS**
- 8. CITIZENS REQUEST TO BE HEARD**
- 9. ADJOURNMENT**

DISCLAIMER:

If you plan on attending this meeting and require assistance please notify the City Clerk's office at (712) 890-5261, by 5:00 p.m., three days prior to the meeting.



City Council Meeting Minutes November 13, 2023

CALL TO ORDER

Mayor Walsh called the meeting to order at 7:00 p.m. on Monday November 13, 2023.

Council Member present: Joe Disalvo, Steve Gorman, Chad Hannan, Chris Peterson and Roger Sandau.

Staff present: Brandon Garrett, Amanda Kopera, Jodi Quakenbush and Richard Wade.

CONSENT AGENDA

Approval of Agenda and tape recordings of these proceedings to be incorporated into the official minutes.

Reading, correction and approval of the October 23, 2023 City Council Meeting Minutes.

Resolution 23-298

Resolution setting a public hearing for 7:00 p.m. on November 27, 2023 for the Mid-America Center Sound System. Project # BM-24-03

Resolution 23-299

Resolution of intent to dispose of and setting a public hearing for November 27, 2023 at 7:00 p.m. for City owned property legally described as Lot 3, Block 3, Twin City Place. Location: 2709 2nd Avenue. OTB-23-009

Resolution 23-300

Resolution of intent to dispose of and setting a public hearing for November 27, 2023 at 7:00 p.m. for City property legally described as former Wabash Railroad right-of-way across Lots 7-12, Block 28, Fleming and Davis' Addition. Location: Former railroad right-of-way running adjacent to the north of 1704 14th Avenue. OTB-23-008

Resolution 23-301

Resolution setting a public hearing for November 27, 2023 at 7:00 p.m. for the FY25-FY29 Capital Improvement Program (CIP).

Notice of Right of Redemption and Claims.

Roger Sandau and Chad Hannan moved and seconded approval of Consent Agenda. Unanimous, 5-0 vote.

PUBLIC HEARINGS

Ordinance 6578

Ordinance to amend the zoning map as adopted by reference in Section 15.27.020 by rezoning property legally described as the E ½ of the NE ¼ SE ¼ of Section 10-74-44, except for Richard Downing Avenue right-of-way, and Lot 2, South 24th and Highway 275 Industrial, from A-2/Parks, Estates and Agricultural District to A-P/Administrative-Professional District as defined in chapter 15.13 with specific requirements described in the Council packet. Location: Undeveloped property at the southwest corner of South 24th Street and Richard Downing Avenue. ZC-23-014

Heard from: Dave Bird, Miles Krammer and Chip Hill.

Chad Hannan and Roger Sandau moved and seconded approval of second consideration of Ordinance 6578. Unanimous, 5-0 vote.

Chad Hannan and Roger Sandau moved and seconded approval of Motion to waive third consideration of Ordinance 6578. Ordinance passes to law. Unanimous, 5-0 vote.

Ordinances 6579, 6580, 6581 and 6582

Ordinance 6579 to amend Title 3 Business Regulations and Licenses by repealing existing Chapter 3.31 "Rubble Dumps".

Ordinance 6580 to amend Chapter 3.32 Junk, Salvage, Scrap Processing and Storage Yards by repealing existing Sections 3.32.020 "License Required", 3.32.030 "Application for License", 3.32.040 "License Application Grant or Denial"; Section 3.32.050 "License Required for Each Separate Location"; Section 3.32.140 "Suspension and Revocation"; Section 3.32.150 "Effect of Revocation"; Section 3.32.170 "Fee" and Section 3.32.180 "Duration and Renewal".

Ordinance 6581 to amend Chapter 15.24 Supplemental Use and Site Development Regulations by enacting new Section 15.24.110, "Salvage and Storage Yard Regulations" and new Section 15.24.120, "Rubble Dumps".

Ordinance 6582 to amend Chapter 15.03 Zoning Definitions by enacting new section 15.03.527 "Parking Lot" and amending Section 15.03.609 "Storage Yard". ZT-23-005

Chad Hannan and Joe Disalvo moved and seconded approval of second consideration of Ordinances 6579, 6580, 6581 and 6582. Unanimous, 5-0 vote.

Chad Hannan and Roger Sandau moved and seconded approval of Motion to waive third consideration of Ordinances 6579, 6580, 6581 and 6582. Ordinances pass to law. Unanimous, 5-0 vote.

Resolution 23-303

Resolution approving the plans and specifications for the Benton Street Bridge over Indian Creek. Project #PW23-13

Joe Disalvo and Roger Sandau moved and seconded approval of Resolution 23-303. Unanimous, 5-0 vote.

ORDINANCES ON 2ND READING

Ordinances 6583, 6584, 6585, 6586, 6587 as amended, 6588, 6589, 6590 and 6591

Ordinances 6583 through 6591 amending Title 3, Business Regulation and Licenses as shown in Council packet.

Roger Sandau and Chad Hannan moved and seconded approval of second consideration of Ordinances 6583, 6584, 6585, 6586, 6587, 6588, 6589, 6590 and 6591. Unanimous, 5-0 vote.

Chad Hannan and Joe Disalvo moved and seconded approval of Motion to waive third consideration of Ordinances 6583, 6584, 6585, 6586, 6587, 6588, 6589, 6590 and 6591. Ordinances pass to law. Unanimous, 5-0 vote.

Ordinances 6592 and 6593

Ordinance 6592 to repeal Ordinance No. 5498 which established the Tract II Industrial Park Urban Revitalization Area within the City of Council Bluffs. URV-01-010

Ordinance 6593 to repeal Ordinance No. 5823 which established the South 19th Street Urban Revitalization Area within the City of Council Bluffs. URV-04-004

Joe Disalvo and Chad Hannan moved and seconded approval of second consideration of Ordinances 6592 and 6593. Unanimous, 5-0 vote.

Chad Hannan and Roger Sandau moved and seconded approval of Motion to waive third consideration of Ordinances 6592 and 6593. Ordinances pass to law. Unanimous, 5-0 vote.

ORDINANCES ON 3RD READING

Reconsider Ordinance 6568

Ordinance to amend the zoning map as adopted by reference in section 15.27.020 by rezoning property legally described as the south 100 feet of Lot 1 and all of Lots 2 and 3, all in Block 16, Bayliss First Addition from R-3/Low Density Multifamily Residential District to C-1/Commercial District, as defined in chapter 15.14. Location: Undeveloped land lying at the northeast corner of North 7th Street and Mynster Street intersection. ZC-23-013

Chad Hannan and Roger Sandau moved and seconded approval of Motion to deny Ordinance 6568. Ordinance fails.. Unanimous, 5-0 vote.

RESOLUTIONS

Resolution 23-304

Resolution to adopt the current Schedule of Fees for 2023, Version 2, dated November 13, 2023.

Steve Gorman and Chris Peterson moved and seconded approval of Resolution 23-304. Unanimous, 5-0 vote.

Resolution 23-305, 23-306, 23-307 and 23-308

Resolutions 23-305, 23-306, 23-307 and 23-308 authorizing Interfund Loan approval for FY25 TIF Certifications.

Chad Hannan and Steve Gorman moved and seconded approval of Resolutions 23-305, 23-306, 23-307 and 23-308. Unanimous, 5-0 vote.

Resolution 23-309

Resolution authorizing for annual certification for Tax Increment Financing Indebtedness.

Chad Hannan and Steve Gorman moved and seconded approval of Resolution 23-309. Unanimous, 5-0 vote.

Resolution 23-310

Resolution authorizing the Mayor to execute an agreement with the Iowa West Foundation for the Housing Development Program and authorizing \$2 million in American Rescue Plan Act (ARPA) Revenue Loss funds to support the required local match.

Steve Gorman and Chad Hannan moved and seconded approval of Resolution 23-310. Unanimous, 5-0 vote.

Resolution 23-311

Resolution to return property to the City legally described as Lot 10, Blk 11, Crawford's Addition. Location East of 926 Ave H OTB-22-001

Roger Sandau and Steve Gorman moved and seconded approval of Resolution 23-311. Unanimous, 5-0 vote.

Resolution 23-312

Resolution adopting a site-specific development plan for a new behavioral healthcare hospital on property legally described as the E ½ of the NE ¼ SE ¼ of Section 10-74-44, except for Richard Downing Avenue right-of-way, and Lot 2, South 24th and Highway 275 Industrial. Location: Undeveloped property at the southwest corner of South 24th Street and Richard Downing Avenue. MIS-23-009

Roger Sandau and Chad Hannan moved and seconded approval of Resolution 23-312. Unanimous, 5-0 vote.

Resolution 23-313

Resolution approving the Annual Urban Renewal Report for Fiscal Year 2022-2023.

Steve Gorman and Joe Disalvo moved and seconded approval of Resolution 23-313. Unanimous, 5-0 vote.

Resolution 23-314

Resolution declaring the Purchase, Sale, and Development Agreement by and between the City of Council Bluffs and CB-WLG Affordable Limited Partnership terminated in its entirety and approving and authorizing execution, delivery, and recording of the Notice of Termination.

Steve Gorman and Joe Disalvo moved and seconded approval of Resolution 23-314. Unanimous, 5-0 vote.

Resolution 23-315

Resolution approving city depositories as required by the Code of Iowa, Section 12.C.2.

Roger Sandau and Chad Hannan moved and seconded approval of Resolution 23-315. Unanimous, 5-0 vote.

Resolution 23-316

Resolution approving Policy 505-Vacations.

Joe Disalvo and Steve Gorman moved and seconded approval of Resolution 23-316. Unanimous, 5-0 vote.

Resolution 23-317

Resolution authorizing the Mayor to execute an agreement for the consent to subdivision and petition for voluntary annexation of parcel number 744309326001, otherwise identified as 20387 Cardinal Lane, between City of Council Bluffs and Kelly J. Hassler.

Steve Gorman and Joe Disalvo moved and seconded approval of Resolution 23-317. Unanimous, 5-0 vote.

APPLICATIONS FOR PERMITS AND CANCELLATIONS

Liquor Licenses: 1) 712, 1851 Madison Ave; 2) Casey's General Store #3050, 510 23rd Ave; 3) Council Bluffs Sinclair, 1305 N 25th St; 4) Goldmine Bar & Grill, 1601 Harry Langdon Blvd; 5) Oskies For Sports, 1851 Madison Ave; 6) Pizza King, 1101 N. Broadway; 7) Rustic Cuts LLC, 501 Veterans Memorial Highway

Chad Hannan and Joe Disalvo moved and seconded approval of Applications for permits and cancellations, 8A 1-7, liquor licenses. Unanimous, 5-0 vote.

CITIZENS REQUEST TO BE HEARD

None

ADJOURNMENT

Mayor Walsh adjourned the meeting at 7:28 pm.

The tape recording of this proceeding, though not transcribed, is part of the record of each respective action of the City Council. The tape recording of this proceeding is incorporated into these official minutes of this Council meeting as if they were transcribed herein.

Matthew J. Walsh, Mayor

Attest: Jodi Quakenbush, City Clerk

Council Communication

Department: Community
Development
Case/Project No.: PR-23-006
Submitted by: Moises Monrroy,
Planner

Ordinance 6594
ITEM 3.C.

Council Action: 11/27/2023

Description

Ordinance to amend the zoning map as adopted by reference in Section 15.27.020 and setting a public hearing for December 18, 2023 at 7:00 p.m. by appending a Planned Residential Overlay onto property legally described as Lot 65, City Acres, as defined in Chapter 15.28. Location: 2637 Avenue 'L'. PR-23-006

Background/Discussion

See attached staff report.

Recommendation

ATTACHMENTS:

Description	Type	Upload Date
Staff Report	Staff Report	11/17/2023
Attachment A: Location/Zoning Map	Map	11/17/2023
Attachment B: Plot Plan	Other	11/17/2023
Attachment C: Building Plans	Other	11/17/2023
Attachment D: Architectural Rendering	Other	11/17/2023
Corrected PH Notice	Notice	11/20/2023
Ordinance 6594	Ordinance	11/20/2023

City Council Communication

<p>Department: Community Development</p> <p>CASE #PR-23-006</p> <p>Applicant/Property Owner: Jamie Augustine 8129 Fort Street Omaha, NE 68134</p>	<p>Ordinance No. _____</p> <p>Resolution No. _____</p>	<p>City Council</p> <p><u>PR Overlay</u></p> <p>1st Consideration: 11/27/2023 2nd Consideration: 12/12/23 3rd Consideration: 1/08/2024</p> <p><u>PR Development Plan</u>: 1/08/2024</p> <p>Planning Commission: 11/14/2023</p>
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Subject/Title

Request: Public hearing on the request of Jamie Augustine to append a PR-2/Planned Residential Overlay onto property legally described as Lot 65, City Acres, City of Council Bluffs, Pottawattamie County, Iowa, and to adopt the associated development plan.

Location: 2637 Avenue ‘L’

Background/Discussion

The Community Development Department has received a request from Jamie Augustine to append a planned residential overlay onto property legally described as Lot 65, City Acres, City of Council Bluffs, Pottawattamie County, Iowa, and to adopt the associated development plan. The purpose of this request is to allow the applicant to construct a three-unit residential structure on the subject property, which is zoned R-1/Single-Family Residential District.

The applicant acquired the subject property earlier this year. Subsequently, the applicant submitted a request to append a planned residential overlay onto the subject property in order to construct two single-family dwellings on one parcel of land, but withdrew his application prior to the meeting with the City Planning Commission. The applicant is now proposing to build a three-unit residential structure on the subject property. The proposed structure would be considered a ‘townhouse dwelling,’ which is defined in Section 15.03.236 of the Council Bluffs Municipal Code (Zoning Ordinance) as “*a series of attached single-family dwellings separated by exterior quality walls or a common wall between units as required by Council Bluffs Building Code, except that the minimum number of abutting dwelling units in any townhouse series shall be three. Each dwelling shall front wholly and directly on a public street, or upon a courtyard or way through which the owner of the townhouse dwelling unit has legally guaranteed ingress and egress to a public street.*” The subject property had been previously developed as ‘single-family dwelling, detached.’ The proposed townhouse will be one story tall and have a slab foundation. Each dwelling unit will contain a one-stall, front-loaded attached garage with direct access onto Avenue ‘L.’

A ‘townhouse dwelling’ is not a permitted use in the R-1 District. As per Section 15.28.020 of the Council Bluffs Municipal Code (Zoning Ordinance), a PR-2 Overlay for site-specific infill development may be applied to any property zoned R-1, R-1E, R-2, R-3, or R-4 if it contains no more than 1 ½ acres of total land area and includes one of the following:

- A minimum of two (2) residential structures.

- **A minimum of one (1) residential structure that contains a minimum of three (3) dwelling units.**
- A minimum of one (1) mixed commercial-residential structure.

The proposed planned residential overlay would allow the applicant to construct a ‘townhouse dwelling’ on the subject property.

Property Owner Notification – Public notices were mailed to all property owners within 200 feet of the request. The Community Development Department received the following comment:

- A. Penny Farrell, owner of 2623 Avenue ‘L,’ stated she is opposed to the request as she is concerned there is not sufficient space at this site to accommodate an adequate amount of off-street parking for three dwelling units. Mrs. Farrell also expressed concern regarding the amount of traffic that could be generated as a result of the construction of the proposed townhouse. Mrs. Farrell stated she is also concerned the development will have an adverse impact on her privacy if the proposed townhouse is located on the south side of the subject property. The Community Development Department explained the proposed townhouse would be located 25 feet from the front property line, which would be consistent with existing development in the surrounding area. Additionally, property addressed at 2627 Avenue ‘L’ separates the subject property and Mrs. Farrell’s residence, thus visibility into her property from the proposed townhouse should be minimal. Mrs. Farrell stated the subject property should only be developed with a single-family dwelling.
- B. The public notice mailed to Clarence A. and Leanna McDonald (2626 Avenue ‘J’) was returned as undeliverable.

City Departments and Utilities – All appropriate City departments and utilities were notified of the proposed planned residential overlay. The following comments were received:

- A. The Council Bluffs Public Works Department stated the applicant will be required to install a sidewalk adjacent to Avenue ‘L.’
- B. The Council Bluffs Parks and Recreation Department stated they have no comments or concerns regarding the request.
- C. The Council Bluffs Police Department stated they have no comments or objections regarding the request.
- D. The Council Bluffs Fire Department stated they have no comments on the request.
- E. Council Bluffs Water Works stated they have no comments on the request.

Planned Residential Development Plan – Section 15.28.010, Statement of Intent, PR/Planned Residential Overlay, of the Council Bluffs Municipal Code (Zoning Ordinance) states that “*the Planned Residential Overlay is established to permit flexibility in the use and design of structures and land in situations where conventional development may be inappropriate and where modifications of requirements of the underlying zone would not be inconsistent with the comprehensive plan or harmful to the surrounding neighborhoods.*” The purpose of this request is to allow the applicant to construct a three-unit residential structure on the subject property, which is zoned R-1/Single-Family Residential District.

A. Site Development

1. In order to maintain a consistent street wall that enhances pedestrian interest and maintains the aesthetic quality of the area, the proposed homes shall be built within a build-to zone defined by a minimum front yard setback of 20 feet and a maximum front yard setback of 30 feet.
 - a. The submitted plot plan (see Attachment 'B') shows the proposed townhouse will have a front yard setback of 25 feet.
2. The minimum required interior side yard setback for the proposed townhouse shall be five feet.
 - a. The submitted plot plan (see Attachment 'B') shows the proposed townhouse will have an interior side yard setback of six and a half feet.
3. All principal and accessory structures shall comply with all other site development standards (i.e., rear yard setback, building height, and lot coverage) in Section 15.08B.050, Site Development Regulations, R-1/Single-Family Residential District, of the Municipal Code (Zoning Ordinance).
 - a. The submitted plot plan (see Attachment 'B') shows the proposed townhouse will have a rear yard setback of 193 feet.
 - b. The submitted floor plan (see Attachment 'C') shows the proposed townhouse will comply with R-1 District lot coverage requirements.
 - c. The submitted building elevations (see Attachment 'C') show the proposed townhouse will measure approximately 25 feet in height, and thus will not exceed the maximum height allowed for principal structures in the R-1 District.
4. Building features may project into required yards to the extent and under the conditions and limitations in Section 15.24.060, Yard Exceptions and Permitted Intrusions into Required Yards, of the Council Bluffs Municipal Code (Zoning Ordinance).
5. All fences and walls shall be installed in accordance with Section 15.24.040, Fence Regulations, of the Council Bluffs Municipal Code (Zoning Ordinance).
6. All site lighting shall comply with the standards in Section 15.24.050, Lighting Controls, of the Council Bluffs Municipal Code (Zoning Ordinance).

B. Off-Street Parking

1. The required number of off-street parking spaces for the proposed townhouse shall be based on the standards in Section 15.23.060, Parking Spaces Required, of the Municipal Code (Zoning Ordinance).
 - a. A minimum of six parking spaces will be required for the proposed townhouse. Each unit will have a one-stall attached garage, which would not provide the required amount of off-street parking for the development. In order to meet minimum off-street parking requirements, the driveways shall be included in the total parking count for the development.
2. All parking/loading areas, driveways and drive aisles shall comply with the standards in Chapter 15.23, Off-Street Parking, Loading and Unloading, of the Council Bluffs Municipal Code (Zoning Ordinance).

C. Landscaping

1. The applicant did not provide a landscaping plan for the proposed development. The Community Development Department recommends that a total of two street trees be planted at this site prior to the issuance of the Certificate of Occupancy for the proposed townhouse. Required street trees shall be generally evenly spaced apart along the entire length of the frontage.
2. All tree species planted along the frontage of a public right-of-way shall comply with the Council Bluffs Street Tree Guide and be reviewed and approved by the City prior to installation.

D. Architecture

1. The submitted building elevations show the proposed townhouse will be one story tall with a slab foundation and front-loaded garages, and will be primarily constructed out of siding. To enhance the architectural design of the proposed townhouse and maintain the appearance of the surrounding area through the use of high quality, durable materials, the Community Development Department recommends that a minimum of 10% of the front façade be made of brick, stone or tile. Masonry materials shall be located primarily along the base of the building.

E. Signage

1. A signage plan was not submitted with the development plan. Only exempt signs and temporary signs shall be permitted on the subject property, in accordance with Sections 15.33.080 and 15.33.090 of the Council Bluffs Municipal Code (Zoning Ordinance).

Recommendation

The Community Development Department recommends approval of the request to append a PR-2/Planned Residential Overlay onto property legally described as Lot 65, City Acres, City of Council Bluffs, Pottawattamie County, Iowa, and to adopt the associated development plan, subject to the comments stated above and the following condition:

- A. Any modifications to the approved development plan which substantially alter the design, layout, configuration, and/or appearance of the project shall be reviewed the City Planning Commission and approved by City Council prior to such changes being made. All minor modifications to the adopted development plan may be administratively approved by the Community Development Director.

Public Hearing

Staff speakers for the request:

1. Moises Monroy, Planner, City of Council Bluffs, 209 Pearl Street, Council Bluffs, IA 51503
2. Christopher Gibbons, Planning Manager, City of Council Bluffs, 209 Pearl Street, Council Bluffs, IA 51503

Speaker in favor:

1. Jamie Augustine, 8129 Fort Street, Omaha, NE 68134

Speakers against:

1. Jacob Hedges, 2647 Avenue L, Council Bluffs, IA 51501
2. Amber Hedges, 2647 Avenue L, Council Bluffs, IA 51501
3. Javier Hernandez, 2627 Avenue L, Council Bluffs, IA 51501
4. Connie Myers, 2645 Avenue L, Council Bluffs, IA 51501

The City Planning Commission recommended approval of the request to append a PR-2/Planned Residential Overlay onto property legally described as Lot 65, City Acres, City of Council Bluffs, Pottawattamie County, Iowa, and to adopt the associated development plan, subject to the comments stated above and the following condition:

- A. Any modifications to the approved development plan which substantially alter the design, layout, configuration, and/or appearance of the project shall be reviewed the City Planning Commission and approved by City Council prior to such changes being made. All minor modifications to the adopted development plan may be administratively approved by the Community Development Director.

VOTE: AYE – Bass, Knauss, Rater, Rew, and Stroebele. NAY – Hutcheson and Watson. ABSTAIN – None. ABSENT – Bailey, Opperman, and VanHouten. VACANT - One Motion: Carried.

Attachments

- Attachment A: Location/Zoning Map
- Attachment B: Plot Plan
- Attachment C: Building Plans
- Attachment D: Architectural Rendering

Prepared by: Moises Monrroy, Planner, Community Development Department

CITY OF COUNCIL BLUFFS - CITY PLANNING COMMISSION CASE #PR-23-006 LOCATION/ZONING MAP

Legend

 Subject Property

0 30 60



1 Inch = 63 Feet



Last Amended: 10/19/2023



Council Bluffs Community
Development Department
209 Pearl Street
Council Bluffs, IA 51503
Telephone: (712) 890-5350

DISCLAIMER

This map is prepared and compiled from City documents, plans and other public records data. Users of this map are hereby notified that the City expressly denies any and all responsibilities for errors, if any, in the information contained on this map or the misuse of the same by the user or anyone else. The user should verify the accuracy of information/data contained on this map before using it. The City assumes no legal responsibility for the information contained on this map.



Attachment 'C'

GENERAL NOTES & DESIGN CRITERIA

DESIGN LOADS:

- * Floor: 40 psf. live 15 psf. dead
- * Roof: 30 psf. live 10 psf. dead
- * Ceiling: 10 psf. dead
- * Soil bearing Capacity - 1500 PSF
- * Live loads, dead loads, wind loads, snow loads, lateral loads, seismic zoning and any specialty loading conditions will need to be confirmed before construction and adjustments to plans made accordingly. See your local building officials for verification of your specific load data, zoning restrictions and site conditions.

CONCRETE AND FOUNDATIONS:

- * All foundation walls and slabs on grade shall be 3000 PSI (28-day compressive strength concrete), unless noted otherwise.
- * All interior slabs on grade shall bear on 4" compacted granular fill with 6 mil. polyethylene vapor barrier underneath.
- * Provide proper expansion and control joints as per local requirements.
- * All 36" x 36" x 18" concrete pads to have (3) #5 rods each way.
- * All 48" x 48" x 18" concrete pads to have (4) #5 rods each way.
- * Foundation walls are not to be backfilled until properly braced.
- * Verify depth of frost footings with your local codes.
- * Provide termite protection as required by HUD minimum property standards.
- * Foundation bolts must be anchored to sill plate with 1/2" bolts embedded 15" in concrete walls.

REBAR & BOLT SCHEDULE:

BAR SIZE AND SPACING	VERTICAL	HORIZONTAL
8" Wall thickness	#4 @ 16" o.c.	#5 @ 16" o.c.
10" Wall thickness (w-brick)	#4 @ 12" o.c.	#5 @ 16" o.c.

EXTERIOR FILL	BOLT SPACING
0" to 3'-6"	72" o.c.
3'-7" to 6'-0"	48" o.c.
6'-1" to 7'-0"	32" o.c.
Over 7'-0"	Additional engineering may be required

STEEL:

- * All structural steel for beams and plates shall comply with ASTM specification A-36.
- * All structural steel for steel columns shall comply with ASTM specification A-53 Grade B or A-501.
- * All reinforcing steel for concrete shall comply with ASTM specification A-615 Grade 60.
- * Provide steel shims in all beam pockets.
- * Steel columns are to be 3" I.D. (inside diameter) unless noted otherwise.

FRAMING MEMBERS:

- * Unless noted otherwise, all framing lumber shall have the following characteristics:
Fb = 1,000 psi Fv = 75 psi E = 1,400,000 psi
- * Contractor to confirm the size, spacing and stress characteristics of all framing and structural members to meet your local code requirements.
- * Hole sizes and locations in GluLam or Laminated Veneered Lumber members are to be confirmed by a professional engineer.
- * Any structural or framing members not indicated on the plan are to be sized by contractor.
- * Double floor joists under all partition walls, unless noted otherwise.
- * All subflooring is assumed to be 3/4" thick - Glued & Nailed
- * All exterior walls are dimensioned to outside of 1/2" sheathing.
- * All exterior walls are 4" (3 1/2" stud plus 1/2" sheathing), All interior walls are 3 1/2" unless otherwise shown.
- * Calculated dimensions take precedence over scaled dimensions.
- * All Main level walls are 9'-1 1/8" high unless otherwise noted or implied.
- * All angled walls on floor plans are at 45 degree angle, unless otherwise noted.

FRAMING MEMBERS (continued):

- * Any wall 12'-0" high or higher shall be 2x6 and balloon framed.
- * Unless noted otherwise, above all openings that are:
(1) Load bearing and less than or equal to 3 ft. use 4x6.
(2) Load bearing and more than 3 ft. use (2) 2x12 w/1/2" Plywood between.
(3) Non-load bearing and less than or equal to 6 ft. use 4x6.
(4) Non-load bearing and more than 6 ft. use (2) 2x12 w/1/2" Plywood between.
- (5) All exterior openings use (2) 2x12 w/1/2" Plywood between.
- * All trusses to be engineered by truss manufacturer according to the loading indicated on this plan.
- * All exterior corners shall be braced in each direction with let-in diagonal bracing or plywood.
- * Place (1) row of 1" x 3" cross-bridging on all spans over 8'-0" and (2) rows of 1" x 3" cross-bridging on all spans over 16'-0".
- * Collar ties are to be spaced 4'-0" o.c.
- * All purlins and kickers are to be 2x6's, unless noted otherwise.
- * Any hip or valley rafters over a 28'-0" span are to be Laminated Veneer Lumber (L.V.L.).

MISC. NOTES:

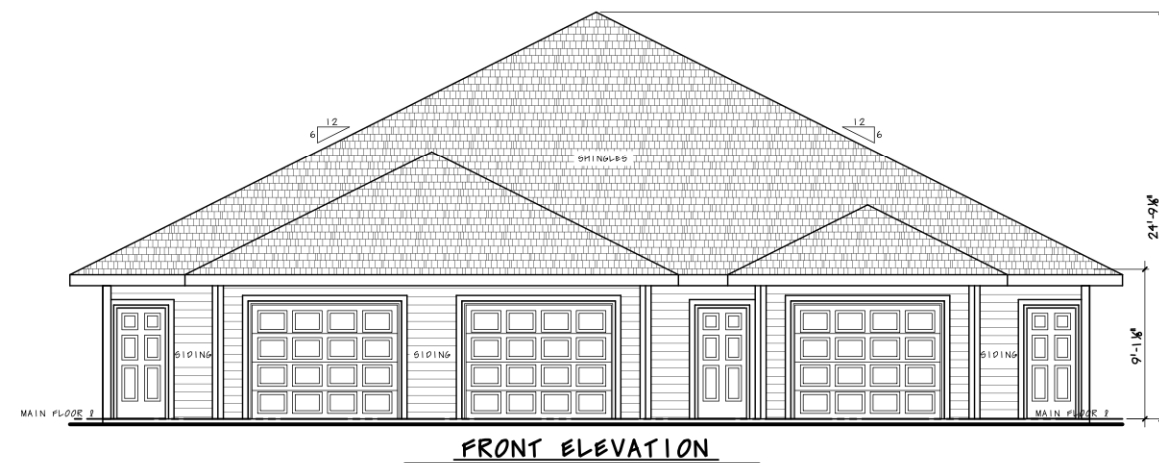
- * Prefabricated fireplaces and flues are to be U.L. approved and installed as per manufacturer's specifications.
- * All materials, supplies and equipment to be installed as per manufacturer's specifications and as per local codes and requirements.
- * Note: Provide proper insulation for all plumbing.
- * 1/2" water-resistant drywall around showers, tubs and whirlpools.
- * 1/2" drywall on interior walls and ceilings.
- * 5/8" type "X" fire code drywall on garage walls and ceilings.
- * Windows are called out by glass size only.
- * Windows, if not noted, are assumed to be casements.
- * Header heights are labeled to bottom of arched transoms
- * Confirm window openings for your local egress requirements and minimum light and ventilation requirements.
- * Headroom at stairs shall have a minimum clearance of 6'-8" high.
- * Provide proper handrails at stairs as per local code.
- * The mechanical and electrical layouts are suggested only. Consult your mechanical and electrical contractors for exact specifications, locations and sizes.
- * Jog flue to rear of ridge as necessary.
- * Note: Provide proper wiring for all electrical appliances, mechanical equipment and whirlpools as per manufacturer's specifications.
- * All air conditioner locations may vary depending on restrictive covenants and codes.
- * Typical overhang sizes unless noted otherwise on drawing are as follows:
On pitches of 4/12 - 5/12 - 6/12 = 24" overhang
7/12 = 20" overhang
8/12 = 16" overhang
9/12 = 16" overhang
10/12 - 11/12 - 12/12 = 12" overhang
- * Note: Adjust overhangs to provide clearance for windows to open. Adjust overhangs to maintain a consistent level when the plans call for (2) different pitches at a hip.
- * Minor alterations to this plan can be made by builder. Please contact our drafting department for information and price quotes if major changes are required.
- * Plan Pros, Inc. determines finished square footage by measuring to the outside of all walls. We include: interior fireplaces and every location in which the floor joists project from the foundation. We do not include: window boxes where the floor joists do not project from the foundation; 2-story entries; exterior fireplaces; garage; decks; patios; porches; unfinished storage areas; basements or any other unfinished areas.

ABBREVIATIONS

A/C	Air Conditioner	DISH	Dishwasher	INSUL	Insulation	PROJ	Projection	TRAP	Trap
ADJ	Adjustable	DN	Down	INT	Interior	RAD	Radius	U.L.	Underlayment
AWN	Awning	DRY	Dryer	JST	Joist	RAFTS	Rafters	UNEX	Unexcavated
BLDG	Building	EA	Each	LVL	Laminated Veneer Lumber	REFRIG	Refrigerator	WASH	Washer
BSMT	Basement	ENT	Entertainment	LIN	Line	RM	Room	WD	Wood
BTM	Bottom	EXP	Exposure	MAX	Maximum	SEC	Second	WH	Water Heater
BTW	Between	EXT	Exterior	MSR	Master Bedroom	SHWR	Shower	W.W.M.	Welded Wire Mesh
CANT	Cantilever	FIN	Finished	MICRO	Microwave	S.L.	Side Lite	@	At
C.J.	Ceiling Joist	F.J.	Floor Joist	MIN	Minimum	SPP	Sump Pump Pit	Line	Line
CLG	Ceiling	FLUOR	Fluorescent	MISC	Miscellaneous	STA	Stationary	2W	Two Wide
CEIL	Ceiling	FTG	Footing	O.C.	On Center	STD	Standard	3W	Three Wide
CMU	Concrete Masonry Unit	GALV	Galvanized	O.H.D.	Overhead Door	STL	Steel	4W	Four Wide
C.O.	Cased Opening	GARB	Garbage Disposal	OPNG	Opening	STRUCT	Structural	CL	Center Line
CONC	Concrete	G & N	Glued & Nailed	PC	Pull Chord	T.C.	Trash Compactor	W	With
DBL	Double	G.L.	Glaueam Header	PICT	Picture	T & G	Tongue & Groove	W	With
DH	Double Hung	HDR	Header	POLY	Polyethylene	TRANS	Transom	W	With

ARTIST CONCEPTION ONLY

ARTWORK NOT TO SCALE



FRONT ELEVATION

SYMBOLS

Detail Number	Wood Frame Wall	Furnace
Section Number	Concrete	Flue & Duct
Direction of Section	Brick or Stone	Floor Drain
Square Footage	Earth	Supply Air (Floor)
Roof Pitch Ratio	Granular or Gravel Fill	Supply Air (Ceiling)
8/12 or 8/12	Batt Insulation	Shower Head
8" Ceiling Pattern	Blown Insulation	Silcock
Detail W/Height	Minimum 3"x3" Solid Bearing or to Match the width of Bearing	
Roof Louver		

ELECTRICAL LEGEND

110V OUTLET	FLOOD LIGHT
HALF SWITCHED 110V OUTLET	FLUORESCENT LIGHT
220V OUTLET	TRACK LIGHT
WEATHERPROOF 110V OUTLET	UNDER COUNTER LIGHT
GROUND FAULT 110 V. OUTLET	EXHAUST FAN
FLOOR 110V OUTLET	EXHAUST FAN/LIGHT COMBO
SURFACE MOUNT LIGHT	PADDLE FAN/LIGHT FIXTURE
RECESSED CAN LIGHT	PADDLE FAN
WALL MOUNT LIGHT	SMOKE DETECTOR (WALL)
PULL-CORD SURFACE MOUNT LIGHT	SMOKE DETECTOR (CEILING)
THERMOSTAT	TWO-WAY SWITCH
CHIMES	THREE-WAY SWITCH
	FOUR-WAY SWITCH

NOTE: WIRE SMOKE DETECTORS IN SERIES

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La Vista, NE 68128
402-210-4369
planpro1@cox.net

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Omaha, Nebraska
1-402-210-4369

1247 PLAN
Revised: 9-27-23

Plan No.

Sheet No.

1

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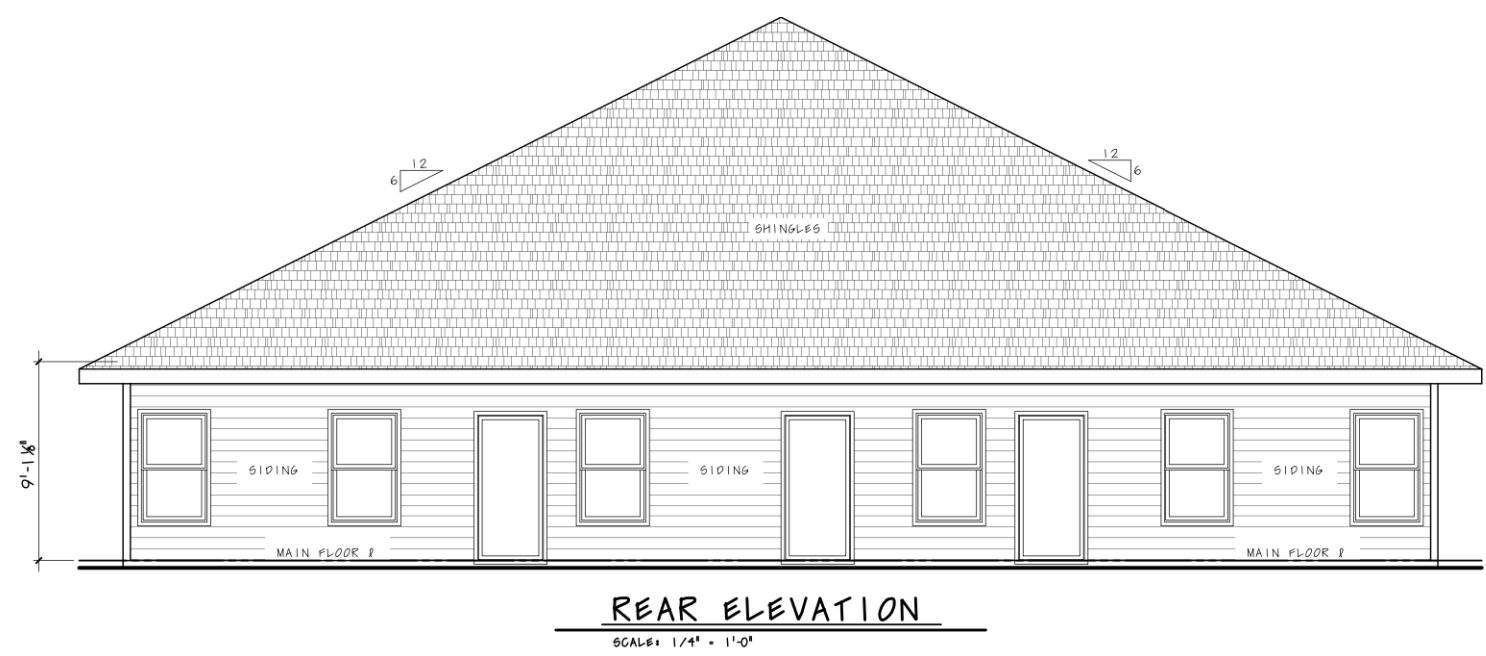
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 Revised: 9-27-23

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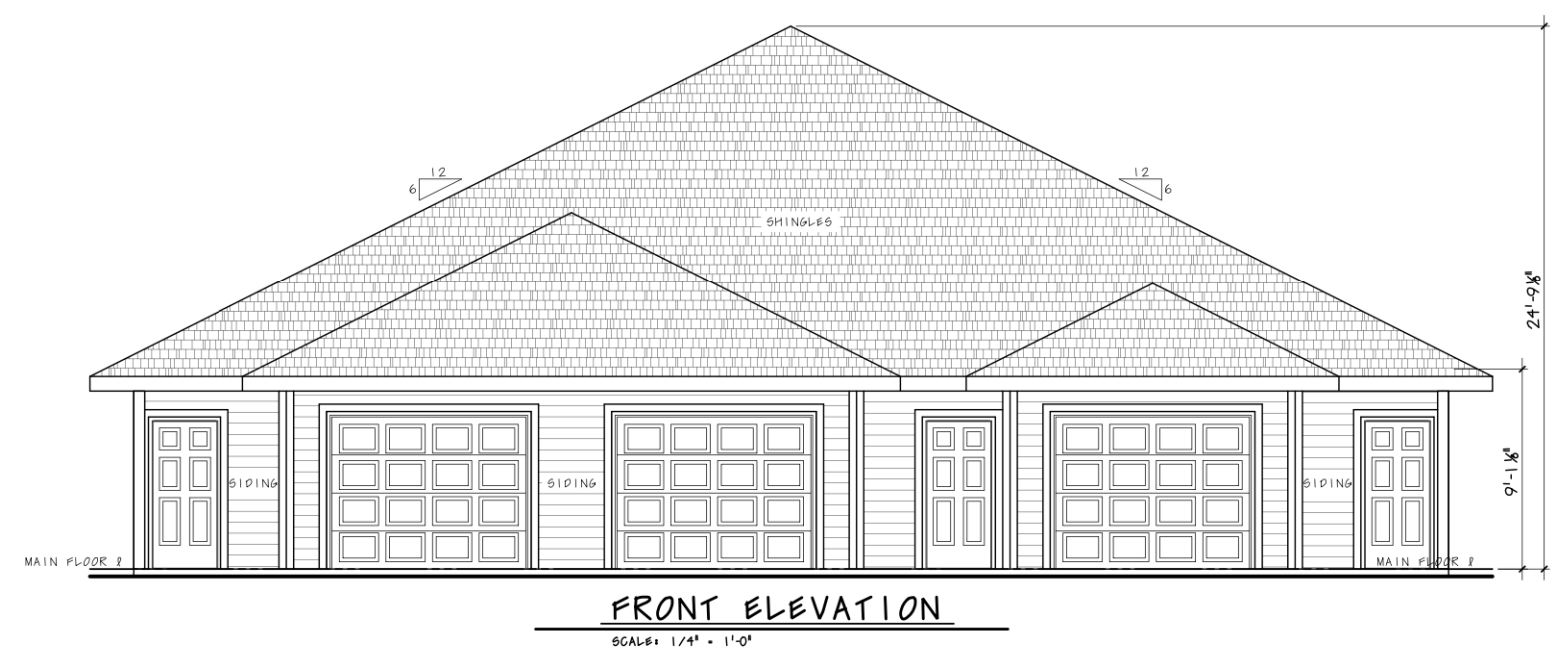
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2



REAR ELEVATION

SCALE: 1/4" = 1'-0"



FRONT ELEVATION

SCALE: 1/4" = 1'-0"

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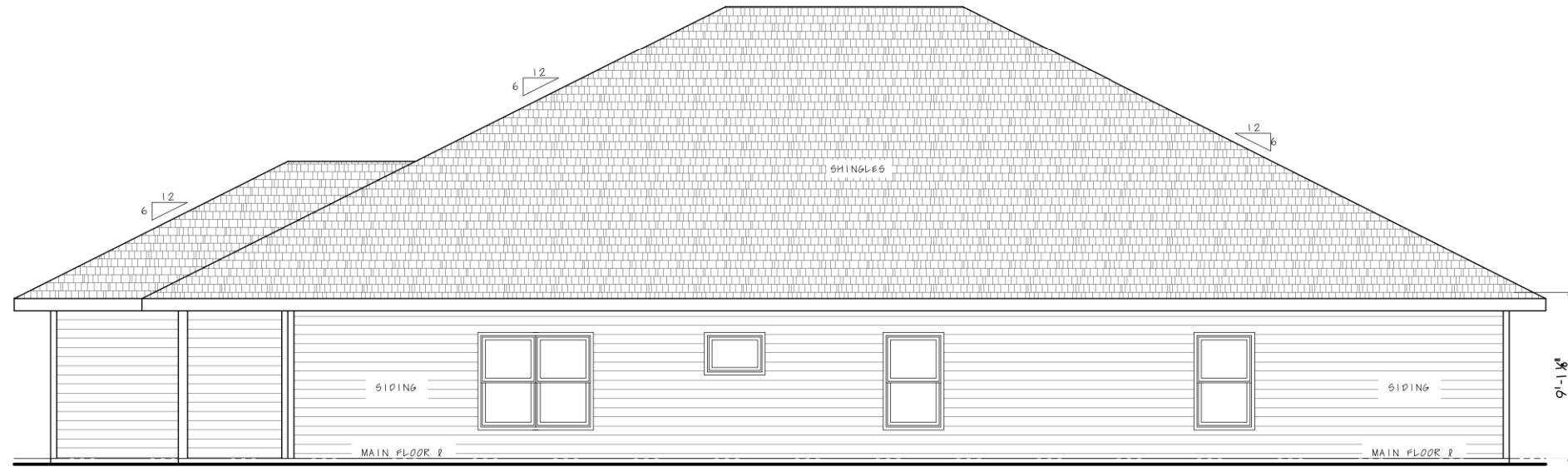
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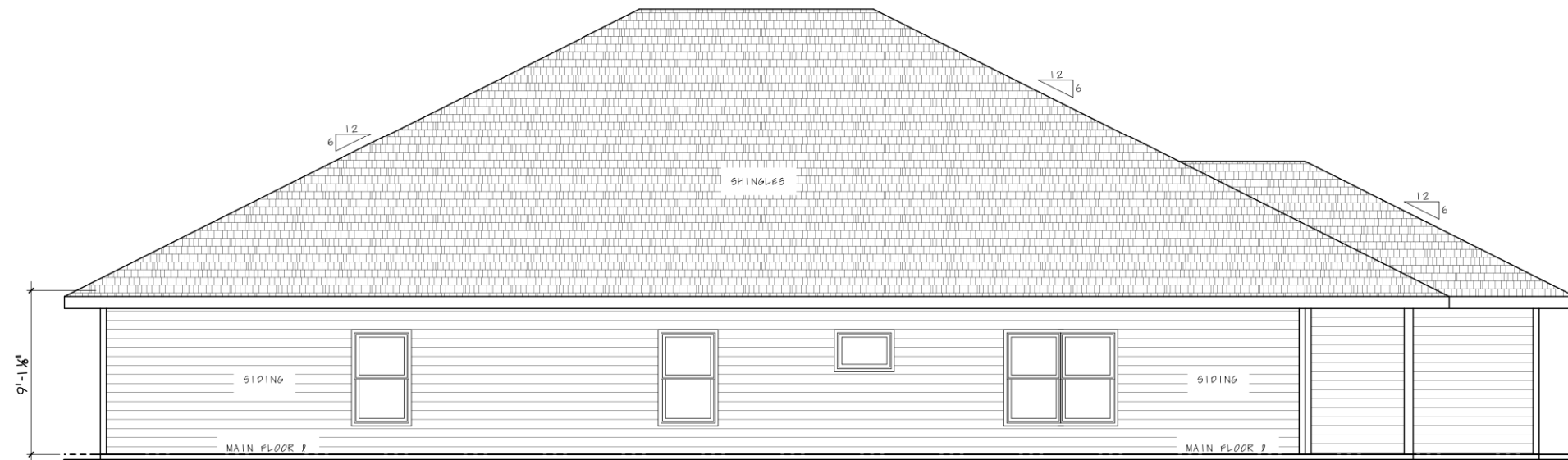
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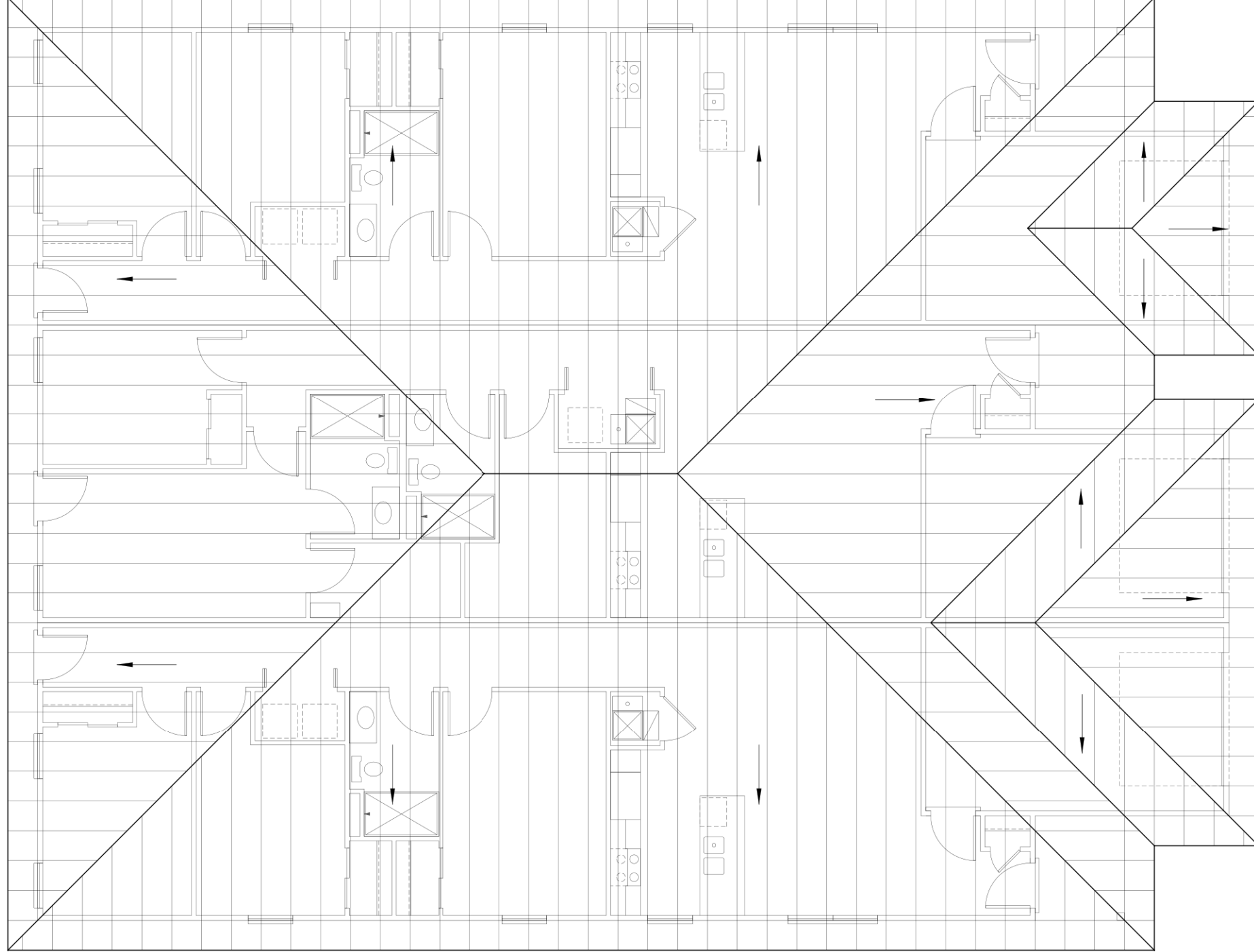
RIGHT SIDE ELEVATION

SCALE: 1/4" = 1'-0"



LEFT SIDE ELEVATION

SCALE: 1/4" = 1'-0"



ROOF PLAN

SCALE: 1/4" = 1'-0"

NOTES: ALL ROOF PITCHES ARE 6/12 UNLESS NOTED OTHERWISE

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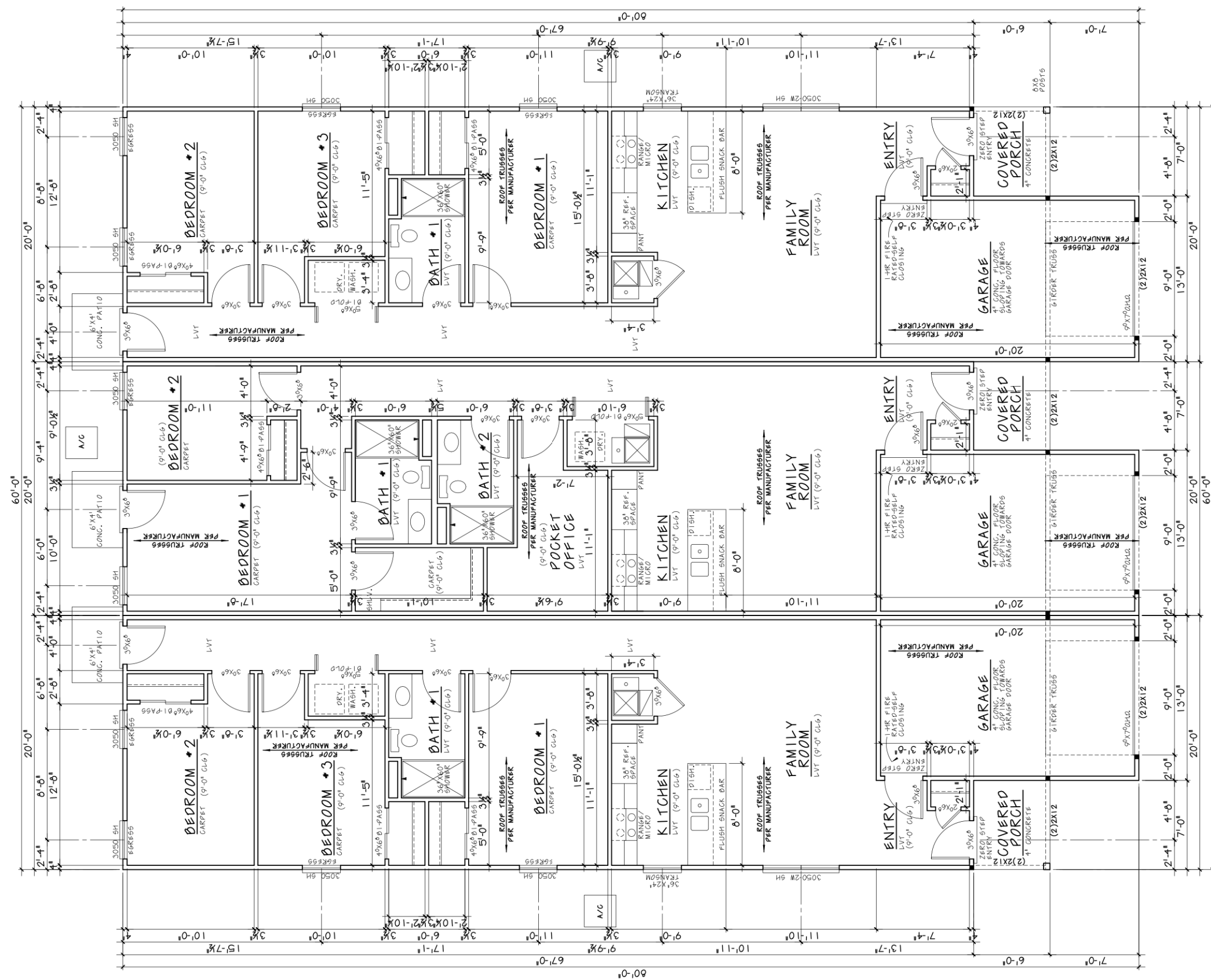
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Revised: 9-27-23

Plan No.

Sheet No.

4



MAIN LEVEL FLOOR PLAN
SCALE: 1/4" = 1'-0"

MAIN LEVEL	1247 d	262 d
MAIN LEVEL	1247 d	262 d
MAIN LEVEL	1247 d	262 d
GARAGE		
GARAGE		
GARAGE		

NOTE: ALL MAIN FLOOR WALLS ARE 9'-1 1/2" HIGH UNLESS NOTED OTHERWISE

NOTE: ALL EXTERIOR WALLS ARE 4" CMU STUD SHEATHING ALL INTERIOR WALLS ARE 3/2" UNLESS OTHERWISE SHOWN

NOTE: ALL ANGELED WALLS ARE @ 15°

NOTE: ALL EXTERIOR WALLS ARE CONTINUOUSLY SHEATHED WITH G.S.D. SHEETING, BRACED WALL PANELS AS PER 2010 IRC R602.1.2 AND TABLE R602.10.5

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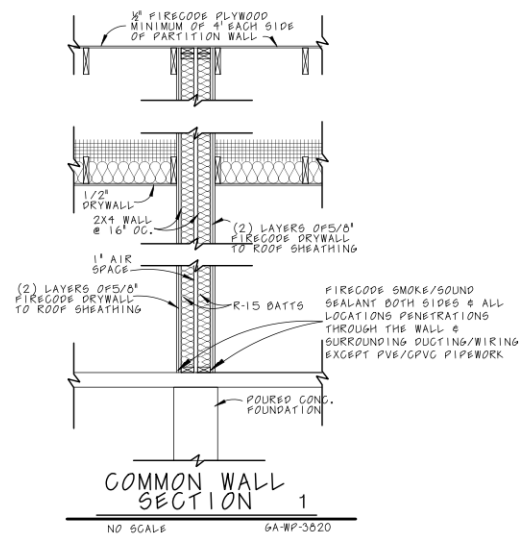
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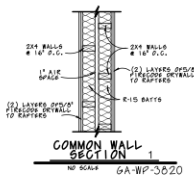
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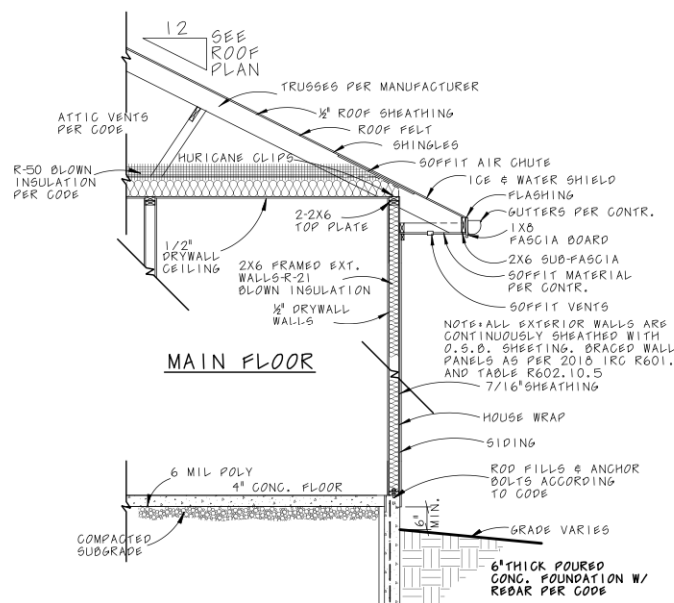
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COMMON WALL SECTION 1
NO SCALE GA-WP-3620



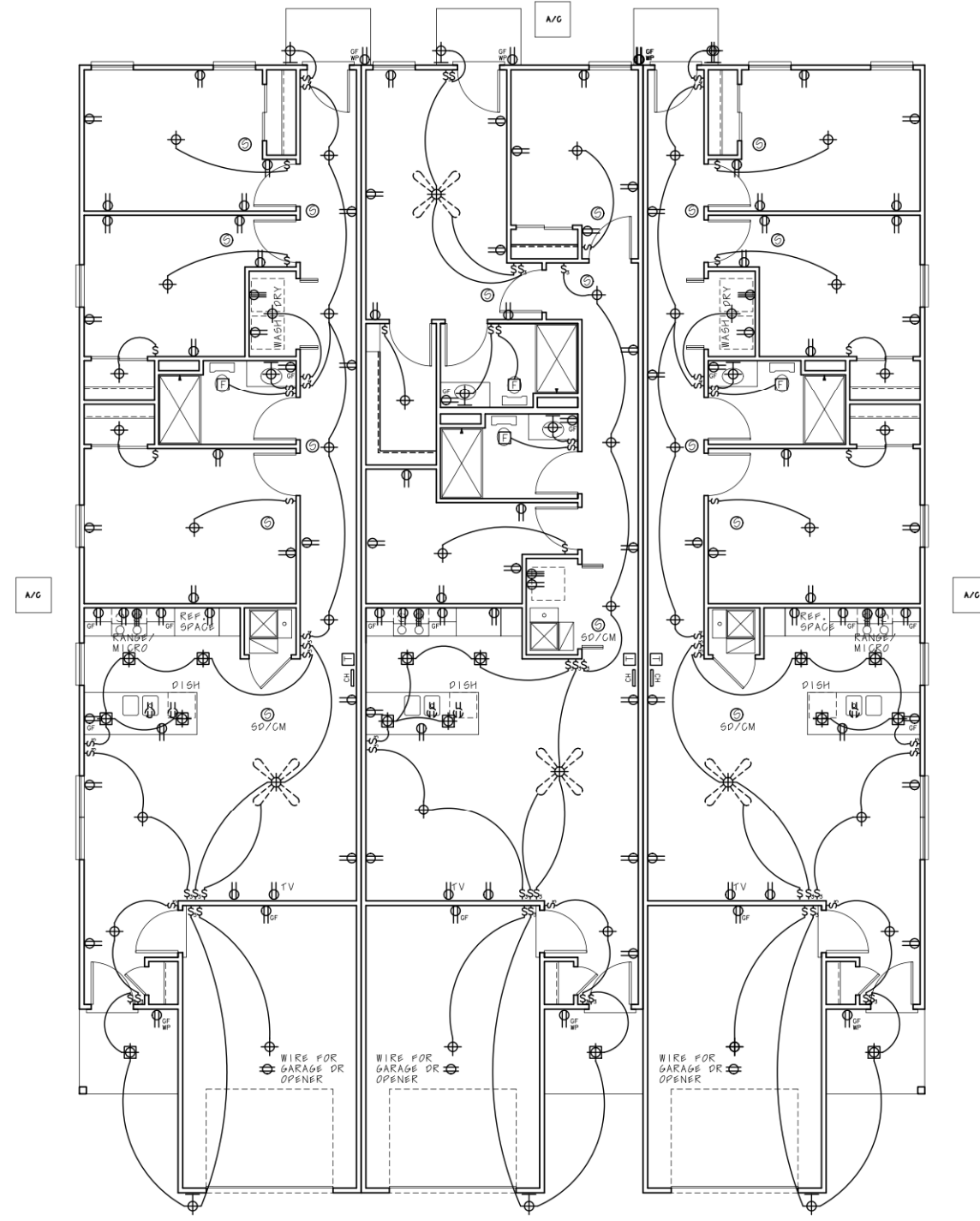
COMMON WALL SECTION 2
NO SCALE GA-WP-3620



NOTE: CONTROL JT. SPACING OF 15 TO 25 50 FT
2 WALL SECTION
SCALE: 3/8" = 1'-0"

GENERAL ELECTRICAL LEGEND			
SYM.	DESCRIPTION	SYM.	DESCRIPTION
	110 V. OUTLET		FLOOD LIGHT
	HALF SWITCHED 110 V OUTLET		FLUORESCENT LIGHT
	220 V. OUTLET		TRACK LIGHT
	WEATHERPROOF 110 V. OUTLET		UNDER COUNTER LIGHT
	GROUND FAULT 110 V. OUTLET		EXHAUST FAN
	FLOOR 110 V. OUTLET		EXHAUST FAN/LIGHT COMB.
	SURFACE MOUNT LIGHT		PADDLE FAN/LIGHT FIXTURE
	RECESSED CAN LIGHT		PADDLE FAN
	WALL MOUNT LIGHT		SMOKE DETECTOR (WALL)
	PULL-CORD SURFACE MOUNT LIGHT		SMOKE DETECTOR (CEILING)
	THERMOSTAT		SMOKE DETECTOR/CEILING CARBON MONOXIDE DETECTOR
	CHIMES		TWO-WAY SWITCH
	TELEPHONE		THREE-WAY SWITCH
	HEAT LAMP		FOUR-WAY SWITCH

NOTE: WIRE SMOKE DETECTORS IN SERIES



MAIN FLOOR ELECTRICAL
SCALE: 3/16" = 1'-0"

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7

Attachment 'D'



NOTICE OF PUBLIC HEARING

TO WHOM IT MAY CONCERN:

You and each of you are hereby notified that the City Council of the City of Council Bluffs, Iowa, has scheduled a public hearing on the request of Jamie Augustine to append a PR-2/Planned Residential Overlay onto property legally described as Lot 65, City Acres, City of Council Bluffs, Pottawattamie County, Iowa, and to adopt the associated development plan.

You are further notified that the public hearing on said matter will be held by the City Council of the City of Council Bluffs, Iowa, at its regular meeting held at 7:00 p.m., on the 18th day of December, 2023 in the City Council Chambers, 2nd Floor of City Hall, 209 Pearl Street, Council Bluffs, Iowa at which time and place all persons interested in said matter will be given an opportunity to be heard.

Jodi Quakenbush, City Clerk

ORDINANCE NO. 6594

AN ORDINANCE TO AMEND THE ZONING MAP OF THE CITY OF COUNCIL BLUFFS, IOWA, AS ADOPTED BY REFERENCE IN SECTION 15.27.020 OF THE 2020 MUNICIPAL CODE OF COUNCIL BLUFFS, IOWA, BY APPENDING A PLANNED RESIDENTIAL OVERLAY ONTO PROPERTY LEGALLY DESCRIBED AS LOT 65, CITY ACRES, CITY OF COUNCIL BLUFFS, POTTAWATTAMIE COUNTY, IOWA, AS SET FORTH AND DEFINED IN CHAPTER 15.28 OF THE MUNICIPAL CODE OF COUNCIL BLUFFS, IOWA.

**BE IT ORDAINED
BY THE CITY COUNCIL
OF THE
CITY OF COUNCIL BLUFFS, IOWA**

SECTION 1. That the Zoning Map of the City of Council Bluffs, Iowa, as adopted by reference in Section 15.02.070 of the 2020 Municipal Code of the City of Council Bluffs, Iowa, be and the same is hereby amended by appending a planned residential overlay onto property legally described as Lot 65, City Acres, City of Council Bluffs, Pottawattamie County, Iowa, as defined in Chapter 15.28 of the Municipal Code of Council Bluffs, Iowa and pursuant to all development standards set forth in attached “Planning Commission Communication” and “Attachments B-D”.

SECTION 2. REPEALER. All ordinances or parts of ordinances in conflict with the provisions of this ordinance are hereby repealed.

SECTION 3. SEVERABILITY CLAUSE. If any of the provisions of this ordinance are for any reason declared illegal or void, then the lawful provisions of this ordinance which are severable from said unlawful provisions shall be and remain in full force and effect, the same as if the ordinance contained no illegal or void provisions.

SECTION 4. EFFECTIVE DATE. This ordinance shall be in full force and effect from and after its final passage and publication, as by law provided.

ADOPTED AND APPROVED

December 18, 2023.

MATTHEW J. WALSH

Mayor

Attest:

JODI QUAKENBUSH

City Clerk

First Consideration: 11-27-23
Second Consideration: 12-18-23
Public Hearing: 12-18-23
Third Consideration: _____

Council Communication

Department: Parks and Recreation
Case/Project No.: FIRST AVE -
accepting work and releasing
retainage
Submitted by: Vincent Martorello

Resolution 23-302
ITEM 3.D.

Council Action: 11/27/2023

Description

Resolution to accept the work of Meco-Henne, Inc. and release retainage in the amount of \$141,353.67 to Meco-Henne, Inc.

Background/Discussion

The City contracted with Meco-Henne to construct phase II of the FIRST AVE Trail, Project #CD-001. The scope of Phase II was to construct an asphalt trail with concrete borders from 25th Street to 16th Street. The amenities of the trail consisted of several plaza areas, site furnishings, lighting, and landscaping.

The contractor is asking for final payment and the retainage to be released. The work as completed is in substantial compliance with the plans and specifications for said work.

Recommendation

Approve the resolution to accept the work of Meco-Henne and authorize the Finance Director to issue a city check in the amount of \$141,353.67 to Meco-Henne, Inc.

ATTACHMENTS:

Description	Type	Upload Date
Resolution 23-302	Resolution	11/7/2023

RESOLUTION 23-302

**RESOLUTION ACCEPTING THE WORK OF
MECO-HENNE CONTRACTING, INC. IN CONNECTION WITH
1ST AVE TRAIL, PHASE II, PROJECT #CD-001
AND AUTHORIZING THE FINANCE DIRECTOR TO ISSUE
A CITY CHECK IN THE AMOUNT OF \$141,353.67**

WHEREAS, the City of Council Bluffs, Iowa, entered into an agreement with Meco-Henne Contracting, Inc., Omaha, NE, for the 1st Ave Trail Project, Phase II; and

WHEREAS, a request for final payment in the amount of \$141,353.67 to Meco-Henne Contracting Inc., has been submitted to the city council for approval and payment; and

WHEREAS, the work as completed is in substantial compliance with the plans and specifications for said work; and

WHEREAS, the city council of the City of Council Bluffs has been advised and does believe that said \$141,353.67 constitutes a valid obligation of the City and should in its best interest be paid.

NOW, THEREFORE, BE IT RESOLVED
BY THE CITY COUNCIL
OF THE
CITY OF COUNCIL BLUFFS, IOWA

Said improvements are hereby accepted as having been fully completed in accordance with plans and specifications.

AND BE IT FURTHER RESOLVED

That the finance director is hereby authorized and directed to issue a city check in the amount of \$141,353.67 payable to Meco-Henne Contracting, Inc.

ADOPTED
AND
APPROVED

November 27, 2023

Matthew J. Walsh, Mayor

ATTEST:

Jodi Quakenbush, City Clerk

Council Communication

Department: Parks and Recreation
Case/Project No.: Fairmount Park
Road Erosion Repair and Storm
Water Management
Submitted by: Vincent Martorello

Resolution 23-318
ITEM 3.E.

Council Action: 11/27/2023

Description

Resolution to accept the work and release remaining funds in the amount of \$3,825.29 to United Utilities and Excavating, LLC for the Fairmount Park Road Erosion Repair and Storm Water Management, PR24-08

Background/Discussion

The City Council approved \$125,000 in funding for the Fairmount Park Erosion Repair and Storm Water Improvement within the FY 24 CIP. The contract was awarded to United Utilities and Excavating, LLC. The scope of the work included the installation of three drain inlet boxes, storm water pipe and outfall.

The work has been completed and the City has received a letter of acceptance from the project engineer. The City has received a request to release the remaining funds in the amount of \$3,825.29.

Recommendation

Approve resolution accepting the work and authorize the Finance Director to issue a check in the amount of \$3,825.29 to United Utilities and Excavating

ATTACHMENTS:

Description	Type	Upload Date
Resolution 23-318	Resolution	11/20/2023

RESOLUTION 23-318

**RESOLUTION ACCEPTING THE WORK OF UNITED UTILITIES & EXCAVATION LLC,
FOR THE FAIRMOUNT PARK ROAD EROSION REPAIR AND STORM WATER
IMPROVEMENT, PROJECT # R24-08 AND AUTHORIZING THE FINANCE DIRECTOR
TO ISSUE A CITY CHECK IN THE AMOUNT OF \$3,825.29**

- WHEREAS, the City received a request for final payment in the amount of \$3,825.29 from United Utilities & Excavation, LLC for associated with the Fairmount Park Road Erosion Repair and Storm Water Improvement Project, R24-08, and
- WHEREAS; the city council deems approval of said agreement to be in the best interest of the City of Council Bluffs.
- WHEREAS, the work as completed is in substantial compliance with the plans and specifications for said work and no sub-contractors have submitted liens to the City, and
- WHEREAS, the city council of the City of Council Bluffs has been advised and does believe that said \$3,825.29 constitutes a valid obligation of the City and should in its best interest be paid.

**NOW, THEREFORE, BE IT RESOLVED
BY THE CITY COUNCIL
OF THE
CITY OF COUNCIL BLUFFS, IOWA**

That the finance director is hereby authorized and directed to issue a city check in the amount of \$3,825.29 payable to United Utilities & Excavating, LLC within thirty (30) days of the date of this resolution.

ADOPTED
AND
APPROVED

November 27, 2023

Matthew J. Walsh, Mayor

ATTEST:

Jodi Quakenbush, City Clerk

Council Communication

Department: Parks and Recreation
Case/Project No.: Prospect Park
playground upgrade
Submitted by: Vincent Martorello

Resolution 23-319
ITEM 3.F.

Council Action: 11/27/2023

Description

Resolution setting a Public Hearing for December 18, 2023 at 7:00 p.m. for the Prospect Park playground upgrade, project #PR24-16

Background/Discussion

The existing playground at Prospect Park was installed in 1984. The Council approved funding in the amount of \$500,000 within the FY 24 CIP to replace the 39 year old playground.

A neighborhood meeting was held on July 12, 2023 in Prospect Park to review design options and to obtain input from the neighbors. The neighbors want to keep the existing trees in order to have as much shade and woodland setting as possible for the new playground.

The new playground will serve children ages 2-5 and 5-12. The playground will include a two bay (four swing) swing set. An ADA compliant interior sidewalk will be constructed from Millard Street to the Playground

Recommendation

Approve resolution setting December 18, 2023 as the date to hold a public hearing for the Prospect Park Playground Upgrade, Project R24-16.

ATTACHMENTS:

Description	Type	Upload Date
Resolution 23-319	Resolution	11/20/2023

**RESOLUTION
NO 23-319**

**RESOLUTION SETTING A PUBLIC HEARING FOR
PROSPECT PARK PLAYGROUND UPGRADE, PROJECT #R24-16**

- WHEREAS, the City Council approved \$500,000 for the Prospect Park Playground Upgrade within the FY 24 CIP; and
- WHEREAS, a neighborhood meeting was held on July 12, 2023 in Prospect Park to discuss potential improvements and to obtain input from neighbors; and
- WHEREAS, the improvements include a new playground to replace the existing playground, two bay swing set, resilient rubber safety surface, and interior sidewalk; and
- WHEREAS, it is anticipated the work will be completed in the fall of 2024.

NOW, THEREFORE, BE IT RESOLVED
BY THE CITY COUNCIL
OF THE
CITY OF COUNCIL BLUFFS, IOWA

That the City Clerk is hereby ordered to set a public hearing for Prospect Park Playground Upgrade, Project R24-16, setting December 18 at 7:00 p.m. as the date and time of said hearing.

ADOPTED
AND
APPROVED November 27, 2023.

Matthew J. Walsh, Mayor

ATTEST: _____
Jodi Quakenbush, City Clerk

Council Communication

Department: Legal
Case/Project No.:
Submitted by: Graham Jura

Resolution 23-324
ITEM 3.G.

Council Action: 11/27/2023

Description

Resolution setting a Public Hearing for December 18, 2023 at 7:00 p.m. for intent to enter into an agreement for Permanent Easement for Retaining Wall with David K. Reed and Lisa Parmely.

Background/Discussion

The City owns a vacant parcel located directly south of Mr. Reed at 220 S. 1st St., as it was acquired by the city through the Iowa Code 657 process for an abandoned home. The home has since been demolished. There is a drainage ditch that runs along the parcel lines, benefitting both parties. Over time, the ditch has created flooding issues for Mr. Reed. He has proposed building a retaining wall to protect his home, and needs a certain portion of the City parcel to put in the wall. This Easement will grant him access to do so. It is the City's intent to also transfer total ownership of the City parcel to the other abutting neighbor, meaning that the City will likely not retain ownership of the parcel long term.

Recommendation

Approval is recommended.

ATTACHMENTS:

Description	Type	Upload Date
Proposed Agreement	Agreement	11/14/2023
Resolution 23-324	Resolution	11/20/2023

Preparer Information: Steven H. Krohn, P.O. Box 249, Council Bluffs, IA 51502-0249 (712) 328-1833
Return Document to: Steven H. Krohn, P.O. Box 249, Council Bluffs, IA 51502-0249

AGREEMENT FOR PERMANENT EASEMENT
FOR RETAINING WALL

Agreement made effective the ____ day of _____, 2023, between The City of Council Bluffs, a Municipal Corporation (the “Grantor”) and David K. Reed, a single person and Lisa R. Parmley, a single person (the “Grantees”).

RECITALS

A. Grantor is the legal owner of certain real estate situated in Pottawattamie County, Iowa, legally described as Lot 105 in the Original Plat to The City of Council Bluffs, Pottawattamie County, Iowa (the "Grantor's Real Estate").

B. Grantees are the legal owners of certain other real estate situated in Pottawattamie County, Iowa, described in Exhibit "A" attached hereto and by this reference made a part hereof (the "Grantees' Real Estate").

C. The Grantees’ Real Estate is located to the North of the Grantor’s Real Estate and adjoins the Grantor’s Real Estate.

D. Grantees desire to install a retaining wall on the Grantor’s Real Estate to help control drainage onto Grantees’ Real Estate.

E. The Grantor and the Grantees now desire to enter into this Agreement to provide to Grantees an easement on and over a portion of the Grantor's Real Estate to locate, construct, install and maintain a retaining wall on a portion of the Grantor’s Real Estate on the terms and conditions as stated herein.

NOW, THEREFORE, in consideration of valuable consideration, the sufficiency and receipt of which is hereby acknowledged by the parties and in further consideration of the mutual covenants and agreements hereinafter set forth, it is mutually agreed:

1. Grantor, each for itself and its successors, and assigns does hereby grant unto the Grantees, for the Grantees' benefit, and for the benefit of the Grantees' respective heirs,

successors, and assigns, a perpetual easement over, under and across a portion of the Grantor's Real Property described in paragraph 3 below (and hereinafter defined as the "Easement Area") to construct, alter, maintain, install, inspect, dig, repair, replace, use, operate and remove, a retaining wall (hereinafter the "Retaining Wall").

2. Grantor, each for itself and its successors, and assigns does hereby grant unto the Grantees, for the Grantees' benefit, and for the benefit of the Grantees' contractors, agents, employees, public utility companies and representatives a temporary easement to provide access to, and to provide ingress and egress to the Easement Area, (as said term is defined in paragraph 3 herein below) and for use as working space, all in connection with the construction of the Retaining Wall on the Easement Area (as said term is defined in paragraph 3 herein below).

3. The Easement Area is as follows: The North Ten feet of Grantor's Real Estate and is hereinafter referred to as the "Easement Area".

4. Grantor and Grantees acknowledge and agree that Retaining Wall shall be located in the Easement Area. Neither Grantees nor Grantees' successors, assigns, guests, invitees or licensees shall at any time or use the Easement Area for any purpose other than for the purposes stated herein above.

5. Grantees and their respective heirs, successors, and assigns shall bear and promptly pay all costs and expenses of construction, repair, maintenance, alteration and replacement of the Retaining Wall unless any such costs and expenses are caused by the Grantor's violation of the terms of this Agreement or other wrongful act of the Grantor.

6. Grantee shall construct, repair, replace, alter and/or maintain the Retaining Wall in accordance with all laws, regulations; and the regulations, conditions of Grantor or specifications as directed by the Grantor.

7. Prior to the initial installation and construction and any subsequent replacement and/or alteration of the Retaining Wall by Grantees, plans for said installation, construction, replacement and/or alteration shall be submitted to and approved by Grantor.

8. All work to be performed by Grantees shall be in performed accordance with plans approved by Grantor and shall be completed in a workman-like manner free of claims and liens. Upon completing construction, repair, alteration, replacement or maintenance of the Retaining Wall, Grantee shall remove all debris and restore the surface of the Easement Area as nearly as possible to the condition in which it was at the commencement of such work.

9. The easement herein granted to the Grantees and the Grantees' respective heirs, successors, and assigns is not an exclusive easement and the Grantor and the Grantor's respective heirs, successors, and assigns retain and have the right to use the Easement Area for the benefit of the Grantor's Real Estate in any manner that does not interfere with Grantees' and the Grantees' respective heirs, successors, and assigns' exercise of the rights granted to Grantees and the Grantees' respective heirs, successors, and assigns under this Agreement. Grantor shall at all times have the right to use and occupy the Easement Area; provided, that use of the Easement

Area by Grantors shall not in any fashion hinder, disrupt or interfere with the use or proper functioning of the Retaining Wall to help control drainage onto Grantee's Real Estate.

10. Grantors shall insure that no encroachments shall be made on the Easement Area, that interfere with the proper operation of the Retaining Wall to help control drainage onto Grantee's Real Estate and no use shall be made of the Easement Area in any fashion which hinders, disrupts or interferes with the use or proper functioning of Retaining Wall to help control drainage onto Grantee's Real Estate.

11. Grantees shall have right of ingress and egress to the Easement Area as may from time to time be necessary to insure the proper functioning of the Retaining Wall to help control drainage onto Grantee's Real Estate. Grantees shall exercise Grantees' rights of ingress and egress to the Easement Area so as to minimize interference with Grantor's use of the Grantor's Real Property.

12. The Grantees do hereby agree to indemnify and to hold the Grantor harmless from and against any and all liability, claims, liens, demands or causes of action for personal injury or property damage, including attorney fees resulting from or arising out of or attributable to the existence of the Retaining Wall on the Easement Area or to any maintenance or repair undertaken thereon or with regard to any other matter arising out of or related to the existence of the Retaining Wall on the Easement Area or the existence of this agreement.

13. In the event that any action is filed in relation to this Agreement, the unsuccessful party in that action shall pay to the successful party, in addition to all the sums that either party may be called upon to pay, a reasonable sum for the successful party's attorney fees.

14. This grant of easement shall run with both the Grantor's Real Estate and the Grantees' Real Estate and shall be binding on and shall inure to the benefit of the parties to this Agreement and their respective heirs, successors, or assigns and on all future owners of the Grantor's Real Estate and the Grantees' Real Estate.

15. It is agreed that this Agreement shall be governed by, construed and enforced in accordance with the laws of the State of Iowa.

16. This Agreement constitutes the entire agreement between the parties and the prior understandings or representations of any kind preceding the date of this Agreement shall not be binding on either party, except to the extent incorporated in this Agreement.

IN WITNESS WHEREOF, the parties hereto have executed this Agreement this ____ day of November, 2023.

"Grantees"

David K. Reed

Lisa R. Parmley

State of Iowa, County of Pottawattamie; ss.

This record was acknowledged before me this _____ day of November, 2023, by David K. Reed, a single person and Lisa R. Parmley, a single person.

Notary Public in and for the State of Iowa

CITY OF COUNCIL BLUFFS, IOWA,

I, JODY QUACKENBUS, Clerk of the City of Council Bluffs, Iowa, do hereby certify that the within and foregoing Easement was duly approved and accepted by the City Council of said City of Council Bluffs by Resolution and Roll Call No. _____, passed on the _____ day of November, 2023 and this certificate is made pursuant to authority contained in said Resolution.

City Clerk of the City of Council Bluffs, Iowa

CITY OF COUNCIL BLUFFS, IOWA,
a municipal corporation

By: _____
Printed Name: Matthew J. Walsh
Title: Mayor

STATE OF IOWA, COUNTY OF POTTAWATTAMIE , ss:

On this _____ day of November, 2023, before me, the undersigned, a Notary Public in and for said County and State personally appeared Matthew J. Walsh to me personally known, who being by me duly sworn, did say that he is the Mayor of the City of Council Bluffs, a municipal corporation under the laws of the State of Iowa, executing the within and foregoing instrument and acknowledged that he executed the same as his voluntary act and deed of the City of Council Bluffs, by it and by him voluntarily executed.

Notary Public in and for the State of Iowa

EXHIBIT "A"

Lot 106 in the Original Plat of Council Bluffs, Iowa and all that part of Lot 107, in the Original Plat of Council Bluffs, Iowa, described as follows: Commencing on the Southerly line of South First Street, in Council Bluffs, Iowa, where the line between Original Plat Lots 106 and 107 intersect with the Southerly line of South First Street, said point being marked with an iron pin, thence on a line running South 54° 45' West to the Southerly line of Original Plat Lot 107, thence South 35° 30' East 11 feet to the Southwesterly corner of Original Plat Lot 107, thence North 53° 30' East 462 feet along the Easterly line of Original Plat Lot 107 to Point of Beginning.

RESOLUTION NO. 23-324

A RESOLUTION OF INTENT TO ENTER INTO AN AGREEMENT FOR PERMANENT EASEMENT FOR RETAINING WALL WITH DAVID K. REED AND LISA PARMELY.

WHEREAS, the City has received an inquiry from David Reed and Lisa Parmely regarding a proposed retaining wall to be built on City owned property to protect their home from flood damage; and

WHEREAS, the City would grant an easement over the Northern 10 feet of City owned parcel 754425481021 for the construction of the retaining wall.

**NOW, THEREFORE, BE IT RESOLVED
BY THE CITY COUNCIL
OF THE
CITY OF COUNCIL BLUFFS, IOWA**

That the City does hereby express its intent to enter into an Agreement for Permanent Easement for Retaining Wall with David K. Reed and Lisa Parmely; and

BE IT FURTHER RESOLVED

That a public hearing be scheduled for December 18, 2023 at 7:00 p.m.

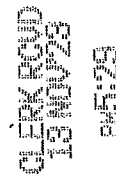
ADOPTED
AND
APPROVED: November 27, 2023.

MATTHEW J. WALSH Mayor

Attest:

JODI QUAKENBUSH City Clerk

NOTICE TO REDEEM FROM TAX SALE



TO: Estate of Donna L. Giovanni, deceased

All of the heirs, spouses, assignees, grantees, legatees, devisees, and successors in interest claiming to have any recorded or unrecorded right, title, or interest in and to the parcel hereinafter described, by, through and under the former titleholder Donna L. Giovanni, who is now deceased.

ACC 1849 LLC [Tax lien holder]

City of Council Bluffs, Iowa

Any and all person(s) in possession of the parcel hereinafter described

All the heirs, spouses, assignees, grantees, legatees, devisees, and successors in interest both known and unknown, and all unknown claimants claiming to have any recorded or unrecorded right, title, or interest in and to the parcel hereinafter described.

YOU ARE HEREBY NOTIFIED that on June 21, 2021, the following described parcel, situated in Pottawattamie County, Iowa:

Lot One (1) in Block Three (3), Van Brunt & Rice's Addition to Council Bluffs, Pottawattamie County, Iowa.

Parcel 754435176008 Tax Sale Certificate No. 21-0074

was sold at tax sale by the Treasurer of Pottawattamie County for the then delinquent and unpaid taxes against the parcel, that a Certificate of Purchase was duly issued by the County Treasurer of Pottawattamie County, Iowa, pursuant to said tax sale, which Certificate is now lawfully held and owned by Tulip 22, LLC, and that the right of redemption will expire and a deed to the said parcel will be made unless redemption from said tax sale is made within ninety (90) days from the completed service of this Notice.

Dated October 27, 2023

Tulip 22, LLC

By: James E. Nervig
James E. Nervig, Its Attorney
Brick Gentry P.C.
6701 Westown Parkway, Suite 100
West Des Moines, IA 50266

Action by Council:
Receive & File:

Date: 11-27-23

NOTICE OF EXPIRATION OF RIGHT OF REDEMPTION

Eduardo Navarrete
301 South 21st St.
Council Bluffs, IA 51501

City of Council Bluffs
c/o City Clerk
209 Pearl St., Ste. 102
Council Bluffs, IA 51503

Eduardo Navarrete
2812 Avenue G
Council Bluffs, IA 51501-2146

Pottawattamie County
c/o County Auditor
Pottawattamie County Courthouse
Second Floor
227 S. 6th St.
Council Bluffs, IA 51501

Mariel Navarrete
301 South 21st St.
Council Bluffs, IA 51501

Parties in Possession
301 South 21st St.
Council Bluffs, IA 51501

Mariel Navarrete
2812 Avenue G
Council Bluffs, IA 51501-2146

Cavalry SPV I, LLC
c/o CT Corporation System, Registered Agent
400 E. Court Ave.
Des Moines, IA 50309

You are hereby notified that on the 21st day of June, 2021, the following property was sold to ACC 416, LLC, for delinquent taxes, to wit:

Lot 1, except the East 37 feet, Block 16, Cochran's Addition, Council Bluffs, Pottawattamie County, Iowa.

Parcel No. 7544 35 115 001.

You further are notified that the right of redemption will expire and a deed for the parcel will be issued unless redemption is made within 90 days from the completed service of this notice.

Dated this 2nd day of November, 2023.



Charles P. Augustine
Attorney for the Certificate Holder

Action by Council:

Receive & File:

Date: 11-27-23

RETURN TO: CITY OF COUNCIL BLUFFS, IOWA
ATTN: CITY LEGAL DEPARTMENT
OR CITY CLERK
209 PEARL STREET
COUNCIL BLUFFS, IA 51503

CITY CLAIM NO. 23-PD-2214

NOTICE OF CLAIM/LOSS

NAME OF CLAIMANT: Susan M. Kopera Crumb

DAY PHONE: [REDACTED]

ADDRESS: [REDACTED]

DOB: [REDACTED]

DATE & TIME OF LOSS/ACCIDENT: September 24, 2023 11:30 pm (approx)

LOCATION OF LOSS/ACCIDENT: 2219 Ave F Council Bluffs IA 51501

DESCRIPTION OF LOSS/ACCIDENT: Front and back gates of chain link fence damaged by high speed chase of unidentified subject on motorcycle by Council Bluffs PD.

(USE BACK OF FORM, IF NECESSARY)

TOTAL DAMAGES CLAIMED: \$ 672.04

WITNESS(ES) (Name(s), Address(es), Phone No(s))

[REDACTED]

WAS POLICE REPORT FILED YES NO

IF MEDICAL ATTENTION WAS REQUIRED, PLEASE PROVIDE NAME, ADDRESS, AND TELEPHONE NO. OF TREATING PHYSICIAN AND FACILITY:
NA

HAVE YOU RESUMED NORMAL ACTIVITIES? YES NO

IF YOU INCURRED PROPERTY DAMAGE, PLEASE DESCRIBE AND PROVIDE COPIES OF ESTIMATES, INVOICES, PHOTOGRAPHS, AND ANY

OTHER RELEVANT INFORMATION:

Front and back gates of chain link fence damaged by unidentified subject on motorcycle cutting through the yard at high rate of speed while being pursued by CBPD

LIST INSURANCE PROVIDER AND COVERAGE: Shelter Insurance - property insurance

I HEREBY CERTIFY UNDER PENALTY OF PERJURY THAT THE ABOVE INFORMATION IN SUPPORT OF MY CLAIM IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE.

NOTE: IT IS A FRAUDULENT PRACTICE PUNISHABLE BY FINE OR IMPRISONMENT TO KNOWINGLY MAKE A FALSE CLAIM (SECTION 714.8(3) CODE OF IOWA)

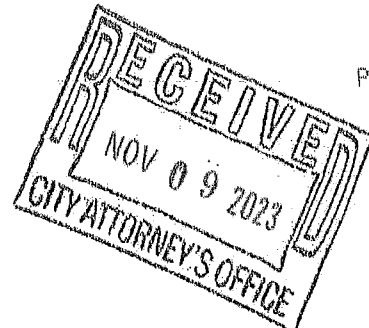
11-06-2023
DATE

Susan M. Kopera Crumb
CLAIMANT'S SIGNATURE
Susan Kopera Crumb

CLERK RCVD

13 NOV 23

PM 1:16



Action by Council:
Receive & File:

Date: 11-27-23

Council Communication

Department: Public Works Admin
Case/Project No.: BM-24-03
Submitted by: Cody Smith,
Facilities Superintendent

Resolution 23-320
ITEM 4.A.

Council Action: 11/27/2023

Description

Resolution approving the plans, specifications, form of contract and cost estimate for the Mid-America Center Sound System. Project # BM-24-03

Background/Discussion

The sound system at the Mid-America Center is twenty years old and several repairs have been necessary. The main controller for the system is no longer working and in need of replacement.

Without the permanent building system controller, the built-in speakers for the building cannot be utilized without the risk of damage. Since there is no sound controller, a complete sound system must be rented for each event. The temporary systems is installed and removed each time it is needed.

The project includes the replacement of the non-functioning sound system controller with a new controller for both the arena and the convention center, and additional components needed to integrate the new controllers into the system. This will provide independent operation of the convention center and arena portions of the building and provide redundancy in the system to allow the system to be operated from either the convention center side or the arena side in the event of a component failure.

The estimated construction cost for this project is \$172,090.00. The project was included in the FY24 CIP with funding from General Fund - Gaming.

The project schedule is as follows:

Hold Public Hearing	November 27, 2023
Letting	December 19, 2023
Award	January 8, 2024
Construction End	June 1, 2024

Recommendation

Approval of this resolution to set the public hearing for the MAC sound system project.

ATTACHMENTS:

Description	Type	Upload Date
Resolution 23-320	Resolution	11/20/2023

RESOLUTION NO. 23-320

**RESOLUTION APPROVING THE PLANS, SPECIFICATIONS,
FORM OF CONTRACT, AND COST ESTIMATE
FOR THE MID-AMERICA CENTER SOUND SYSTEM
PROJECT #BM-24-03**

- WHEREAS, the City of Council Bluffs desires to repair and replace the sound system at the Mid-America Center; and
- WHEREAS, funding for this project will be provided by General Fund Gaming; and
- WHEREAS, the plans, specifications, form of contract, and cost estimate as prepared by Engineering Technologies Inc., are on file in the office of the city clerk.
- WHEREAS, a Notice of public Hearing was published as required by law, and a public hearing was held on November 27, 2023.

**NOW, THEREFORE BE IT RESOLVED
BY THE CITY COUNCIL
OF THE
CITY OF COUNCIL BLUFFS, IOWA**

That the plans, specifications, form of contract, and cost estimate are hereby approved for the Mid-America Center Sound System project and the City is hereby authorized to advertise for bids for said project.

**ADOPTED
AND
APPROVED**

November 27, 2023

Matthew J. Walsh, Mayor

ATTEST:

Jodi Quakenbush, City Clerk

Council Communication

Department: Community
Development
Case/Project No.: OTB-23-008
Submitted by: Brandon Siracuse,
Planner

Resolution 23-321
ITEM 4.B.

Council Action: 11/27/2023

Description

Resolution to dispose of City property described as former Wabash Railroad right-of-way across Lots 7-12, Block 28, Fleming and Davis' Addition. Location: Former railroad right-of-way running adjacent to the north of 1704 14th Avenue. OTB-23-008

Background/Discussion

See attached staff report.

Recommendation

ATTACHMENTS:

Description	Type	Upload Date
Staff Report	Staff Report	11/17/2023
Attachment A: Location/Zoning Map	Map	11/17/2023
Resolution 23-321	Resolution	11/20/2023

Council Communication

<p>Department: Community Development</p> <p>CASE #OTB-23-008</p> <p>Applicant: Jesse Franklin Griffis 1704 14th Avenue Council Bluffs, IA 51501</p>	<p>Reso. of Intent No. _____</p> <p>Reso. to Dispose No. _____</p>	<p>Set Public Hearing: 11/13/2023</p> <p>Public Hearing: 11/27/2023</p>
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Subject/Title

Request of Jesse Franklin Griffis to purchase surplus City-owned property legally described as former Wabash Railroad right-of-way across Lots 7-12, Block 28, Fleming and Davis' Addition, City of Council Bluffs, Pottawattamie County, Iowa.

Location: Former railroad right-of-way running adjacent to the north of 1704 14th Avenue

Background/Discussion

The Community Development Department has received an offer from Jess Franklin Griffis to purchase the surplus city-owned property legally described above. Attachment 'A' contains a location/zoning map. The subject property is classified as 'transitional dispose'. This piece of land is part of former Wabash Railroad Right-of-way that the City acquired from the Iowa Natural Heritage Foundation in 2003. Part of the former railroad ROW was utilized for construction of a multi-use trail, and the rest, including the subject property, has remained undeveloped and unmaintained by the City. No future trails or other city projects are planned on the subject property. As such, disposal will reduce the City's liability for the subject property and is in the City's best interest.

The applicant proposes to acquire the subject property to expand the property he owns at 1704 14th Avenue. The applicant has no plans to build on the land at this time, and the applicant stated he has been maintaining the subject property for many years. The western 60 feet of the land that the applicant has offered to purchase abuts undeveloped property owned by the Union Pacific Railroad to the west of 1704 14th Avenue. The City has attempted to offer this land to Union Pacific by contacting them via regular mail at the tax address on file. The City sent letters to UPRR on January 25, 2022, and August 7, 2023. Both letters generated no response, and as such, the Community Development Department offered the land to Mr. Griffis along with the right-of-way that directly abuts his land.

According to the adopted *Inventory and Disposal Policy for Surplus City Property*, dated April 23, 2018, the subject property shall be priced at a value established by the most recent fee schedule for street/alley vacations, which is \$513.60. The applicant has offered \$513.60 and has submitted a down payment of \$51.36 plus a \$50.00 nonrefundable administrative fee.

The City has not incurred any maintenance cost for this property.

The subject property is zoned I-2/General Industrial District and is a trapezoid-shaped parcel containing 3,224 square feet, which does not meet the minimum 15,000 square foot lot size requirement for the I-2/General Industrial District. The applicant's adjacent property at 1704 14th Avenue contains 14,182 square feet, which also does not conform to the minimum size requirement. Once the applicant combines the subject property with his adjacent property, his total contiguous land holdings will contain 17,406 square feet, meaning the sale of the subject property will eliminate a nonconformity. Additionally, the combined properties will exceed the minimum

75-foot width requirement, but they will not meet the minimum 150-foot depth requirement (the property’s depth will increase from approximately 115 to 137 feet). The property at 1704 14th Avenue is zoned I-2/General Industrial District and contains a legal nonconforming residential land use (single-family detached dwelling). Combining the adjacent right-of-way with the subject property would constitute expansion of a legal nonconforming use. However, expanding the property’s land area will make the property more useful for industrial purposes upon abandonment or destruction of the nonconforming use. To ensure this outcome, the applicant shall be required to submit a parcel combination request to consolidate his land holdings in this location and shall sign an agreement prohibiting the sale of the subject property separately from 1704 14th Avenue.

Recommendation

The Community Development Department recommends disposing of property legally described as former Wabash Railroad right-of-way across Lots 7-12, Block 28, Fleming and Davis’ Addition, City of Council Bluffs, Pottawattamie County, Iowa, subject to the following conditions:


1. The price of the subject property, including the submitted \$51.36 down payment, shall be \$513.60;
2. The applicant shall close on the subject property within 60 days of the date of Council’s decision; and
3. The applicant shall combine the subject property with the two parcels he currently owns at 1704 14th Avenue and shall sign an agreement not to sell the subject property separately.


Attachments


Attachment A: Location/Zoning Map

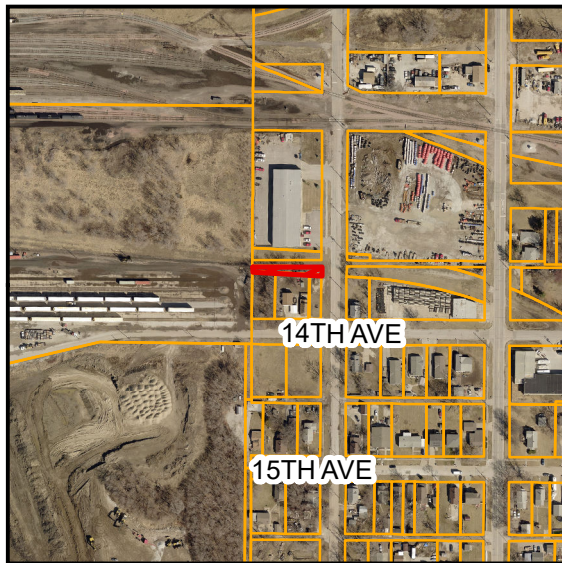
Prepared by: Brandon Siracuse, Planner, Community Development Department

CITY OF COUNCIL BLUFFS - CITY COUNCIL CASE #OTB-23-008 LOCATION/ZONING MAP

 Case #OTB-23-008 Subject Property

 Parcels

0 30 60

1 inch = 64 feet

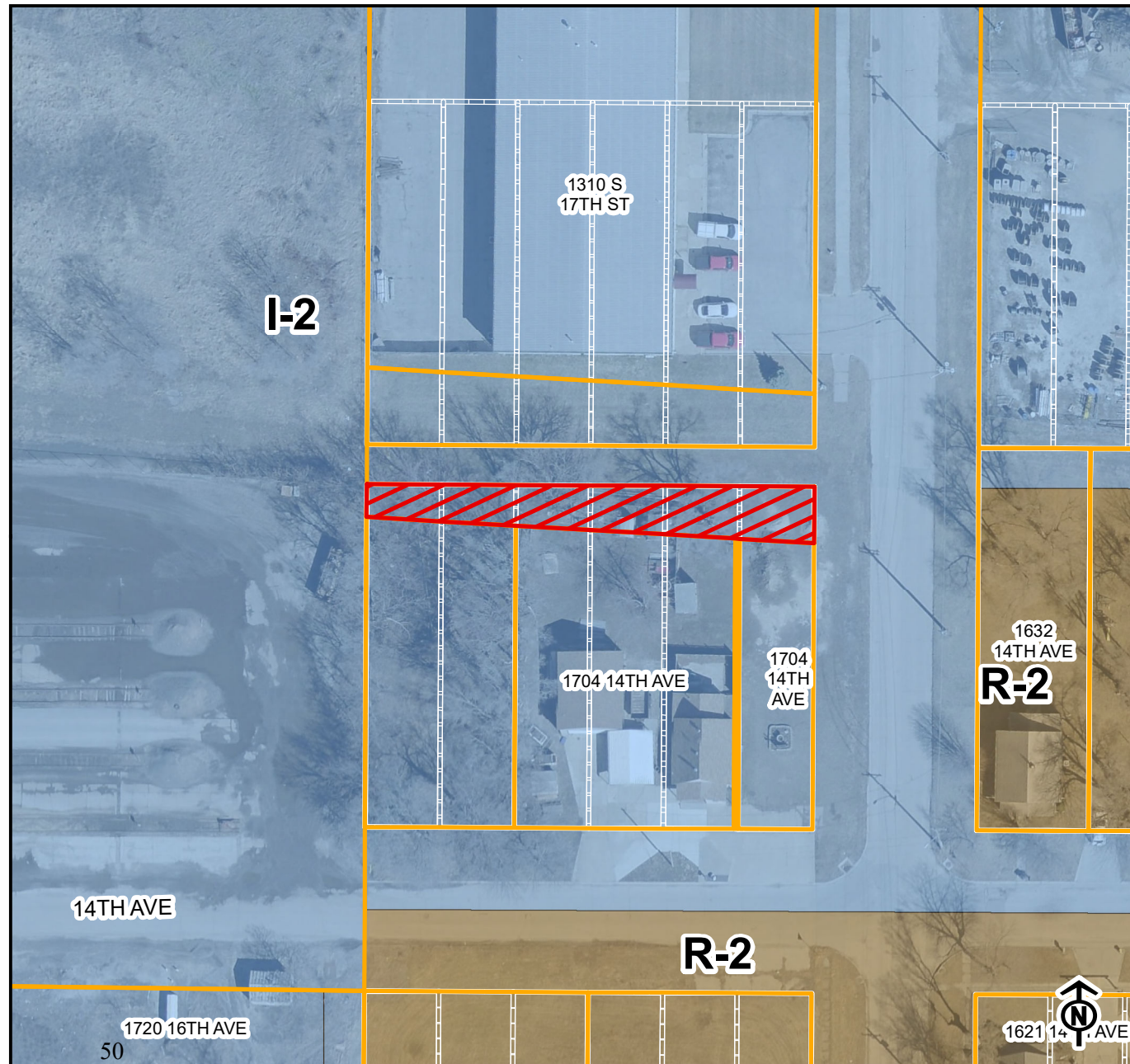


Last Amended: 11/3/2023



Council Bluffs Community
Development Department
209 Pearl Street
Council Bluffs, IA 51503
Telephone: (712) 890-5350

DISCLAIMER
This map is prepared and compiled from City documents, plans and other public records data. Users of this map are hereby notified that the City expressly disclaims any and all responsibilities for errors, if any, in the information contained on this map or the misuse of the same by the user or anyone else. The user should verify the accuracy of information/data contained on this map before using it. The City assumes no legal responsibility for the information contained on this map.



1621 14TH AVE

Return to: City Clerk, 209 Pearl Street, Council Bluffs, IA 51503 - Phone: (712) 890-5261
Prepared by: Community Development Dept., Council Bluffs, IA 51503 – Phone: (712) 890-5350

RESOLUTION NO. 23-321

A RESOLUTION TO DISPOSE OF CITY PROPERTY DESCRIBED AS FORMER WABASH RAILROAD RIGHT-OF-WAY ACROSS LOTS 7-12, BLOCK 28, FLEMING AND DAVIS' ADDITION, CITY OF COUNCIL BLUFFS, POTTAWATTAMIE COUNTY, IOWA.

WHEREAS, the City has previously expressed its intent to dispose of City owned property legally described as former Wabash Railroad right-of-way across Lots 7-12, Block 28, Fleming and Davis' Addition, City of Council Bluffs, Pottawattamie County, Iowa.

WHEREAS, a public hearing has been held in this matter on November 27, 2023, at 7:00 p.m.

**NOW, THEREFORE, BE IT RESOLVED
BY THE CITY COUNCIL
OF THE
CITY OF COUNCIL BLUFFS, IOWA**

That the Mayor and City Clerk be and are hereby authorized, empowered and directed to execute a quit claim deed conveying the City's interest in the above-described property as follows:

Jesse Franklin Griffis: Property legally described as former Wabash Railroad right-of-way across Lots 7-12, Block 28, Fleming and Davis' Addition, City of Council Bluffs, Pottawattamie County, Iowa.

BE IT FURTHER RESOLVED

That the purchase price for the subject property be \$513.60, with the remainder beyond the \$51.36 down payment being due prior to conveyance of the property to the above-mentioned party. Property closing shall occur within sixty (60) days of the date of approval.

BE IT FURTHER RESOLVED

That the applicant shall submit a request to combine the subject property with property owned by the applicant at 1704 14th Avenue, legally described as Lots 7-10 excluding railroad right-of-way, Block 28, Fleming and Davis' Addition, City of Council Bluffs, Pottawattamie County, Iowa, within 30 days of title conveyance.

BE IT FURTHER RESOLVED

That the applicant shall not sell the subject property separately from the property legally described as Lots 7-10 excluding railroad right-of-way, Block 28, Fleming and Davis' Addition, City of Council Bluffs, Pottawattamie County, Iowa.

BE IT FURTHER RESOLVED

That the City Clerk is directed to deliver this resolution and attached documents to the County Recorder.

ADOPTED
AND
APPROVED: November 27, 2023.

Matthew J. Walsh Mayor

ATTEST: _____
Jodi Quakenbush City Clerk

Council Communication

Department: Community
Development
Case/Project No.: OTB-23-009
Submitted by: Haley Weber,
Planner

Resolution 23-322
ITEM 4.C.

Council Action: 11/27/2023

Description

Resolution to dispose of City-owned property described as Lot 3, Block 3, Twin City Place. Location: 2709 2nd Avenue. OTB-23-009

Background/Discussion

See attached staff report.

Recommendation

ATTACHMENTS:

Description	Type	Upload Date
Staff Report	Staff Report	11/17/2023
Attachment A: Location/Zoning Map	Map	11/17/2023
Attachment B: Proposed Plot Plan	Other	11/17/2023
Attachment C: Proposed House Plan	Other	11/17/2023
Attachment D: Letter of Intent	Letter	11/17/2023
Resolution 23-322	Resolution	11/20/2023

Council Communication

<p>Department: Community Development</p> <p>CASE #OTB-23-009</p> <p>Applicant: Habitat for Humanity of Council Bluffs 1228 South Main Street Council Bluffs, IA 51503</p>	<p>Reso. of Intent No. _____</p> <p>Reso. to Dispose No. _____</p>	<p>Set Public Hearing: 11/13/2023</p> <p>Public Hearing: 11/27/2023</p>
---	--	---

Subject/Title

Request of Habitat for Humanity of Council Bluffs to purchase surplus City-owned property legally described as Lot 3, Block 3, Twin City Place, an addition to the City of Council Bluffs, Pottawattamie County, Iowa.

Location: 2709 2nd Avenue

Background/Discussion

The Community Development Department has received an offer from Habitat for Humanity of Council Bluffs to purchase the surplus City-owned property legally described above. The subject property is zoned R-3/Low-Density Multifamily District and is classified as ‘transitional dispose’ and ‘buildable.’ The subject property is not located within a flood zone. A location/zoning map has been included with this report as Attachment ‘A.’

The applicant proposes to acquire the subject property to construct a detached single-family dwelling (see Attachment ‘B’ for proposed plot plan and Attachment ‘C’ for proposed house plan). Per the submitted letter of intent, included as Attachment ‘D,’ the completed dwelling is intended to be sold for owner occupancy to qualifying buyers through the Habitat for Humanity of Council Bluffs Homeownership Program. The project will be completed in partnership with Thomas Jefferson High School students through the Council Bluffs Schools Tradeworks program. Participating students will start the project on a temporary foundation on the school’s property and then move the home to its permanent foundation on the subject property.

According to the adopted *Inventory and Disposal Policy for Surplus City Property*, dated April 23, 2018, the subject property shall be priced at its most recent assessed land value, which is \$15,900.00. The applicant has offered \$15,900.00 to purchase the property, and has submitted the required 10% down payment (\$1,590.00) and \$50.00 application fee.

The subject property was acquired by the City of Council Bluffs on May 10, 2021. As is stated in the adopted *Inventory and Disposal Policy for Surplus City Policy*, the property would be eligible for a forgivable mortgage as it has been actively marketed on the Surplus Property list for more than the required 24 months. The City has not incurred any maintenance cost for this property.

The subject property contains 4,323 square feet, which does not meet the minimum 5,000 square foot lot size requirement for single-family detached uses in the R-3 District and is therefore considered a nonconforming lot of record. As per Section 15.26.020 of the Municipal Code (Zoning Ordinance), “*nonconforming lots of record existing at the effective date of the ordinance codified in this chapter shall be exempt, unless otherwise provided, from the minimum lot area and lot width requirements of each zoning district. Such lots may be developed with any principal use allowed by the regulations for the district and must comply with all other density regulations set forth by this*

chapter.” Although the subject property is a nonconforming lot of record, it is considered buildable as a single-family structure can be constructed on the property that meets all R-3 District site development standards.

Recommendation

The Community Development Department recommends disposing of property legally described as Lot 3, Block 3, Twin City Place, an addition to the City of Council Bluffs, Pottawattamie County, Iowa, subject to the following conditions:

- A. The purchase price shall be \$15,900.00, with the remaining balance beyond the submitted \$1,590.00 down payment being forgiven by the City of Council Bluffs upon issuance of a Certificate of Occupancy for a completed home on the subject property within two years from the date of the decision.
- B. Closing shall occur on the property within 60 days of the date of the decision.

Attachments

- Attachment A: Location/Zoning Map
- Attachment B: Proposed Plot Plan
- Attachment C: Proposed House Plan
- Attachment D: Letter of Intent

Prepared by: Haley Weber, Planner, Community Development Department

CITY OF COUNCIL BLUFFS - CITY COUNCIL CASE #OTB-23-009 LOCATION/ZONING MAP

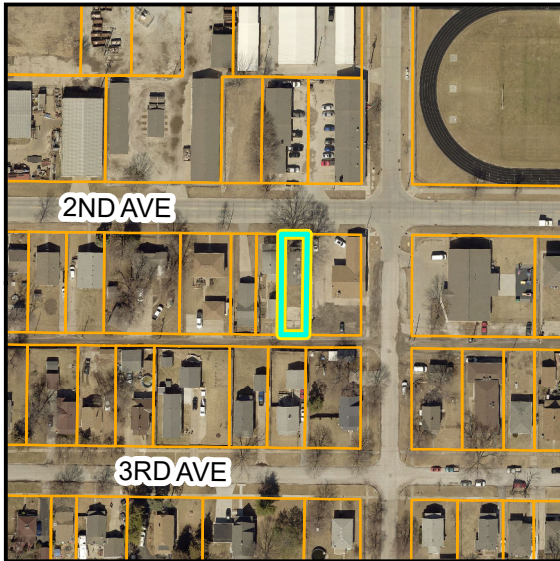


Subject Property Case #OTB-23-009

0 15 30



1 inch = 33 feet



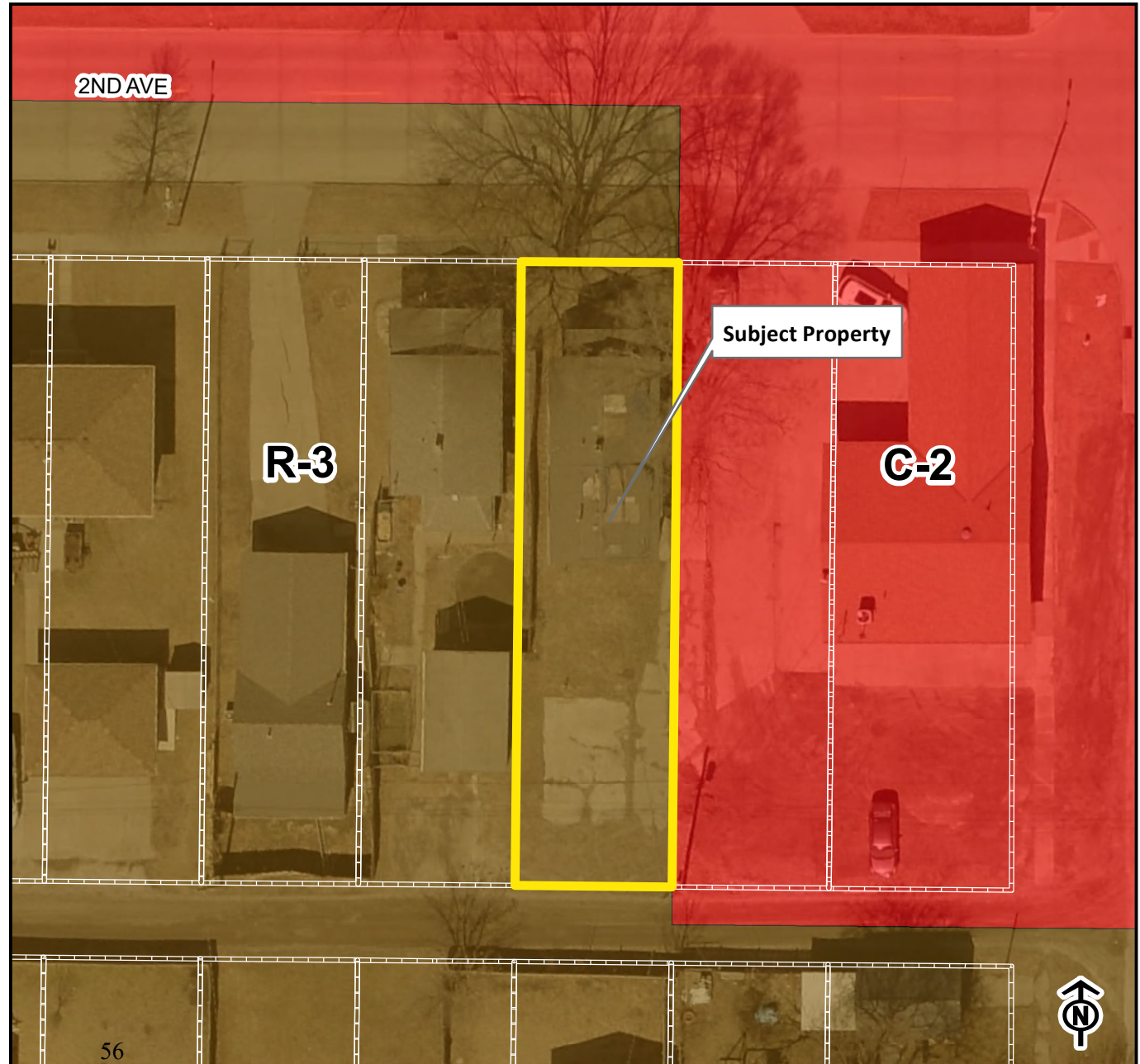
Last Amended: 10/24/2023

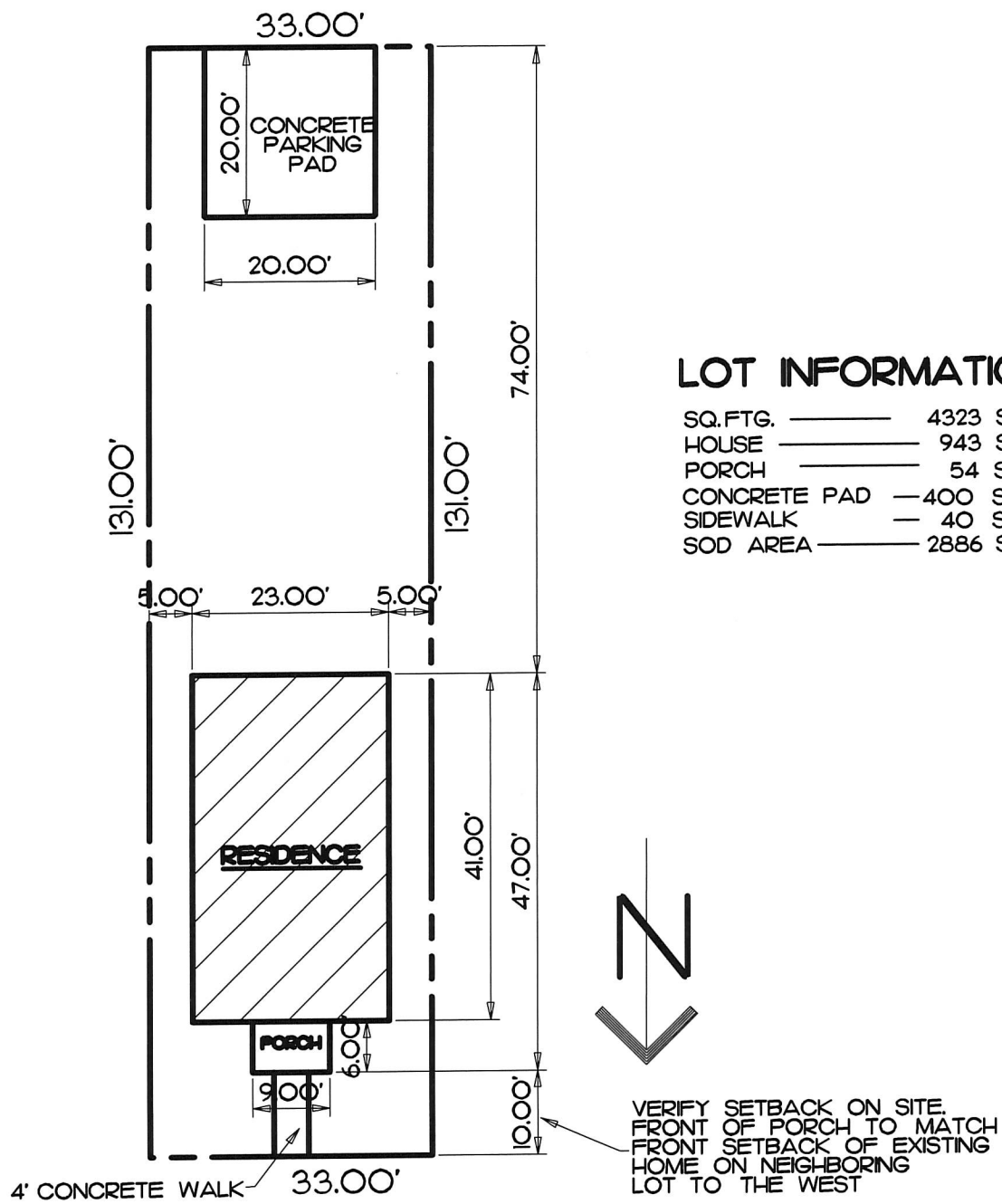


Council Bluffs Community
Development Department
209 Pearl Street
Council Bluffs, IA 51503
Telephone: (712) 890-5350

DISCLAIMER

This map is prepared and compiled from City documents, plans and other public records data. Users of this map are hereby notified that the City expressly denies any and all responsibilities for errors, if any, in the information contained on this map or the misuse of the same by the user or anyone else. The user should verify the accuracy of information/data contained on this map before using it. The City assumes no legal responsibility for the information contained on this map.





LOT INFORMATION

SQ. FTG.	4323 SQ. FT.
HOUSE	943 SQ. FT.
PORCH	54 SQ. FT.
CONCRETE PAD	400 SQ. FT.
SIDEWALK	40 SQ. FT.
SOD AREA	2886 SQ. FT.

2709 S 2ND AVE

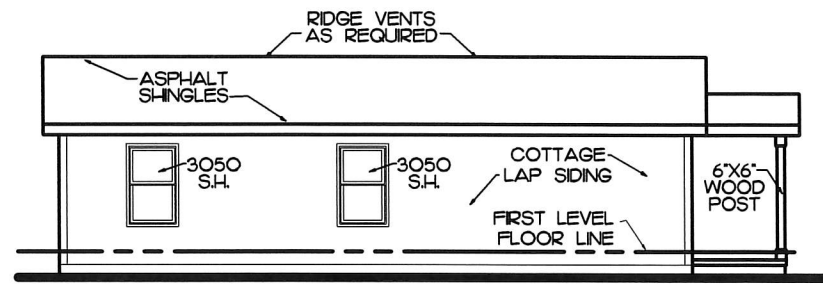
**LOT #3 BLOCK 3
TWIN CITY PLACE**

SCALE: 1" = 20'-0"

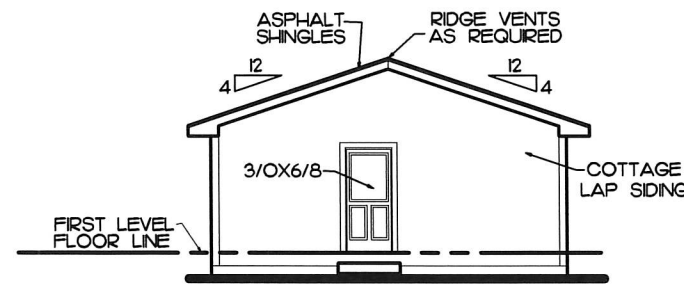
<p>TRK & Associates RESIDENTIAL DESIGN SERVICES</p>	<p>7561 MAIN STREET RALSTON, NE 68127</p>	<p>592-6968</p>	<p>JOB:</p>
	<p>FOR: COUNCIL BLUFFS HABITAT FOR HUMANITY</p>	<p>DATE: 10/19/23</p>	

NOTE: LOT AREA CALCULATIONS ARE FOR AREAS INSIDE PROPERTY LINES ONLY. CITY SIDEWALK AND DRIVEWAY APPROACH ARE NOT INCLUDED

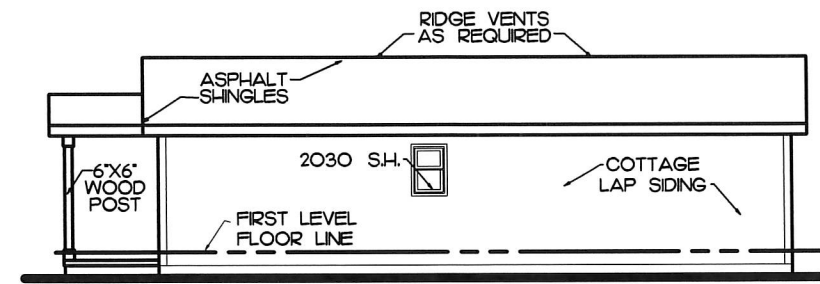
ATTACHMENT C



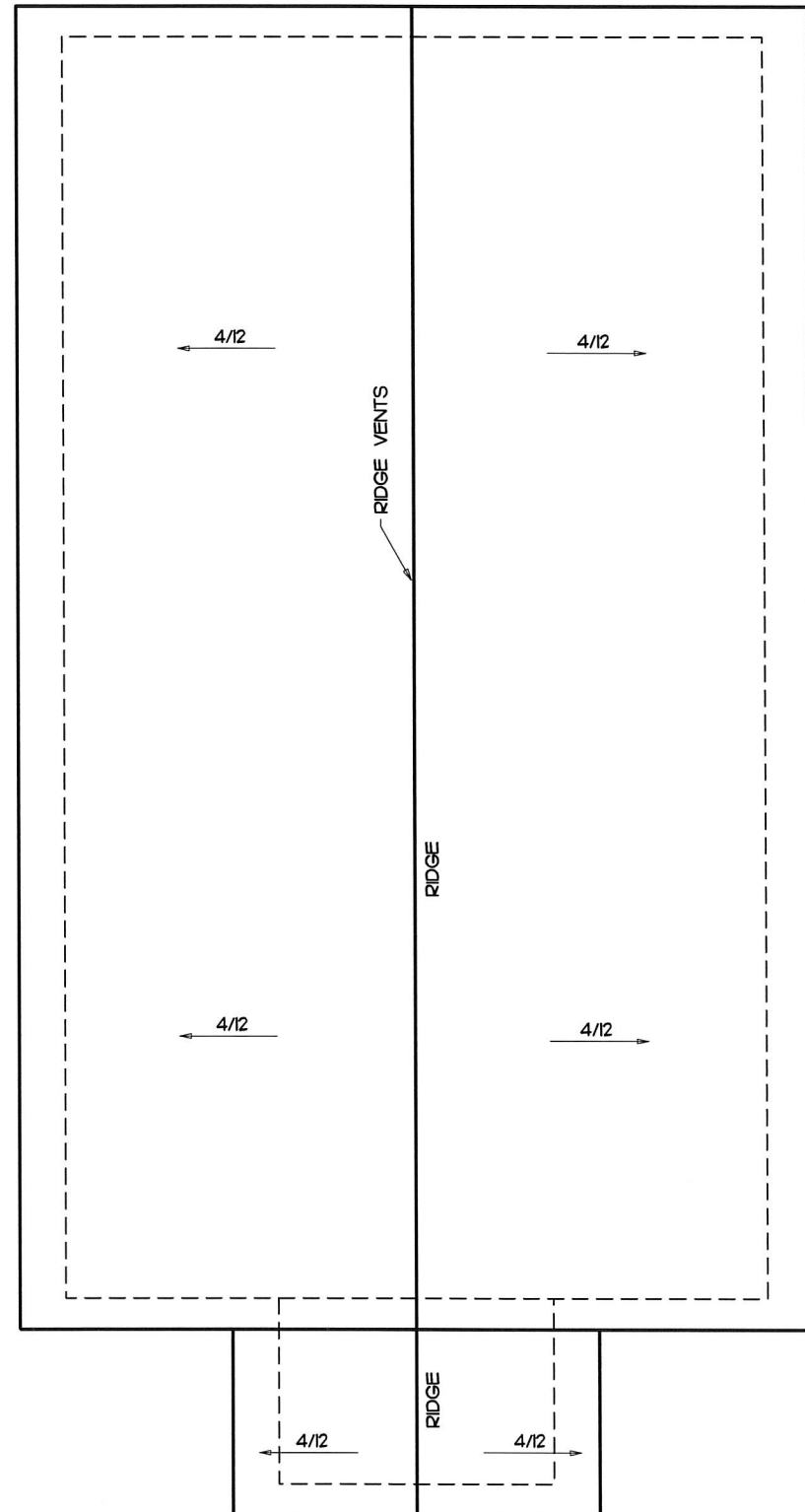
LEFT SIDE ELEVATION
SCALE: 1/8" = 1'-0"



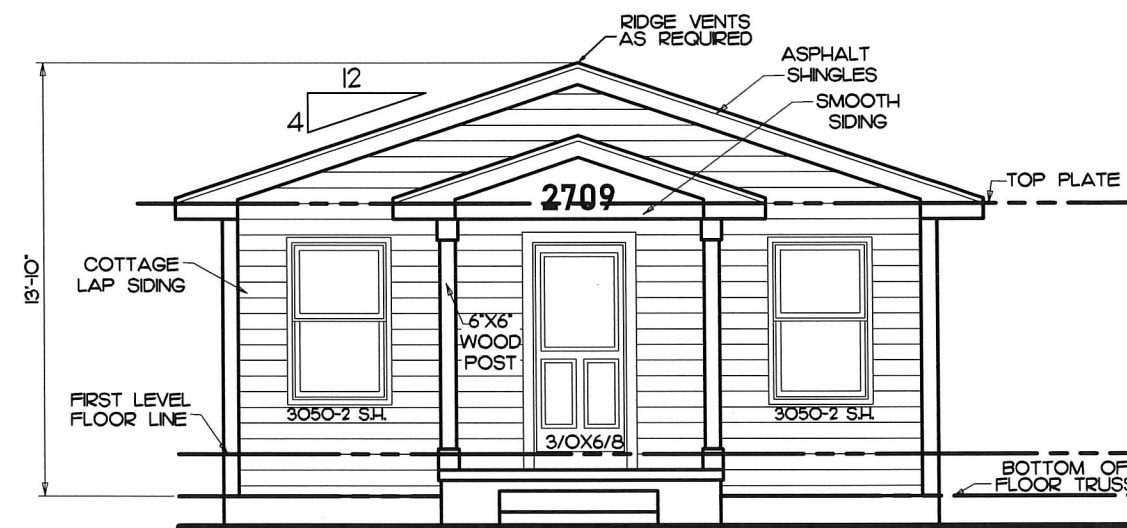
REAR ELEVATION
SCALE: 1/8" = 1'-0"



RIGHT SIDE ELEVATION
SCALE: 1/8" = 1'-0"



ROOF PLAN



FRONT ELEVATION
SCALE: 1/4" = 1'-0"

402-592-6968
 REVERSED PLANS
 DESIGNER IS NOT AN ARCHITECT OR ENGINEER.
 SITE CONDITIONS MAY VARY. DESIGNER CANNOT
 WARRANT THE SUITABILITY OF THESE PLANS FOR
 YOUR SPECIFIC SITE. CONSULT YOUR CONSTRUCTION
 PROFESSIONAL TO DETERMINE THE SUITABILITY OF
 THESE PLANS FOR YOUR SPECIFIC SITE.

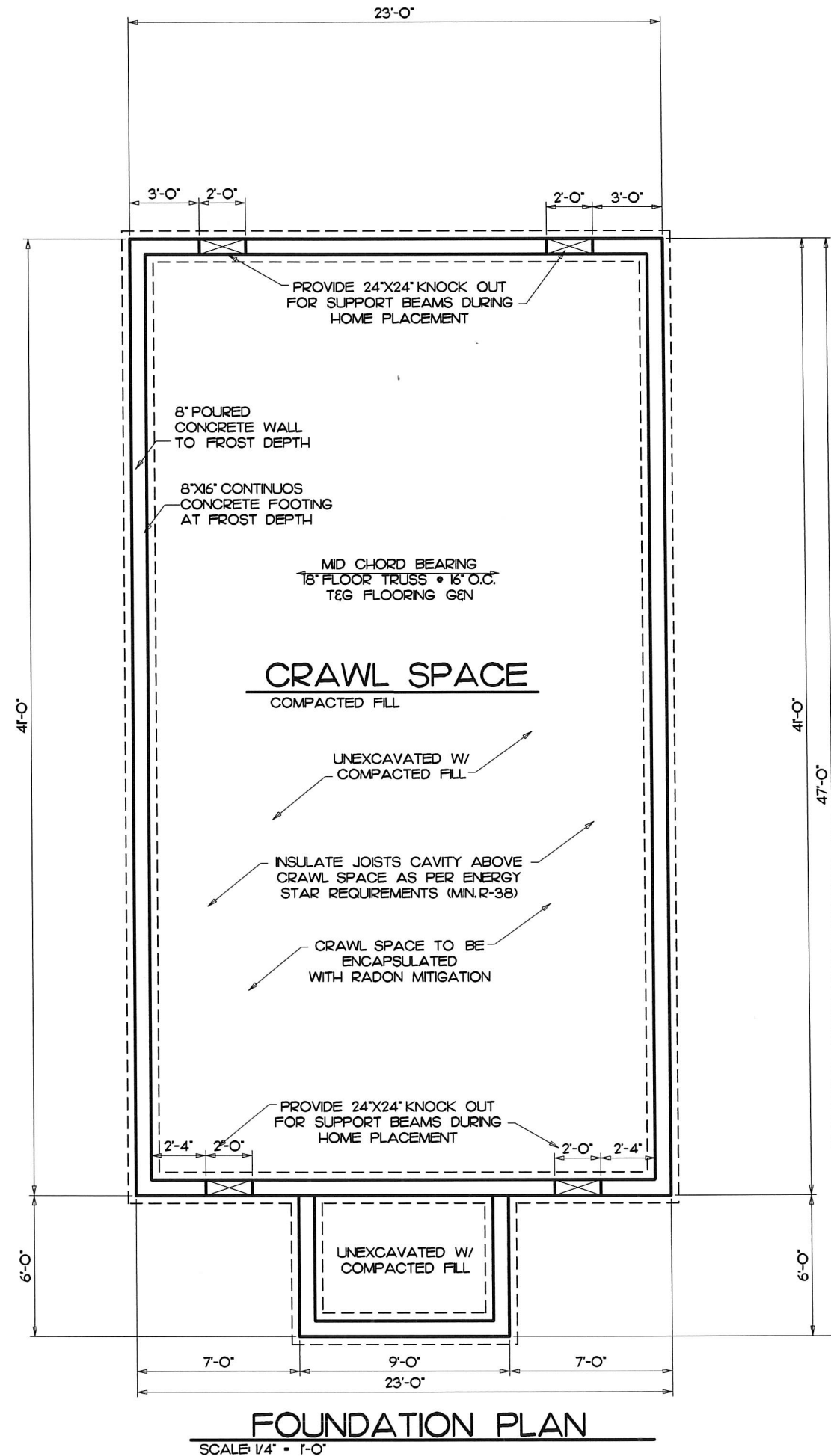
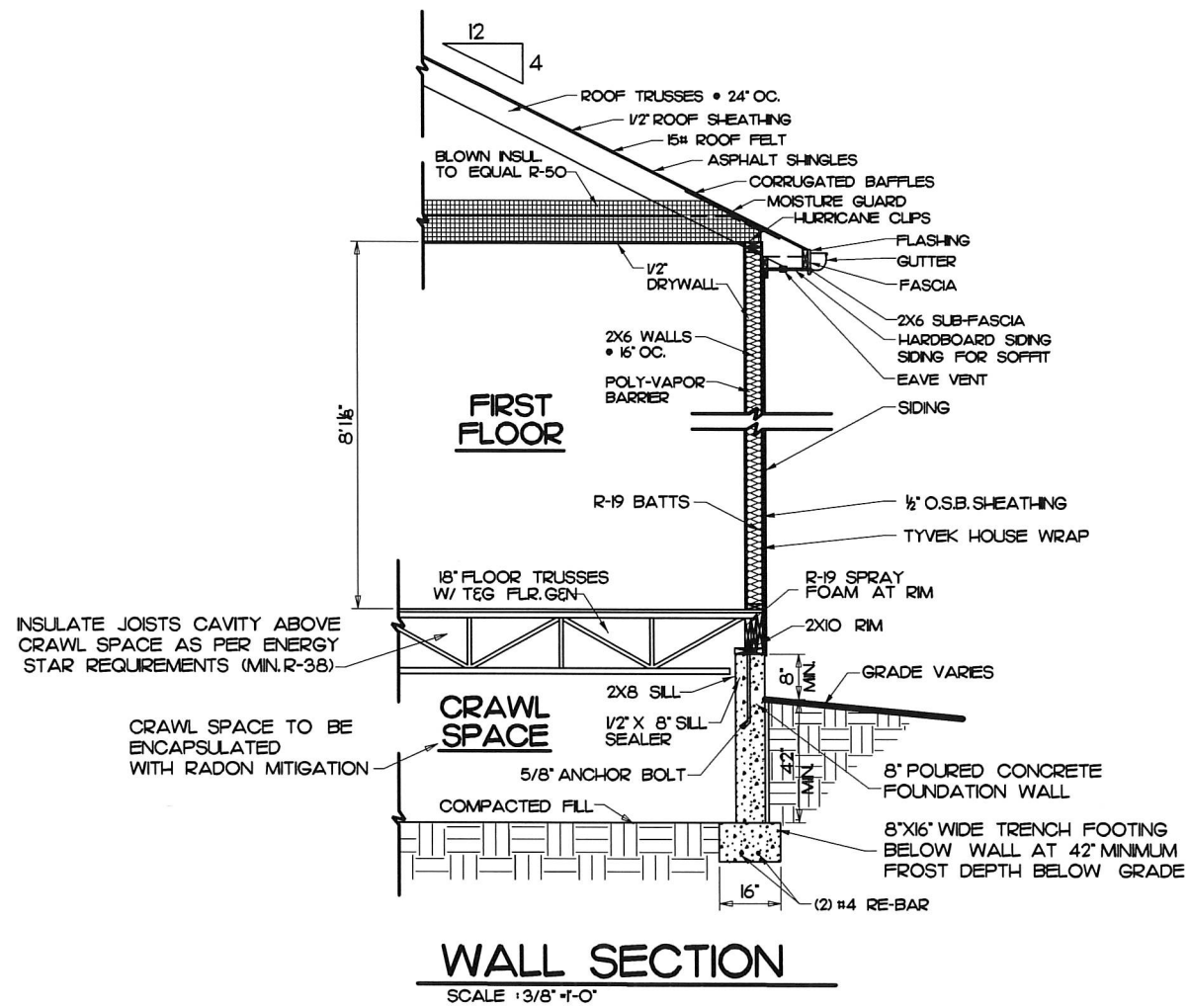
Habitat for Humanity of Council Bluffs
 2709 2nd Ave

Residential Design Services
 402-592-6968

TRK
 & Associates

NOTE: SIZE, SPACING, SPECIES & LOCATION OF ALL STRUCTURAL MEMBERS IS TO BE VERIFIED BY CONTRACTOR.

NOTE AIR CONDITIONER LOCATION DETERMINED ON JOBSITE W/ HVAC CONTRACTOR



402-592-6968
 REVISION PLAN
 DESIGNER IS NOT AN ARCHITECT OR ENGINEER. SITE CONDITIONS MAY VARY. DESIGNER CANNOT WARRANT THE SUITABILITY OF THESE PLANS FOR YOUR SPECIFIC SITE. CONSULT YOUR PROFESSIONAL TO DETERMINE THE SUITABILITY OF THESE PLANS FOR YOUR SPECIFIC SITE.

Habitat for Humanity of Council Bluffs
 2709 2nd Ave

TRK
 Residential Design Services
 402-592-6968
 & Associates

NOTE: PLACEMENT OF ALL ELECTRICAL OUTLETS, SWITCHES AND FIXTURES ARE APPROXIMATE. VERIFY LOCATIONS ON WALK THROUGH WITH ELECTRICIAN. ELECTRICAL CODE REQUIREMENTS TAKE PRECEDENCE.

ELECTRICAL LEGEND	
OUTLETS	SWITCHES
⊖ 10 VOLT	⊖ TWO-WAY
⊖ 220 VOLT	⊖ THREE-WAY
⊖ SWITCHED 10	⊖ FOUR-WAY
⊖ GROUND FAULT	MISC. FIXTURES
⊖ GROUND FAULT WEATHER-PROOF	
⊖ FLOOR OUTLET	⊖ CLG. FAN/LIGHT COMBINATION
LIGHTING	⊖ EXHAUST FAN
⊖ WALL MOUNT	⊖ FAN/CAN COMBINATION
⊖ SURFACE MOUNT	⊖ SMOKE/CO DETECTOR
⊖ RECESSED CAN	⊖ SMOKE DETECT. WALL MOUNT
⊖ FULL-CORD SURFACE	⊖ THERMOSTAT
⊖ LED DISC LIGHT	

NOTE: ALL INTERIOR WALLS ARE 3/2" UNLESS NOTED.

NOTE: ALL EXTERIOR WALLS ARE 6" 5/2" STUD W/ 1/2" O.S.B. SHEATHING

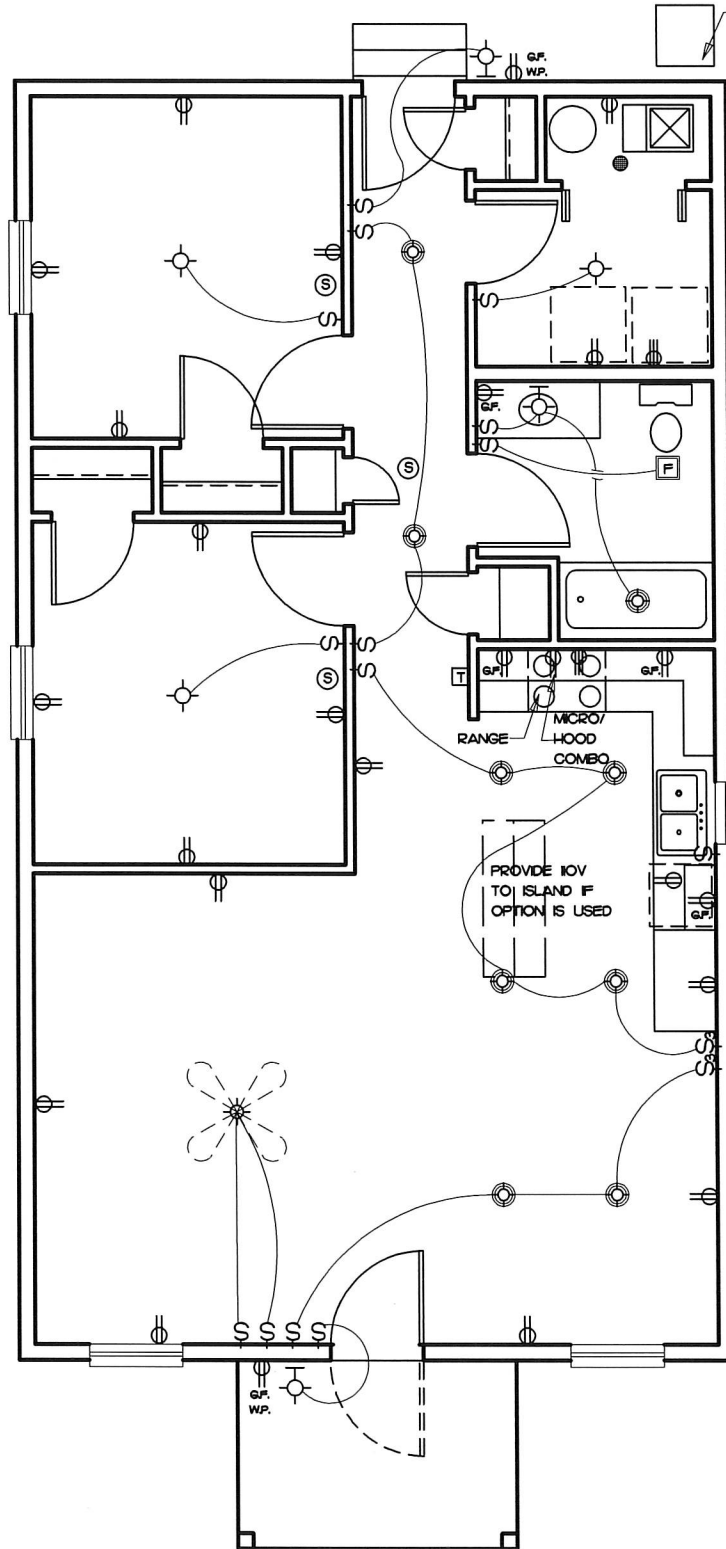
NOTE: ALL DOORS AND OPENINGS ARE 6'-8" TALL.

NOTE: ALL EXTERIOR WALLS ARE CONTINUOUSLY SHEATHED WITH O.S.B. SHEETING. BRACED WALL PANELS AS PER 2018 IRC R601.2 AND TABLE R602.10.5

NOTE: ALL MAIN LEVEL WALLS ARE 8'-1 1/2" UNLESS NOTED.

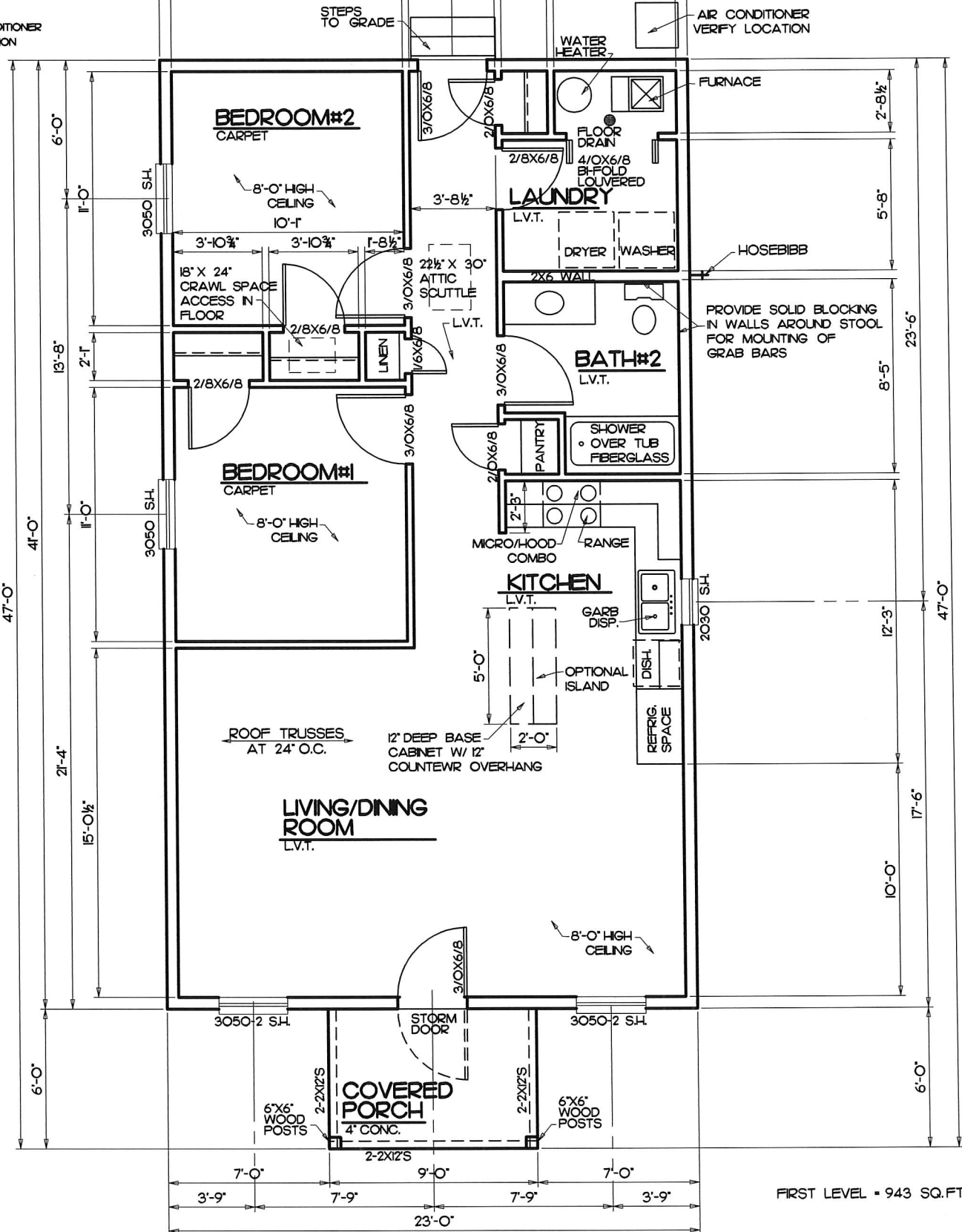
NOTE: WINDOW DESIGNATIONS ARE FOR ANDERSEN SILVER LINE WINDOWS. VERIFY SIZES W/ SUPPLIER.

NOTE: SIZE, SPACING, SPECIES & LOCATION OF ALL STRUCTURAL MEMBERS IS TO BE VERIFIED BY CONTRACTOR.



ELECTRICAL PLAN

60 SCALE: 1/4" = 1'-0"



FIRST FLOOR PLAN

FIRST LEVEL = 943 SQ. FT.

4/17/2020 REVERSED PLANS
 DESIGNER IS NOT AN ARCHITECT OR ENGINEER. SITE CONDITIONS MAY VARY. DESIGNER CANNOT WARRANT THE SUITABILITY OF THESE PLANS FOR YOUR SPECIFIC SITE. CONSULT YOUR CONSTRUCTION PROFESSIONAL TO DETERMINE THE SUITABILITY OF THESE PLANS FOR YOUR SPECIFIC SITE.

Habitat for Humanity of Council Bluffs
 2709 2nd Ave

Residential Design Services
 402-592-6968

TRK
 & Associates

ATTACHMENT D



October 19, 2023

City of Council Bluffs
Christopher Gibbons
209 Pearl Street
Council Bluffs, IA 51570

Subject: Letter of Intent – Offer to purchase a buildable lot located at 2709 2nd Ave

Dear Mr. Gibbons,

Habitat for Humanity of Council Bluffs (HFHCB) is proposing to develop a single-family new home construction at this address. The completed home would be sold for owner occupancy to qualifying buyers identified through the HFHCB Homeownership Program.

We are requesting approval of an offer to purchase this property for a total of 10% of the current assessed valuation, with the remaining amount offered to HFH by way of a forgiven mortgage.

Cash offer: \$1590

Forgiven Mortgage: \$14,310

Given the extreme need for affordable housing units, HFHCB works diligently to establish not only homes like this one, but relationships with local educators to provide job training opportunities for Council Bluffs students. This home will be constructed in partnership with the Council Bluffs Schools Tradeworks program. Freshman and Sophomore students will start this project on a temporary foundation in the Thomas Jefferson High School parking lot, then it will be moved to its permanent foundation at this subject address.

The proposed home will bring an affordable mortgage opportunity to a qualified buyer, allowing for individual equity and pride of neighborhood to be established. With increased tax revenue for the city, and our commitment to build job training opportunities to our process, we believe this to be a great use of this property.

Site Details:

1. Utilities exist adjacent to the site and support existing development. No gas connection is proposed for this home.
2. Currently, no garage is planned for this project. We will meet parking guidelines with a two-car parking pad off the alley at the rear of the property.
3. The overall site coverage falls below the minimum requirement standards of 35%
4. Front setback can be adjusted to match neighboring properties.

We aim to construct the foundation and complete underground utility work in late spring of 2024. After the shell is built by CBSD students, the home will be moved to its foundation after the school year ends in the early summer of 2024. The remaining construction timeline of interior rough-in and finish work



would take us through to a completion date – verified by a certificate of occupancy for the home – by the Fall of 2024. The closing home sale to a HFHCB program participant would be scheduled shortly thereafter.

Also included with this letter are:

- Attachment A: Application to purchase city property
- Attachment B: Lot description/Pott County Assessor pages
- Attachment C: Plot plan
- Attachment D: 2BR/1BA home plans

Habitat for Humanity of Council Bluffs is excited to continue our partnership with our local schools and provide housing opportunities to those that could not otherwise afford it.

Sincerely,

A handwritten signature in black ink, appearing to read "Blake Johnson".

Blake Johnson
Executive Director
Habitat for Humanity of Council Bluffs

Return to: City Clerk, 209 Pearl Street, Council Bluffs, IA 51503 - Phone: (712) 890-5261
Prepared by: Community Development Dept., Council Bluffs, IA 51503 – Phone: (712) 890-5350

RESOLUTION NO. 23-322

A RESOLUTION TO DISPOSE OF CITY OWNED PROPERTY DESCRIBED AS LOT 3, BLOCK 3, TWIN CITY PLACE, AN ADDITION TO THE CITY OF COUNCIL BLUFFS, POTTAWATTAMIE COUNTY, IOWA.

WHEREAS, the City has previously expressed its intent to dispose of City owned property legally described as Lot 3, Block 3, Twin City Place, an addition to the City of Council Bluffs, Pottawattamie County, Iowa.

WHEREAS, a public hearing has been held in this matter on November 27, 2023 at 7:00 p.m.

**NOW, THEREFORE, BE IT RESOLVED
BY THE CITY COUNCIL
OF THE
CITY OF COUNCIL BLUFFS, IOWA**

That the Mayor and City Clerk be and are hereby authorized, empowered and directed to execute a quit claim deed conveying the City's interest in the above-described property as follows:

Habitat for Humanity of Council Bluffs: Lot 3, Block 3, Twin City Place, an addition to the City of Council Bluffs, Pottawattamie County, Iowa.

BE IT FURTHER RESOLVED

That the purchase price for the subject property be \$15,900.00 with the remaining balance beyond the submitted \$1,590.00 down payment being forgiven by the City of Council Bluffs upon issuance of a Certificate of Occupancy for a completed home within 24 months of the City Council's approval date. Property closing must occur within 60 days of the date of approval.

BE IT FURTHER RESOLVED

That the City Clerk is directed to deliver this resolution and attached documents to the County Recorder.

ADOPTED
AND
APPROVED: November 27, 2023.

Matthew J. Walsh Mayor

ATTEST: _____
Jodi Quakenbush City Clerk

Council Communication

Department: Finance

Case/Project No.:

Submitted by: Finance Department /
Danielle Bemis

Resolution 23-323

ITEM 4.D.

Council Action: 11/27/2023

Description

Resolution approving the City of Council Bluffs FY25-FY29 Capital Improvement Program (CIP).

Background/Discussion

The City of Council Bluffs has established this time and place for a public hearing on the approval of the FY25-FY29 CIP.

The purpose of the CIP is to provide the City Council with a framework upon which to base improvement decisions, provide the City staff with direction as to its work efforts, and provide the citizens with information about the City's future intentions as it relates to the capital improvement program.

Recommendation

On November 14, 2023, the Planning Commission found that the proposed FY25-FY29 CIP was consistent with the Bluffs Tomorrow: 2030 Plan. The City is requesting approval of the FY25-FY29 CIP plan with the understanding the primary focus is FY25 projects and the subsequent years will be re-evaluated on an annual basis, determined by future financial availability, strategic needs and timing.

This also satisfies Step 1 of the General Obligation (GO) Bonding Process, which is to conduct a public hearing to approve the FY25 projects, which also highlights projects earmarked for GO Bonds. Approval of the CIP will allow the City to move forward in the GO Bond process to issue debt, funding specific projects outlined.

ATTACHMENTS:

Description	Type	Upload Date
FY25-FY29 CIP Packet	Other	11/17/2023
GO Bond Process	Other	11/17/2023
Resolution 23-323	Resolution	11/20/2023



City of Council Bluffs

Capital Improvement Program

Fiscal Years

FY25 through FY29

Public Hearing: November 27, 2023

ACKNOWLEDGEMENTS

MATTHEW J. WALSH, MAYOR
BRANDON GARRETT, CHIEF OF STAFF

CITY COUNCIL

JOE DISALVO
STEVE GORMAN
CHAD HANNAN
CHRIS PETERSON
ROGER SANDAU
JODI QUAKENBUSH, CITY CLERK

CITY DEPARTMENTS

MARK HOWARD, CHIEF INFORMATION OFFICER
DICK WADE, CITY ATTORNEY
COURTNEY HARTER, COMMUNITY DEVELOPMENT DIRECTOR
DANIELLE BEMIS, FINANCE DIRECTOR
JUSTIN JAMES, FIRE CHIEF
STACIE JENSEN, HUMAN RESOURCES DIRECTOR
ANTONIA KRUPICKA-SMITH, LIBRARY DIRECTOR
VINCENT MARTORELLO, PARKS AND RECREATION DIRECTOR
MATT DAVIS, POLICE CHIEF
MATT COX, PUBLIC WORKS DIRECTOR

SECTION I – INTRODUCTION

Mission: To continuously improve the quality of life and attractiveness of the City of Council Bluffs.

1. PURPOSE OF THE CAPITAL IMPROVEMENT PROGRAM

Capital expenditure decisions represent some of the most significant policy choices made by the City of Council Bluffs. Almost all departments within the City face the need for capital expenditures. Capital improvement programming and budgeting involves the development of a long-term plan for capital expenditures for the City. The Capital Improvement Program includes expenditures that are of significant value and have a long-term useful life such as, streets, sewers, land and major equipment.

The Capital Improvements Program (CIP) lists each proposed project to be undertaken, the year in which it will be started, the amount expected to be expended for the project, and the proposed method of financing these expenditures. Based on this information, summaries of capital projects by department can be prepared as well as summaries of financial requirements, such as amounts of general obligation bonds to be issued or amount of general/special revenue funds required.

The CIP identifies the City's most critical capital improvement needs and the general policies under which decisions are made. The CIP was developed for the following purposes:

- To address and prioritize the City's improvements needs in a comprehensive manner;
- To permit careful consideration, design, and scheduling of individual projects through advanced planning;
- To allow for financial planning over a long period; and
- To provide continuity in improvement programs with changes in City Council and Staff.

The development of CIP is the process of deciding what capital projects should be done, when they should be done, and how they will be financed. In its simplest form, CIP is a listing of improvement projects by priority, including a cost estimate and funding source. The adoption of the CIP by the City Council does not, by itself, guarantee or commit the City to a given set of projects. It is however, a critical step in the general obligation bonding process. Major improvement projects are authorized on an individual basis in accordance with state laws and municipal ordinances. However, the plan does provide the City Council with a framework upon which to base improvement decisions, provides the City staff with direction as to its work effort, and provides the citizens with information about the City's future intentions. The latter is particularly important because of the impact public facilities can have on business and development decisions. Future years of the CIP are re-evaluated based on strategic needs, funding availability, and timing.

2. CAPITAL IMPROVEMENT DEFINED

The term capital improvements normally refer to expenditures for capital items of long-term in nature. Minor capital needs and repairs and maintenance, which occur from time to time, are best handled through the annual operating budgets.

The City recognizes capital items to have a 7-10 year useful life, at minimum.

3. RELATIONSHIP TO OTHER PLANS AND DOCUMENTS

It is the function of the CIP to plan the construction of the community's physical improvements in a manner consistent with the City's overall goals. These goals are expressed in a number of different fashions, including the comprehensive plan, neighborhood plans, and many other less formal expressions of community policy. These goals established over the years, define the basic functions the City has decided to undertake, set minimum levels of service, and determine financing methods. More specifically, the goals of this process include establishing an improvement program which:

- Defines a realistic level of financial resources which can be committed to the City's improvement needs;
- Prioritizes the City's need for allocation of limited resources;
- Addresses the basic facility needs of the community in the most cost effective manner (basic service being defined as streets, sewers, drainage, and water);
- Recognizes the role the City facilities in the development process and the need for the City to make improvements which promote the economic stability and orderly growth of the community;
- Recognizes the total scope of City services and allocates a portion of the City resources to those amenities which improve the quality of life and public safety;
- Encourages acquisition of outside funding to supplement City resources.

SECTION II – CAPITAL IMPROVEMENT PROGRAM GOALS

1. OVERALL GOALS OF CIP

The FY25 – FY29 Capital Improvement Program was based on the following goal statements:

Planning and Community Growth

The City will use the CIP process to establish a five-year program that is consistent with the Comprehensive Plan and shall function as a major tool for implementing its adopted goals and policies.

The CIP shall encourage further infill development and redevelopment of existing areas of the community by implementing the conservation, rehabilitation, and reconstruction of aging facilities. The City will follow a philosophy of rebuild it first and build it second.

The CIP will promote the renovation and extension of public services and facilities in priority areas of the community including the Missouri River levee system, West Broadway/1st Avenue Corridor, River's Edge, and the Entertainment District.

The City will use the CIP process to construct new and preserve existing components of infrastructure systems that provide the level of service expectations of the public in an efficient and effective manner, recognizing the limited resources available.

The City will use the CIP to construct infrastructure that attracts additional economic activity into the community.

Public Safety

Priority will be placed on activities that prevent or protect the community from unreasonable exposure to dangerous and life threatening events.

Fiscal Considerations

CIP will support the long-range economic and fiscal stability of Council Bluffs. The CIP will structure annual debt service payments consistent within anticipated revenues.

Sales tax proceeds and Road use funds will be used in compliance with State Code and City ordinance.

General obligation bond proceeds will be utilized by projects that provide revitalization, result in additional tax base, or enhance community improvement and protection.

Operational Considerations

CIP projects will be evaluated for impacts on annual operational and maintenance budgets.

New construction shall be designed to emphasize sustainability and built to a quality that minimizes maintenance and operational costs.

2. CIP CATEGORICAL GOALS

Five specific categories were identified by the Capital Improvements Program. These include public facilities, parks and recreation, public safety, utilities, transportation, and community development. The goals, policies and capital improvement efforts by category are outlined as follows:

a. Utilities and Environment

Objective – Execute improvements to the sanitary sewer, storm sewer, and levee system that meet the needs of the public and comply with state and federal regulations.

Capital Improvement Efforts

- Update the City’s sanitary sewer treatment facilities and pump stations to current environmental standards and to allow for additional residential and business development in the community.
- Improve the current sanitary sewer and storm water infrastructure within the community to preserve existing development and to encourage redevelopment of existing residential, commercial, and industrial areas.
- Extend sanitary sewer to identified growth areas to encourage new residential, commercial, and industrial development within or adjacent to the community.
- Implement improvements to the City’s levee system to meet FEMA accreditation and the USACE standards for federal levees.
- Implement storm water management practices and projects to comply with the requirements of the City’s IDNR NPDES Phase II permit.
- Maintain and improve existing public facilities
- Develop new facilities based upon need.

b. Transportation

Objective – Proactively preserve and upgrade our existing transportation system throughout the City for the safe and efficient movement of people, goods, and services.

Objective – Coordinate transportation planning and improvements with the planning and development of other elements of the community, including other modes of transportation, public utilities, community facilities, and commercial and industrial areas.

Capital Improvement Efforts

- Continue a program of pavement resurfacing which extends the service life of existing streets.
- Improve the current street, pedestrian and bicycle system within the community through reconstruction, combined with other utility improvements to preserve existing development and to encourage the redevelopment of residential, commercial, and industrial areas.
- Construct street extensions or reconstruct streets, which will result in new residential, commercial, or industrial development.

c. Public Safety

Objective – Provide for the equitable distribution of community facilities to meet the public safety needs of the community.

Objective – Provide adequate safety and crime prevention systems in Council Bluffs.

Capital Improvement Efforts

- Continue the program to upgrade and maintain current Fire Department facilities to plan and provide future facilities in locations that will ensure service coverage of future City growth.

- Maintain a program to plan and purchase Fire Department and Police Department equipment to ensure current and future levels of service and take advantage of technological advances.

d. Information Technology

Goal – The City will continue to improve the safety and security for IT resources.

Objective – Provide secure mechanisms for expanded user access while maintaining Cybersecurity awareness within the City.

Goal – The City will continue to enhance cost effective common infrastructure services.

Objective – Focus efforts on continuous improvement.

Goal – Support emerging IT areas

Objective – Improve ability of infrastructure to adapt to and integrate architecture into City services with emerging technologies.

Capital Improvement Efforts

- Continue improving the internal network security and increase security awareness within the City user and operations communities.
- Create a secure service infrastructure that enables access anytime from anywhere to any IT resources.
- Implement hardware and software solutions that enable City employees to perform their jobs efficiently and effectively.
- Develop integrated application designs in order to improve the business process flows of the City.

e. Community Development

Goal – The City will continue to play a leadership role in the strategic development of community growth to expand opportunities for housing, employment, and an expanded tax base.

Objective – Complete infrastructure and upgrades in key areas of community growth.

Goal – The City shall encourage further infill development and redevelopment of existing areas of the community by implementing the conservation, rehabilitation, and reconstruction of aging facilities that are coordinated with redevelopment investments.

Objective – Remove or redevelop dilapidated structures and sites requiring environmental remediation in the community. Encourage infill development and redevelopment of existing developed areas of the community.

Objective – Work to expand housing choices by cost, by location, and by type of dwelling.

Capital Improvement Efforts

- Implement the recommendations contained in the Mid-City Neighborhood Strategy Area Plan.
- Continue the multi-year effort to redevelop West Broadway and 1st Avenue.
- Continue development of River’s Edge and the Entertainment District.
- Continue a program of systematically acquiring and redeveloping dilapidated structures.
- Provide public facility improvements to ongoing neighborhood improvement efforts.
- Work to facilitate development of new growth areas.

f. Parks and Recreation

Goal – Provide and maintain an equitable system of parks, open spaces, trails and recreational facilities to meet the cultural, educational, social, and recreational needs of the community and pursue opportunities to provide public facilities that attract regional use and function as economic generators.

Objective – To reinvest in existing assets, and to develop new assets and facilities consistent with the City’s mission “to continuously improve the quality of life and attractiveness of the City of Council Bluffs”. In doing so, the Parks and Recreation Department will provide, renovate and maintain parks and open spaces that uniquely relate to the City’s environment, history, and art/culture, or represent new trends and non-traditional leisure interests.

Capital Improvement Efforts

- Continue to plan, improve, and enhance the existing parks and recreation, aquatics, golf, historical and service delivery facilities.
- Continue Implementation of the Parks System and Recreation Facilities Master Plan.
- Develop the Missouri River Riverfront.
- Acquire, plan and develop new park and recreational facilities in development areas and in areas, which have insufficient park and recreational opportunities.
- Optimize grant funding opportunities for trails by programming annual City funding for trail renovation and the construction of new trails.
- Continue to reinvest in existing facilities, parks, and park assets.

g. Public Facilities

Goal – Provide and maintain the City’s buildings and associated amenities to service the needs of the community and employees.

Objective – Construct, renovate, and maintain the City’s buildings utilized for maintenance, public safety, operations, and administrative functions.

Objective – Construct, renovate, and maintain the City’s public, cultural, and entertainment related buildings and their amenities.

Capital Improvement Efforts

- Undertake accessibility improvements necessary to comply with the Americans with Disabilities Act.
- Maintain and upgrade the City’s maintenance, public safety, operational, and administrative buildings and their public amenities (parking lots, lighting, landscaping, etc.).
- Maintain and upgrade as necessary City owned entertainment facilities including the Mid America Center and the surrounding Entertainment District parking lots.

h. Public Library

Goal – Improve access and remove barriers to use of the Library’s resources and services for all residents and patrons and remain flexible in response to changing community needs.

Objective – Expand collections and services to include access to Library resources outside of the downtown building.

Capital Improvement Efforts

- Identify the ideal level of service for county and contract community residents and determine implementation of that service through a combination of kiosk sites, drop box, materials lockers, or bookmobile services.
- Evaluate and identify the use and expectation for makerspace services and update the current services and resources to reflect the needs of the community.

REVENUE SUMMARY BY FUNDING SOURCE AND FISCAL YEAR

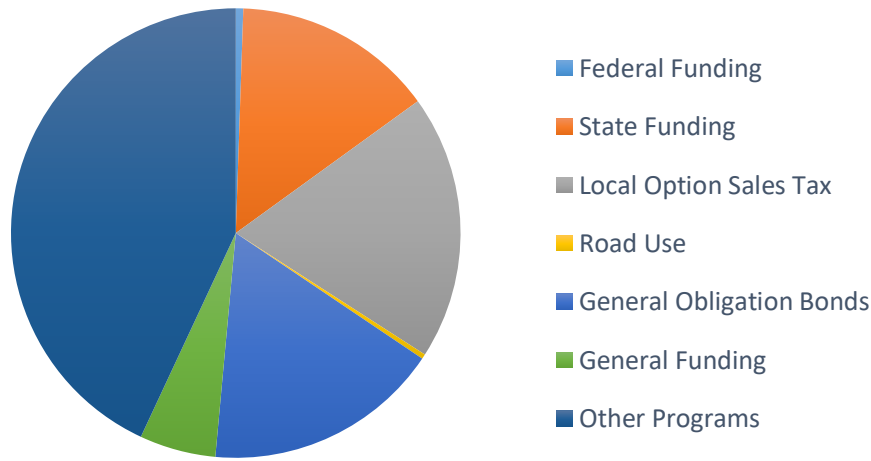
	FY25	FY26	FY27	FY28	FY29	Totals
Federal Funding	\$350,000	\$500,000	\$350,000	\$350,000	\$0	\$1,550,000
State Funding	\$4,605,000	\$2,700,000	\$7,228,000	\$7,275,000	\$20,200,000	\$42,008,000
Local Option Sales Tax	\$9,600,000	\$11,525,000	\$10,905,000	\$10,900,000	\$12,350,000	\$55,280,000
Road Use	\$0	\$1,000,000	\$0	\$0	\$0	\$1,000,000
General Obligation Bonds	\$6,259,240	\$9,304,000	\$6,800,000	\$7,785,000	\$19,200,000	\$49,348,240
General Funding	\$985,000	\$3,400,000	\$5,725,000	\$4,450,000	\$1,350,000	\$15,910,000
Other Programs	\$8,546,000	\$3,400,000	\$3,355,000	\$46,050,000	\$63,500,000	\$124,851,000
Totals	\$30,345,240	\$31,829,000	\$34,363,000	\$76,810,000	\$116,600,000	\$289,947,240

*Road Use funds are primarily used for road maintenance and improvement.

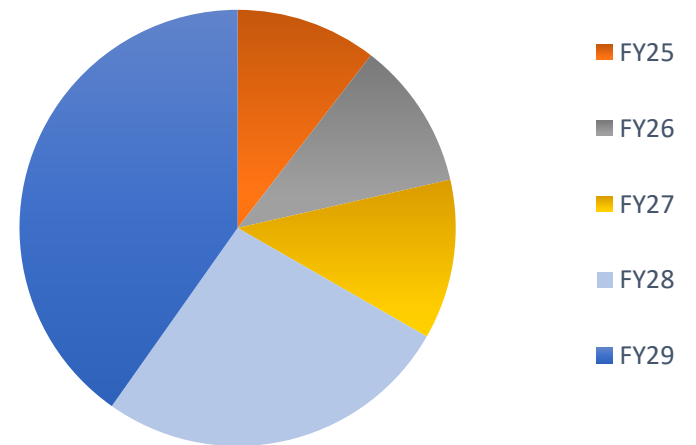
**General Obligation bond funding source is re-evaluated annually based on financial capacity.

***Other Programs are re-evaluated annually based on availability. Projects with unknown funding sources are included in FY28 and FY29.

Revenue Summary By Funding Source



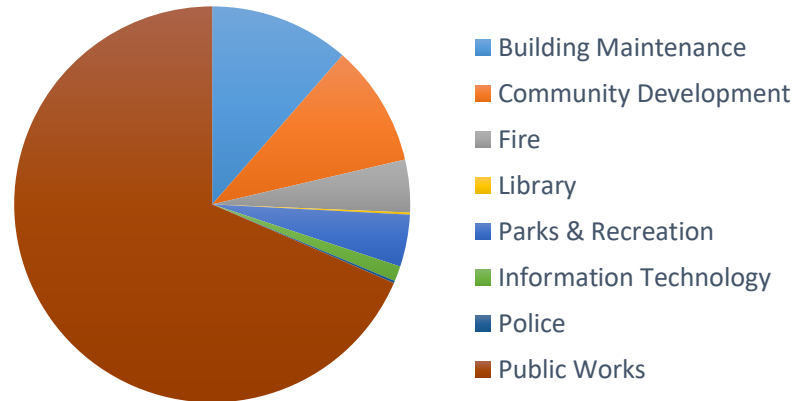
Revenue Summary By Fiscal Year



EXPENDITURE SUMMARY BY DEPARTMENT AND FISCAL YEAR

	FY25	FY26	FY27	FY28	FY29	Totals
Building Maintenance	\$3,135,000	\$2,580,000	\$4,625,000	\$7,140,000	\$15,650,000	\$33,130,000
Community Development	\$7,350,000	\$3,600,000	\$3,850,000	\$4,100,000	\$9,900,000	\$28,800,000
Fire	\$1,010,000	\$900,000	\$850,000	\$1,700,000	\$8,000,000	\$12,460,000
Library	\$0	\$300,000	\$200,000	\$0	\$0	\$500,000
Parks & Recreation	\$722,940	\$3,424,000	\$2,950,000	\$2,745,000	\$2,500,000	\$12,341,940
Information Technology	\$780,000	\$700,000	\$700,000	\$700,000	\$700,000	\$3,580,000
Police	\$542,300	\$0	\$0	\$0	\$0	\$542,300
Public Works	\$16,805,000	\$20,325,000	\$21,188,000	\$60,425,000	\$79,850,000	\$198,593,000
Totals	\$30,345,240	\$31,829,000	\$34,363,000	\$76,810,000	\$116,600,000	\$289,947,240

Expenditures By Department



FY 25

PROJECT #	PROJECT TITLE	DESCRIPTION	Current Year Funding Sources										Current Year Project Cost	Notes/Further information		
			Federal	State	Sales	Road Use	GO	Gen Fund Gaming	Gen Fund Operating	Iowa West Grant	Other Grant	Donations			Other	
Building Maintenance			\$0	\$0	\$0	\$0	\$2,400,000	\$735,000	\$0	\$0	\$0	\$0	\$0	\$0	\$3,135,000	
BM-25-01	MAC Parking Lot Rehab - Phase V	Replacement of City owned lots					\$700,000	\$300,000							\$1,000,000	
BM-25-02	MAC Cooling Towers	Replace existing cooling towers due to age and condition					\$700,000	\$200,000							\$900,000	
BM-25-03	Library Building Automation Upgrades	Replace failing building automation components and purchase new building automation software					\$320,000	\$60,000							\$380,000	Gaming
BM-25-04	UP Museum Windows and Doors	Replace all windows and doors					\$530,000								\$530,000	Gaming
BM-25-05	UP Museum Roof Top Mechanical	Replace two roof top units					\$150,000								\$150,000	Gaming
BM-25-06	Central Fire Station Exterior Repair	Clean and seal exterior walls						\$100,000							\$100,000	Gaming
BM-25-07	MAC Automated Floor Scrubber	Purchase Automated Floor scrubber						\$75,000							\$75,000	Gaming
Community Development			\$350,000	\$0	\$0	\$0	\$1,134,000		\$0	\$0	\$2,000,000	\$0	\$3,866,000	\$7,350,000		
CD-25-01	FIRST AVE Program (Furthering Interconnections, Revitalization, Streetscapes, Transportation, and Aesthetics for a Vibrant Economy)	Acquisitions/demolition					\$500,000								\$500,000	
CD-25-02	Downtown projects	Acquisitions/demolition/infrastructure/studies/façade grants					\$200,000								\$200,000	
CD-25-03	Rivers Edge Water Main	Extension of water main to Rivers Edge					\$434,000							\$866,000	\$1,300,000	Other: PY 2021B GO Bonds
CD-25-04	East Manawa Development	Planning, design, infrastructure	\$350,000								\$2,000,000		\$3,000,000	\$5,350,000	Fed: CDBG Other Grant: Housing Dev Fund Other: ARPA	
Police Department			\$0	\$0	\$0	\$0	\$542,300		\$0	\$0	\$0	\$0	\$0	\$542,300		
PD-25-01	Vehicles and Heavy Equipment	Equipment purchases and improvements, to include fleet					\$542,300								\$542,300	
Fire Department			\$0	\$0	\$0	\$0	\$1,010,000		\$0	\$0	\$0	\$0	\$0	\$1,010,000		
FD-25-01	Medic Unit Refurbishment	Apparatus Replacement Previous year delay FY/24					\$350,000								\$350,000	
FD-25-02	Medic Unit Refurbishment	Apparatus Replacement					\$270,000								\$270,000	
FD-25-03	Vehicles and Heavy Equipment	Equipment purchases and improvements, to include fleet					\$390,000								\$390,000	
IT			\$0	\$0	\$0	\$0	\$500,000	\$200,000	\$0	\$0	\$80,000	\$0	\$0	\$780,000		
IT-25-01	Safety and Security	Parameter cameras at City Hall and pump stations; Cyber security					\$75,000								\$75,000	
IT-25-02	Infrastructure & Services	Fiber, network switches, servers, storage					\$350,000				\$80,000				\$430,000	Library Foundation
IT-25-03	Mobile Technology	MDTs and tablets					\$75,000								\$75,000	
IT-25-04	Software Licensing	Software renewals; permit/licensing software implementation						\$200,000							\$200,000	Gaming
Parks and Recreation Department			\$0	\$0	\$0	\$0	\$672,940		\$50,000	\$0	\$0	\$0	\$0	\$722,940		
PR-25-01	City Wide Parking Lot Upgrades	Additional funding request to completed improvements to Big Lake Park and Valley View Park parking lots					\$150,000								\$150,000	
PR-25-03	Council Bluffs Recreation Complex Facility Maintenance Yard Improvements	Additional funding for Improvements to Existing Facility to Include Security Fence, Outdoor Storage and Parking Lot Modifications					\$175,000								\$175,000	
PR-25-05	Bahnsen Field Maintenance Building	Install prefabricated storage building at Bahnsen Field					\$20,000								\$20,000	
PR-25-06	Valley View Trail Sealcoat	sealcoat existing trail							\$50,000						\$50,000	Operating
PR-25-07	Vehicles and Heavy Equipment	Equipment purchases and improvements					\$327,940								\$327,940	
Public Works Department			\$0	\$4,605,000	\$9,600,000	\$0	\$0		\$0	\$0	\$0	\$0	\$2,600,000	\$16,805,000		
PW-25-01	Infrastructure Maintenance	PCC Street Repairs			\$400,000										\$400,000	
PW-25-04	Infrastructure Management	Traffic studies - Franklin, Valley View, Harry Landon			\$150,000										\$150,000	
PW-25-05	NPDES PH II Program Management	Citywide MS4 permit - storm sewer improvements			\$100,000										\$100,000	
PW-25-06	Levee Certification Projects															
	Program Management	Consultant Services			\$250,000										\$250,000	
	Geotech MC_3	Stability improvements to Mosquito Creek Levee		\$2,200,000											\$2,200,000	FMP

FY 25

PROJECT #	PROJECT TITLE	DESCRIPTION	Current Year Funding Sources										Current Year Project Cost	Notes/Further information	
			Federal	State	Sales	Road Use	GO	Gen Fund Gaming	Gen Fund Operating	Iowa West Grant	Other Grant	Donations			Other
PW-25-07	State Orchard Road Reconstruction	EHD to Steven Rd			\$3,000,000									\$3,000,000	
PW-25-08	30th Ave Sewer Rehab - Phase III	Sewer											\$500,000	\$500,000	Other = Sewer
PW-25-09	E Manawa Sewer Rehab - Phase XIII	Mowhawk Street - Pavement, sewers			\$1,300,000								\$450,000	\$1,750,000	Other = Sewer
PW-25-10	West Graham Reconstruction	Pavement, sewer		\$2,405,000	\$1,250,000									\$3,655,000	STBG
PW-25-12	30th Avenue Reconstruction	Pavement - Entrance to Power Center at S Expressway			\$750,000									\$750,000	
PW-25-13	Avenue B	Pavement, sewer - 8th St. to 13th St.			\$1,400,000								\$600,000	\$2,000,000	Other = Sewer
PW-25-14	Fiber Optic Extension to WPCP	Fiber connection for communication											\$250,000	\$250,000	Other = Sewer
PW-25-15	Storm Pump Station Rehab	Backup Gen Set at I-80			\$500,000									\$500,000	
PW-25-16	WPCP Solids Bldg Concrete Repairs	Concrete rehab of walls and ceiling in head cell pit			\$500,000									\$500,000	
PW-25-17	Pump Station Rehab	Southwest Trash Rack Replacement											\$800,000	\$800,000	Other = Sewer
Total			\$350,000	\$4,605,000	\$9,600,000	\$0	\$6,259,240	\$935,000	\$50,000	\$0	\$2,080,000	\$0	\$6,466,000	\$30,345,240	

FY 26

PROJECT #	PROJECT TITLE	DESCRIPTION	Current Year Funding Sources										Current Year Project Cost	Notes/Further information
			Federal	State	Sales	Road Use	GO	Gen Fund	Iowa West Grant	Other Grant	Donations	Other		
Building Maintenance			\$0	\$0	\$0	\$0	\$0	\$2,580,000	\$0	\$0	\$0	\$0	\$2,580,000	
BM-25-07	MAC Arena Upgrades - Phase I	Replace south retractable seating						\$660,000					\$660,000	GCP - σ (see reso 21-8 for verbiage)
BM-26-02	MAC Roof Replacement - Phase IV	Replace section of failing roof						\$1,200,000					\$1,200,000	Gaming
BM-26-03	City Hall Exterior Repair	Repair window lentsils, clean and seal exterior walls						\$200,000					\$200,000	Gaming
BM-26-04	MAC Staging	Replace existing stage						\$150,000					\$150,000	Gaming
BM-26-05	MAC Arena Folding Chairs	Replace arena folding chairs						\$120,000					\$120,000	Gaming
BM-26-06	Bass Pro Parking Lot Repairs	Mill and patch, crack seal and seal coat						\$250,000					\$250,000	Gaming
Community Development Department			\$500,000	\$0	\$0	\$0	\$3,100,000	\$0	\$0	\$0	\$0	\$0	\$3,600,000	
CD-26-01	FIRST AVE Program (Furthering Interconnections, Revitalization, Streetscapes, Transportation, and Aesthetics for a Vibrant Economy)	Acquisitions/demolition					\$500,000						\$500,000	
CD-26-02	Comp Plan Update	Studies					\$400,000						\$400,000	
CD-26-03	Downtown projects	Acquisitions/demolition/infrastructure/studies/façade grants					\$200,000						\$200,000	
CD-26-04	East Manawa Development	Planning, design, infrastructure	\$500,000				\$2,000,000						\$2,500,000	CDBG
Fire Department			\$0	\$0	\$0	\$0	\$900,000	\$0	\$0	\$0	\$0	\$0	\$900,000	
FD-26-01	Rescue 30	Apparatus Replacement					\$900,000						\$900,000	
Library			\$0	\$0	\$0	\$0	\$0	\$0	\$300,000	\$300,000	\$0	\$0	\$300,000	Library Foundation
LB-26-01	Makerspace Remodel	Expansion and remodel to makerspace							\$300,000	\$300,000			\$300,000	
IT			\$0	\$0	\$0	\$0	\$0	\$700,000	\$0	\$0	\$0	\$0	\$700,000	
IT-26-01	Safety and Security	Parameter cameras at City Hall and pump stations; Cyber security						\$75,000					\$75,000	Gaming
IT-26-02	Infrastructure & Services	Fiber, network switches, servers, storage						\$350,000					\$350,000	Gaming
IT-26-03	Mobile Technology	MDTs and tablets						\$75,000					\$75,000	Gaming
IT-26-04	Software Licensing	Software renewals; permit/licensing software implementation						\$200,000					\$200,000	Gaming
Parks, Recreation and Public Property Department			\$0	\$0	\$0	\$0	\$3,304,000	\$120,000	\$0	\$0	\$0	\$0	\$3,424,000	
PR-26-01	City Wide Parking Lot Upgrade - Bahnsen Park	Improve the two parking lots at Bahnsen Park					\$550,000						\$550,000	
PR-26-02	Park Maintenance Shops and Yard Upgrade, Phase I	Renovate existing shops building and yard					\$1,250,000						\$1,250,000	
PR-26-03	Westwood Playground Improvement	Design and Engineer drawings						\$45,000					\$45,000	Operating
PR-26-04	Twin City Park Improvement, Phase I	Engineering and design of park improvements for Twin City Park						\$75,000					\$75,000	Operating
PR-26-05	Pirate Cove Patio Improvement	Replace sand pit with concrete and add shelters for expanded seating area						\$144,000					\$144,000	
PR-26-06	River's Edge Donor Plaza	Construct new donor plaza at River's Edge					\$500,000						\$500,000	
PR-26-07	Big Lake Tennis Court Conversion	Convert existing tennis courts into pickle courts and add new shelter and plaza.					\$120,000						\$120,000	
PR-26-08	Valley View Dog Park	Additional funding for Dog Park construct new dog park					\$260,000						\$260,000	
PR-26-09	City County Trail Connector	Additional funding is requested to construct a trail along Railroad Ave, north of Kanesville Blvd					\$480,000						\$480,000	
Public Works Department			\$0	\$2,700,000	\$11,525,000	\$1,000,000	\$2,000,000	\$0	\$0	\$0	\$0	\$3,100,000	\$20,325,000	
PW-26-01	Infrastructure Maintenance	Emergency Repairs			\$200,000								\$200,000	
PW-26-04	Infrastructure Management	Evaluation study / analysis TBD			\$100,000								\$100,000	
PW-26-05	NPDES PH II Program Management	Citywide MS4 permit - storm sewer improvements			\$100,000								\$100,000	
PW-26-06	Indian Creek Channel Rehabilitation	Repair of I.C. concrete structure	\$2,700,000		\$800,000								\$3,500,000	FMP
PW-26-07	Richard Downing Blvd Reconstruction	Pavement, storm sewer			\$2,000,000								\$2,000,000	
PW-26-08	Valley View and Franklin Ave Improvements	Street intersection improvements			\$750,000								\$750,000	
PW-26-10	30th Avenue Reconstruction	Pavement - Entrance to Power Center at S Expressway			\$750,000								\$750,000	
PW-26-10	4th Avenue Sewer Rehab	Pavement, sewer - 3200 Block			\$525,000								\$525,000	
PW-26-11	28th Street Storm Rehab - Phase V	Pavement, sewer			\$3,000,000						\$1,000,000		\$4,000,000	Other = Sewer
PW-26-12	S 23rd Street Sewer Rehab - Phase II	Pavement, sewer			\$700,000						\$300,000		\$1,000,000	Other = Sewer
PW-26-13	Hillcrest Reconstruction - Phase II	Pavement, sewer			\$700,000						\$300,000		\$1,000,000	Other = Sewer
PW-26-14	Salt Storage Relocation	Salt storage facility at PW campus				\$1,000,000							\$1,000,000	
PW-26-15	Sewer Extension	Sanitary sewer improvements to expand service				\$2,000,000							\$2,000,000	
PW-26-16	WPCP Digestor Lids	Repair/Replace Digestor Lids			\$1,500,000							\$1,500,000	\$3,000,000	Other = Sewer
PW-26-18	Kanesville Pedestrian Bridge Repairs	Repair bridge structure			\$400,000								\$400,000	
Total			\$500,000	\$2,700,000	\$11,525,000	\$1,000,000	\$9,304,000	\$3,400,000	\$0	\$300,000	\$0	\$3,100,000	\$31,829,000	

FY 27

PROJECT #	PROJECT TITLE	DESCRIPTION	Current Year Funding Sources										Current Year Project Cost	Notes/Further information
			Federal	State	Sales	Road Use	GO	Gen Fund	Iowa West Grant	Other Grant	Donations	Other		
Building Maintenance			\$0	\$0	\$0	\$0	\$0	\$4,625,000	\$0	\$0	\$0	\$0	\$4,625,000	
BM-27-01	MAC Boilers	Replace existing boilers due to age and condition						\$2,300,000					\$2,300,000	Gaming
BM-27-02	MAC Concession Stands	Replace existing concession areas						\$350,000					\$350,000	Gaming
BM-27-03	MAC Parking Lot LED Lighting	Replace current fixtures with LED fixtures						\$90,000					\$90,000	Gaming
BM-27-04	MAC Utility Vehicle Replacement	Replacement of current truck and utility vehicles						\$85,000					\$85,000	Gaming
BM-27-05	MAC Arena Upgrades - Phase II	Replace north retractable seating						\$1,800,000					\$1,800,000	Gaming
Community Development Department			\$350,000	\$0	\$0	\$0	\$3,400,000	\$0	\$0	\$0	\$0	\$100,000	\$3,850,000	
CD-27-01	FIRST AVE Program (Furthering Interconnections, Revitalization, Streetscapes, Transportation, and Aesthetics for a Vibrant Economy)	Acquisitions/demolition/trail/infrastructure/studies					\$500,000						\$500,000	
CD-27-02	Downtown projects	Acquisitions/demolition/infrastructure/studies/façade grants					\$150,000					\$100,000	\$250,000	Other=TIF
CD-27-03	East Manawa Development	planning, design, infrastructure					\$2,000,000						\$2,000,000	
CD-27-04	S 17th Street and 25th Ave	Acquisition and infrastructure	\$350,000				\$750,000						\$1,100,000	
Fire Department			\$0	\$0	\$0	\$0	\$500,000	\$350,000	\$0	\$0	\$0	\$0	\$850,000	
FD-27-01	Aerial Refurbish of Standby Aerial	Refurbish of Apparatus					\$500,000						\$500,000	
FD-27-02	Medic Unit Refurbish	Apparatus Replacement						\$350,000					\$350,000	Operating
Library			\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$200,000	\$0	\$0	\$200,000	
LB-27-01	Book Mobile	Fleet vehicle to transport materials and resources to schools and contract communities.								\$200,000			\$200,000	Library Foundation
IT			\$0	\$0	\$0	\$0	\$0	\$700,000	\$0	\$0	\$0	\$0	\$700,000	
IT-27-01	Safety and Security	Parameter cameras at City Hall and pump stations; Cyber security						\$75,000					\$75,000	Gaming
IT-27-02	Infrastructure & Services	Fiber, network switches, servers, storage						\$350,000					\$350,000	Gaming
IT-27-03	Mobile Technology	MDTs and tablets						\$75,000					\$75,000	Gaming
IT-27-04	Software Licensing	Software renewals; permit/licensing software implementation						\$200,000					\$200,000	Gaming
Parks, Recreation and Public Property Department			\$0	\$0	\$0	\$0	\$2,900,000	\$50,000	\$0	\$0	\$0	\$0	\$2,950,000	
PR-27-01	City Wide Parking Lot Upgrade - Westwood Park	Make improvements to Westwood Park parking lot						\$50,000					\$50,000	Operating
PR-27-02	Recreation Complex Lighting Upgrade, Phase 1	replace existing lights and poles with LED lights, with new poles					\$400,000						\$400,000	
PR-27-03	Westwood Playground Improvements	Construction of a new playground					\$750,000						\$750,000	
PR-27-04	Park Maintenance Shops and Yard Upgrade, Phase II	Design and engineering of new shop building and infrastructure.												
PR-27-05	River's Edge Donor Plaza	Construct new donor plaza at River's Edge					\$1,750,000						\$1,750,000	
Public Works Department			\$0	\$7,228,000	\$10,905,000	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$3,055,000	\$21,188,000
PW-27-01	Infrastructure Maintenance	Emergency Repairs			\$300,000								\$300,000	
PW-27-04	Infrastructure Management	Evaluation study / analysis TBD			\$150,000								\$150,000	
PW-27-05	NPDES PH II Program Management	Citywide MS4 permit - storm sewer improvements			\$200,000								\$200,000	
PW-27-06	Indian Creek Channel Rehabilitation	Repair of I.C. concrete structure		\$2,700,000	\$1,300,000								\$4,000,000	FMP
PW-27-07	4th Avenue Sewer Rehab	Pavement, sewer - 3200 Block			\$525,000							\$225,000	\$750,000	Other = Sewer
PW-27-08	30th Ave Sewer Rehab - Phase IV	Sewer										\$750,000	\$750,000	Other = Sewer
PW-27-09	E Manawa Sewer Rehab - Phase XIV	Pavement, sewer			\$1,050,000							\$450,000	\$1,500,000	Other = Sewer
PW-27-10	3rd Avenue Sewer Rehab	Pavement, sewer - 2500 Block			\$420,000							\$180,000	\$600,000	Other = Sewer
PW-27-12	S 23rd Street Sewer Rehab - Phase III	Pavement, sewer			\$700,000							\$300,000	\$1,000,000	Other = Sewer
PW-27-13	South Expressway Reconstruction, Phase II	Pavement, sewer		\$4,528,000	\$2,260,000								\$6,788,000	STBG
PW-27-14	Lockwood Place Rehab	Pavement, sewer - Woodbury north			\$950,000							\$400,000	\$1,350,000	Other = Sewer
PW-27-15	Sewer Rehab - Insitu Lining	Sanitary Sewer										\$750,000	\$750,000	Other = Sewer
PW-27-17	Pump Station Rehab	Indian Creek Storm Trash Rack			\$800,000								\$800,000	
PW-27-18	W. Pierce Street Reconstruction	Pavement, sewer			\$1,500,000								\$1,500,000	
PW-27-19	IDOT Payment for Madison Avenue Storm	Payment 1 of 1 for CBIS work			\$750,000								\$750,000	
Total			\$350,000	\$7,228,000	\$10,905,000	\$0	\$6,800,000	\$5,725,000	\$0	\$200,000	\$0	\$0	\$3,155,000	\$34,363,000

FY 28

PROJECT #	PROJECT TITLE	DESCRIPTION	Current Year Funding Sources										Current Year Project Cost	Notes/Further information
			Federal	State	Sales	Road Use	GO	Gen Fund	Iowa West Grant	Other Grant	Donations	Other		
Building Maintenance			\$0	\$0	\$0	\$0	\$0	\$3,540,000	\$0	\$0	\$0	\$3,600,000	\$7,140,000	
BM-28-01	Public Works Storage	Construct new storage facility to replace failing buildings at 1301 and 1901 2nd Ave										\$3,600,000	\$3,600,000	
BM-28-02	MAC Carpet Replacement	Replace carpet in ballroom/refunction, locker rooms, office areas, and club						\$800,000					\$800,000	Gaming
BM-28-03	MAC Outdoor Signage	Replace exterior building logo and LED displays						\$750,000					\$750,000	Gaming
BM-28-04	MAC Banquet Furniture	New banquet chairs, soft seating, tables, and bar furniture						\$200,000					\$200,000	Gaming
BM-28-05	Bass Pro Shops Roof Relacement	Replace failing roof						\$840,000					\$840,000	Gaming
BM-28-06	MAC Arena Upgrades - Phase III	Replace bowl area seating						\$950,000					\$950,000	Gaming
Community Development Department			\$350,000	\$0	\$0	\$0	\$3,550,000	\$0	\$0	\$0	\$0	\$200,000	\$4,100,000	
CD-28-01	FIRST AVE Program (Furthering Interconnections, Revitalization, Streetscapes, Transportation, and Aesthetics for a Vibrant Economy)	Acquisitions/demolition/trail/infrastructure/studies					\$300,000						\$300,000	
CD-28-02	Downtown projects	Acquisitions/demolition/infrastructure/studies/façade grants										\$200,000	\$200,000	Other=TIF and grants
CD-28-03	East Manawa Development	planning, design, infrastructure					\$2,000,000						\$2,000,000	
CD-28-04	S 17th Street and 25th Ave	Acquisition and infrastructure	\$350,000				\$750,000						\$1,100,000	
CD-28-05	Mid City	Site development					\$500,000						\$500,000	
Fire Department			\$0	\$0	\$0	\$0	\$1,700,000	\$0	\$0	\$0	\$0	\$0	\$1,700,000	
FD-28-01	Engine 61	Replacement of Engine 2029 Delivery					\$850,000						\$850,000	
FD-28-02	Engine51	Replacement of Engine 2029 Delivery					\$850,000						\$850,000	
IT			\$0	\$0	\$0	\$0	\$0	\$700,000	\$0	\$0	\$0	\$0	\$700,000	
IT-28-01	Safety and Security	Parameter cameras at City Hall and pump stations; Cyber security						\$75,000					\$75,000	Gaming
IT-28-02	Infrastructure & Services	Fiber, network switches, servers, storage						\$350,000					\$350,000	Gaming
IT-28-03	Mobile Technology	MDTs and tablets						\$75,000					\$75,000	Gaming
IT-28-04	Software Licensing	Software renewals; permit/licensing software implementation						\$200,000					\$200,000	Gaming
Parks and Recreation Department			\$0	\$0	\$0	\$0	\$2,535,000	\$210,000	\$0	\$0	\$0	\$0	\$2,745,000	
PR-28-01	City Wide Parking Lot Upgrade - Iowa West Foundation Trailhead	Make improvements to Iowa West Foundation Trailhead parking lot					\$485,000						\$485,000	
PR-28-02	Graham Park Playground Improvements	replace existing playground					\$450,000						\$450,000	
PR-28-03	Recreation Complex Lighting Upgrade, Phase 2	replace existing lights and poles with LED lights, with new poles					\$1,600,000						\$1,600,000	
PR-28-04	Fairmount Park Improvements, Phase II	Design and engineering for a new dog park and playground/ smaller park on the lower level of Fairmount Park.						\$210,000					\$210,000	Operating
Public Works Department			\$0	\$7,275,000	\$10,900,000	\$0	\$0	\$0	\$0	\$0	\$0	\$42,250,000	\$60,425,000	
PW-28-01	Infrastructure Maintenance	Emergency Repairs			\$300,000								\$300,000	
PW-28-04	Infrastructure Management	Evaluation study / analysis TBD			\$100,000								\$100,000	
PW-28-05	NPDES PH II Program Management	Citywide MS4 permit - storm sewer improvements			\$200,000								\$200,000	
PW-28-06	Indian Creek Channel Rehabilitation	Repair of I.C. concrete structure		\$2,750,000	\$1,250,000								\$4,000,000	FMP
PW-28-07	Franklin Ave Reconstruction	Pavement, sewer - Lincoln to South			\$1,400,000						\$200,000		\$1,600,000	Other = Sewer
PW-28-08	N 17th St Sewer Rehab-Phase I	Pavement, sewer			\$700,000						\$300,000		\$1,000,000	Other = Sewer
PW-28-09	E Manawa Sewer Rehab - Phase XV	Pavement, sewer			\$1,050,000						\$450,000		\$1,500,000	Other = Sewer
PW-28-10	Valley View Sewer Rehab	Sanitary sewer			\$1,000,000								\$1,000,000	
PW-28-12	S 23rd Street Sewer Rehab - Phase IV	Pavement, sewer			\$700,000						\$300,000		\$1,000,000	Other = Sewer
PW-28-13	N. 16th Street Reconstruction	Pavement - Ave G to Nash Blvd		\$4,525,000	\$2,200,000								\$6,725,000	STBG
PW-28-14	Street Rehab - Pavement resurfacing	Pavement - multiple locations			\$1,000,000								\$1,000,000	
PW-28-15	Reconstruction of South Expressway Bridges	Bridge, pavement									\$40,000,000		\$40,000,000	TBD
PW-28-16	Sewer Rehab - Insitu Lining	Sanitary Sewer									\$1,000,000		\$1,000,000	Other = Sewer
PW-28-17	Pump Station Rehab	21st & Ave K P.S. Odor Control, HVAC, and Controls			\$500,000								\$500,000	
PW-28-18	WPCP Master Plan	Develop master plan and permitting for plant expansion			\$500,000								\$500,000	
Total			\$350,000	\$7,275,000	\$10,900,000	\$0	\$7,785,000	\$4,450,000	\$0	\$0	\$0	\$46,050,000	\$76,810,000	

FY 29

PROJECT #	PROJECT TITLE	DESCRIPTION	Current Year Funding Sources										Current Year Project Cost	Notes/Further information	
			Federal	State	Sales	Road Use	GO	Gen Fund	Iowa West Grant	Other Grant	Donations	Other			
Building Maintenance			\$0	\$0	\$0	\$0	\$0	\$650,000					\$15,000,000	\$15,650,000	
BM-29-01	City Hall Remodel	Complete renovation of City Hall											\$15,000,000	\$15,000,000	
BM-29-02	MAC Staging	Replace existing stage						\$150,000						\$150,000	Gaming
BM-29-03	Western Historic Trail Center Demo	Demo structure and rebuild Levee						\$500,000						\$500,000	Gaming
Community Development Department			\$0	\$0	\$0	\$0	\$6,700,000	\$0	\$3,000,000	\$0	\$0	\$0	\$200,000	\$9,900,000	
CD-29-01	Mid City	Site Development					\$500,000							\$500,000	
CD-29-02	Downtown projects	Acquisitions/demolition/infrastructure/studies/façade grants											\$200,000	\$200,000	Other=TIF and grants
CD-29-03	East Manawa Development	planning, design, infrastructure					\$2,000,000							\$2,000,000	
CD-29-04	Dodge Park	infrastructure/studies					\$3,000,000		\$3,000,000					\$6,000,000	
CD-29-05	Gethsemane Property - E Manawa	Acquisitions/infrastructure/studies					\$1,200,000							\$1,200,000	
Fire Department			\$0	\$0	\$0	\$0	\$8,000,000	\$0	\$0	\$0	\$0	\$0	\$0	\$8,000,000	
FD-29-01	Fire Station 7 (New Station)	Additional Station in Southwest quadrant of the City					\$8,000,000							\$8,000,000	
IT			\$0	\$0	\$0	\$0	\$0	\$700,000	\$0	\$0	\$0	\$0	\$0	\$700,000	
IT-28-01	Safety and Security	Parameter cameras at City Hall and pump stations; Cyber security						\$75,000						\$75,000	Gaming
IT-28-02	Infrastructure & Services	Fiber, network switches, servers, storage						\$350,000						\$350,000	Gaming
IT-28-03	Mobile Technology	MDTs and tablets						\$75,000						\$75,000	Gaming
IT-28-04	Software Licensing	Software renewals; permit/licensing software implementation						\$200,000						\$200,000	Gaming
Parks and Recreation Department			\$0	\$0	\$0	\$0	\$2,500,000	\$0	\$0	\$0	\$0	\$0	\$0	\$2,500,000	
PR-26-01	City Wide Parking Lot Upgrade - Roberts Park	Make improvements to Roberts Park parking lot					\$400,000							\$400,000	
PR-26-02	City Wide Trail Repair - Indian Creek Trail	Repair and upgrade existing trail					\$500,000							\$500,000	
PR-26-03	Recreation Complex Lighting Upgrade, Phase 3	replace existing lights and poles with LED lights, with new poles					\$1,600,000							\$1,600,000	
Public Works Department			\$0	\$20,200,000	\$12,350,000	\$0	\$2,000,000	\$0	\$0	\$0	\$0	\$0	\$45,300,000	\$79,850,000	
PW-29-01	Infrastructure Maintenance	Emergency Repairs			\$500,000									\$500,000	
PW-29-04	Infrastructure Management	Evaluation study / analysis TBD			\$150,000									\$150,000	
PW-29-05	NPDES PH II Program Management	Citywide MS4 permit - storm sewer improvements			\$200,000									\$200,000	
PW-29-06	Indian Creek Channel Rehabilitation	Repair of I.C. concrete structure		\$3,200,000	\$1,800,000									\$5,000,000	FMP
PW-29-07	Levee Certification Project	Mosquito Creek Levee improvements										\$21,500,000	\$21,500,000		
PW-29-08	N 17th St Sewer Rehab-Phase II	Pavement, sewer			\$700,000							\$300,000	\$1,000,000	Other = Sewer	
PW-29-09	E Manawa Sewer Rehab - Phase XVI	Pavement, sewer			\$1,050,000							\$450,000	\$1,500,000	Other = Sewer	
PW-29-10	Street Rehab - Pavement resurfacing	Pavement - multiple locations			\$1,000,000								\$1,000,000		
PW-29-11	28th Street Storm Rehab - Phase VI	Pavement, sewer			\$2,500,000							\$750,000	\$3,250,000	Other = Sewer	
PW-29-12	S 23rd Street Sewer Rehab - Phase V	Pavement, sewer			\$700,000							\$300,000	\$1,000,000	Other = Sewer	
PW-29-13	Storm Outfall Repairs	Storm sewer structures and erosion repairs			\$2,000,000								\$2,000,000		
PW-29-14	S. 192nd Sanitary Sewer Improvements	Sewer Extension and Pump Station for future development										\$3,000,000	\$3,000,000		
PW-29-15	Sewer Extension	Sanitary sewer improvements to expand service					\$2,000,000						\$2,000,000		
PW-29-16	Kanesville Blvd Reconstruction	Reconstruct TJD roadway		\$13,000,000								\$17,000,000	\$30,000,000	IDOT payments for TJ	
PW-29-17	Pump Station Rehab	TBD			\$750,000								\$750,000		
PW-29-18	WPCP Admin Building	Facility Replacement for Admin and Lab		\$4,000,000								\$1,000,000	\$5,000,000	SRF ?, Other = Sewer	
PW-29-19	WPCP Effluent Pump Station	Pump Station for discharge during high river			\$1,000,000							\$1,000,000	\$2,000,000	Other = Sewer	
Total			\$0	\$20,200,000	\$12,350,000	\$0	\$19,200,000	\$1,350,000	\$3,000,000	\$0	\$0	\$0	\$60,500,000	\$116,600,000	

City of Council Bluffs

GO Bonding Process

Step 1 – Determine CIP requirements and Tax levy for next year budget

- a. 5 year CIP prepared and presented to Planning Commission
- b. Set public hearing
- c. Conduct public hearing on approval of 5 year CIP

Step 2 – Set public hearing for bond purposes

- a. 4/20 notice for essential corporate purpose
- b. 10/20 notice for general corporate purpose

Step 3 – Conduct public hearing and approve bond purpose resolutions to issue bonds

Step 4 – Reimbursement resolution

Step 5 – Resolution to collect a tax levy (also referred to as pre-levy)

Step 6 – Prepare Preliminary Official Statement (no Council action needed)

- a. Presentation to Moody's Investors for debt rating

Step 7 – Notice of Bond Sale; set public hearing for sale of bonds

Step 8 – Sale of Bonds public hearing

Step 9 – Final resolution is to approve the Bond paying agent and registrar

Resolution 23-323

A Resolution approving the City of Council Bluffs FY25-
FY29 Capital Improvement Program (CIP)

- WHEREAS, the Capital Improvement Program (CIP) provides the City Council with a framework upon which to base improvement decisions, provides the City staff with direction as to its work effort, and provides the citizens with information about the City’s future intentions,
- WHEREAS, the City of Council Bluffs is required to hold a public hearing on the proposed FY25-FY29 CIP prior to the adoption of the CIP schedule, and
- WHEREAS, the City of Council Bluffs is required to publish and post the proposed budget at least ten and no more than twenty days from the public hearing.

NOW, THEREFORE, BE IT RESOLVED

BY THE CITY COUNCIL

OF THE

CITY OF COUNCIL BLUFFS, IOWA

Approval of the City of Council Bluffs FY25-FY29 Capital Improvement Program (CIP).

ADOPTED
AND
APPROVED

November 27, 2023

Matthew J. Walsh, Mayor

Jodi Quakenbush City Clerk

Council Communication

Department: Public Works Admin
 Case/Project No.: PW24-11
 Submitted by: Matthew Cox, Public Works
 Director

Resolution 23-325
 ITEM 5.A.

Council Action: 11/27/2023

Description
 Resolution accepting the bid of Neuvirth Construction, Inc. for the N. 28th Street Storm Sewer Rehab, Phase IV. Project #PW24-11

Background/Discussion

On October 31, 2023, bids were received through the City bidding software, Ion Wave, as follows:

	Division I <u>General</u>	Division II <u>Pavement</u>	Division III <u>Storm Sewer</u>	Division IV <u>San. Sewer</u>	Division V <u>Water Main</u>	<u>Total Base Bid</u>
Neuvirth Construction, Inc. Blair, NE	\$700,815.05	\$633,051.06	\$1,894,231.64	\$498,690.75	\$303,962.75	\$4,030,751.25
Engineer's Opinion (HGM)	\$528,598.00	\$502,805.00	\$3,229,255.00	\$250,420.00	\$189,420.00	\$4,700,498.00

The N. 28th Street drainage basin limits are approximately I-29 to Avenue F and N. 10th Street to N. 33rd Street. This area is roughly 580 acres. The existing storm sewer network in this area was constructed in the 1950's and is undersized causing frequent street flooding. The existing storm sewer interceptors are located along Avenue L, North 24th Street, and Avenue K. In the past, high ground water conditions have caused several of the storm interceptors to fail, resulting in costly emergency repairs. Phase I is complete and consisted of construction of a new 84" storm sewer pipe under I-29. The Phase II project is complete and included the study of the drainage basin to identify and prioritize future projects and connected the 84" storm sewer to the N. 28th Street storm sewer pump station. Phase III is complete and included the extension of the 84" storm sewer from south of the interstate to N. 28th Street.

Phase IV will include the replacement of the storm sewer interceptor in Avenue L from 2700 Avenue L to 28th Street. The project will require the reconstruction of the roadways and sanitary sewer. The phased approach of this rehabilitation project is based on prioritizing the roadways with existing storm sewer interceptors, frequent flooding areas, and infrastructure that is in poor condition needing immediate replacement.

Black Hills Energy, Mid-American Energy, Cox Communications, Council Bluffs Water Works, and Century Link are relocating within the Avenue L right-of-way to accommodate the project.

The project was included in the FY24 CIP with funding from Local Option Sales Tax and Sewer Funds.

The project schedule is as follows:

Award	November 27, 2023
Construction Start	March 1, 2024

Recommendation

Approval of this resolution. This project continues the infrastructure improvements for the drainage basin.

ATTACHMENTS:

Description	Type	Upload Date
Map	Map	11/16/2023
Resolution 23-325	Resolution	11/20/2023

PW 24-11 N. 28TH STORM SEWER REHAB PH. IV

AVENUE Q

PHASE II
COMPLETE

PHASE I
COMPLETE

PHASE III
COMPLETE

PROJECT LOCATION
PHASE IV

AVENUE N


AVENUE L

N 28TH ST

H ST

Legend

PHASE

-  PH IV
-  PH I
-  PH II
-  PH III

**RESOLUTION
NO. 23-325**

**RESOLUTION AUTHORIZING THE MAYOR AND CITY CLERK
TO EXECUTE AN AGREEMENT WITH
NEUVIRTH CONSTRUCTION, INC. FOR THE
N. 28TH STREET STORM SEWER REHAB, PHASE IV
PROJECT #PW24-11**

WHEREAS, the plans, specifications, and form of contract for the N. 28th Street Storm Sewer Rehab, Phase IV are on file in the office of the City Clerk; and

WHEREAS, a Notice of Public Hearing was published, as required by law, and a public hearing was held on September 25, 2023, and the plans, specifications and form of contract were approved; and

WHEREAS, Neuvirth Construction, Inc. has submitted a low bid in the amount of \$4,030,751.25 for this contract.

NOW, THEREFORE, BE IT RESOLVED
BY THE CITY COUNCIL
OF THE
CITY OF COUNCIL BLUFFS, IOWA

That the bid of Neuvirth Construction, Inc. in the amount of \$4,030,751.25 is hereby accepted as the lowest and best bid received for said work; and

BE IT FURTHER RESOLVED

That the City Council does hereby award the contract in connection with the N. 28th Street Storm Sewer Rehab, Phase IV; and

BE IT FURTHER RESOLVED

That the Mayor and City Clerk are hereby authorized, empowered, and directed to execute an agreement with Neuvirth Construction, Inc. for and on behalf of the City of Council Bluffs, upon approval by the City Attorney of the certificate of insurance and payment and performance bonds as required by the contract specifications.

AND BE IT FURTHER RESOLVED

That the aforementioned project is encompassed by the language of the 1989 Local Option Sales Tax Ballot and as such this is an appropriate expenditure of the Local Option Sales Tax Revenues.

ADOPTED
AND
APPROVED

November 27, 2023

Matthew J. Walsh, Mayor

ATTEST:

Jodi Quakenbush, City Clerk

Council Communication

Department: Community
Development
Case/Project No.:
Submitted by: Housing &
Economic Development

Resolution 23-326
ITEM 5.B.

Council Action: 11/27/2023

Description

Resolution authorizing a joint application to the Iowa Economic Development Authority by the City of Council Bluffs and Acadia Healthcare Company, Inc. for benefits under the Targeted Jobs Withholding Tax Credit Program.
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Background/Discussion

See attached staff report.

Recommendation

ATTACHMENTS:

Description	Type	Upload Date
Staff Report	Staff Report	11/17/2023
Resolution 23-326	Resolution	11/20/2023

Council Communication
November 27, 2023

Department: Community Development	Resolution No: 23-__	City Council: November 27, 2023
Subject/Title: Application to the Iowa Economic Development Authority (IEDA) for financial assistance benefits under the Targeted Jobs Withholding Tax Credit Program (TJWTCP) by Acadia Healthcare Company Inc. (Acadia).		
Location: The intersection of S. 24 th Street and Richard Downing Avenue, Council Bluffs, IA		
Company Background: Acadia is a behavioral healthcare service provider that offers inpatient, outpatient, detoxification, and residential treatment. Disorders treated include the following: substance abuse, behavioral health, psychiatric, PTSD, trauma and eating disorders. Acadia support people in 39 states and Puerto Rico with over 250 treatment facilities. They have 75,000 patients daily and are the United States largest standalone healthcare company. Acadia’s mission is to create a world-class organization that sets the standard of excellence in the treatment of specialty behavioral health and addiction disorders. Acadia strives to be synonymous with excellent care, customer service and commitment to their patients, staff, physicians, and community.		
Scope of Project: According to American Hospital Directory data, there is a shortfall of more than 300 inpatient behavioral health beds in Iowa and Nebraska. To address this need, Acadia has partnered with Methodist Jennie Edmundson Hospital to build a state-of-the-art behavioral healthcare hospital in Council Bluffs, Iowa. The 96-bed hospital will include 24-inpatient beds dedicated to serving the mental health needs of children and adolescents, as well as provide outpatient services. This new facility will be a center of excellence, addressing the growing and unmet need for accessible, high-quality behavioral health services in the region. This strategically designed (71,000 SF) behavioral healthcare hospital is anticipated to include large treatment rooms for group therapy sessions, centralized nursing stations to provide open lines of sight to all common areas, high ceilings and large windows to capitalize on natural light, serene outdoor spaces and high-tech features. Ultimately, this will allow patients from western Iowa and eastern Nebraska access to the services they need in an environment that promotes peace and well-being.		
Project Budget: The project budget for Acadia’s Council Bluffs facility is \$60,000,000.		
Project Workforce: Acadia currently has 23,000+ full-time employees at their locations throughout the United States. The Council Bluffs Acadia project is projected to add 144 new full-time equivalent employees (FTE’s) with Iowa Economic Development Authority (IEDA) deeming 54 of the new 144 FTE positions eligible under the Targeted Jobs programs minimum wage threshold guidelines for Pottawattamie County of \$26.35/hr. The 54 jobs deemed eligible for this project by IEDA include an estimate hourly wage of \$49.12/hr. or \$102,169 annually (minus overtime pay). The Acadia positions include doctors, management, general hospital and nursing staff as well as behavioral health technicians.		

Historical Project Discussion:

Acadia desires to apply to the Iowa Economic Development Authority (IEDA) for benefits under the Targeted Jobs Withholding Tax Credit Program (TJWTC). The company has submitted a project questionnaire form to IEDA and has been invited by the State to submit a full application for the TJ incentive program. Per program guidelines, the City must sponsor the application by passing a resolution of support detailing local incentives. Incentives under the Targeted Jobs Withholding Tax Credit Program include a rebate of payroll withholding taxes for a period of 10-years. The following outlines what the State of Iowa estimates that Acadia qualifies for under the TJ program as well as the required local match which will be satisfied utilizing the Urban Revitalization designation currently on the site.

Targeted Jobs Withholding Tax Credit Program	
Targeted Jobs Withholding Tax Credit Assistance	\$1,508,028
Proposed URV Tax Abatement Program	\$9,008,005
Total:	\$12,052,288
Total Estimated Incentive Amount:	\$10,516,033

Upon review of the investment levels and job numbers, staff is recommending that the City utilize the Urban Revitalization property tax abatement program in the amount of \$9,008,005 to satisfy the match requirement for the Targeted Jobs program. The property tax abatement is only applicable to the increase in valuation based on this project and will either be 100% for 3-years or on a sliding scale from 80% down to 20% over the course of 10-years – the program allows the company to choose which option.

Project Timeline:

Acadia anticipates to start site preparation in Q1 2024 with an anticipated construction completion and opening date in Q1 2026.

Staff Recommendation:

Advance Southwest Iowa Corporation recommends that the City Council adopt the resolution supporting the application submitted by Acadia Healthcare Company, Inc. for benefits under the Targeted Jobs Withholding Tax Credit Program.

Attachments:

Acadia’s full Targeted Jobs Withholding Tax Credit application is available to review upon request by contacting Paula Hazlewood at (402) 960-8505 or phazlewood@selectgreateromaha.com.

Respectfully Submitted By: Paula Hazlewood, Chief Executive Officer, Advance Southwest Iowa Corporation

Approved By: Courtney Harter, Director, Community Development

RESOLUTION NO. 23-326

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF COUNCIL BLUFFS, IOWA AUTHORIZING A JOINT APPLICATION TO THE IOWA ECONOMIC DEVELOPMENT AUTHORITY BY THE CITY OF COUNCIL BLUFFS AND ACADIA HEALTHCARE COMPANY, INC. FOR BENEFITS UNDER THE TARGETED JOBS WITHHOLDING TAX CREDIT PROGRAM.

WHEREAS, Acadia Healthcare Company, Inc. has partnered with Methodist Jennie Edmundson Hospital to address the behavioral health crisis in Iowa and Nebraska by building a new 96-bed (71,000 SF) hospital; and

WHEREAS, the 96-bed hospital will include 24 inpatient beds dedicated to serving the mental health needs of children and adolescents; and

WHEREAS, the new facility will be a center of excellence that will directly address the growing and unmet need for accessible, high-quality behavioral health services in the region; and

WHEREAS, regulatory approval for the facility is still pending, Acadia Healthcare Company, Inc. is considering a 20-acre site at the intersection of 24th Street and Richard Downing Avenue in Council Bluffs, IA (Pottawattamie County) as the location for their new state-of-the-art behavioral health hospital; and

WHEREAS, pending regulatory approval, construction is scheduled to commence in Q1 2024 with an estimated opening timeline of Q1 2026; and

WHEREAS, the Acadia project has an estimated budget of \$60,000,000 with a projected job creation number of 144 (with an average wage of \$49.12 for Targeted Jobs eligible positions); and

WHEREAS, the Targeted Jobs program requires the Pilot City to sponsor and provide a local match; and

WHEREAS, it is in the opinion of the City Council that it would be in the best interest of the City of Council Bluffs to support the application of Acadia Healthcare Company, Inc. to the Iowa Economic Development Authority and to enter into agreements relating to this project; and

WHEREAS, this includes an estimated local funding commitment of property tax abatement through the Urban Revitalization program in the amount of \$9,008,005 (10-years) which is based solely on the increased valuation generated by this project.

**NOW, THEREFORE, BE IT RESOLVED
BY THE CITY COUNCIL
OF THE
CITY OF COUNCIL BLUFFS, IOWA**

- Section 1.0** That the City declares Acadia Healthcare Company, Inc. is an eligible business for the Targeted Jobs Withholding Tax Credit Program.
- Section 2.0** The City Council approves and supports Acadia Healthcare Company, Inc.’s request for state assistance through the Targeted Jobs Withholding Tax Credit Program including the diversion of withholding taxes to be granted back to the company for qualifying project expenditures.
- Section 3.0** That the City shall provide a copy of this resolution to the Iowa Economic Development Authority and shall file this resolution with the Pottawattamie County Recorder.
- Section 4.0** The Mayor is hereby authorized to take such further actions as are deemed necessary in order to carry into effect the provisions of this resolution including the signing of certain agreements relating to the project.
- Section 5.0** The provisions of this resolution shall be governed by the laws of the State of Iowa.
- Section 6.0** That all resolutions and parts thereof in conflict therewith are hereby repealed to the extent of such conflict.
- Section 7.0** That the provisions of this resolution are hereby declared to be separable and if any section, phrase, or provision shall for any reason be declared to be invalid, such declaration shall not affect the validity of the remainder of the sections, phrases and provisions hereof.
- Section 8.0** That the approval of the Targeted Jobs Withholding Tax Credit Program benefits are contingent upon the company meeting all applicable City codes and ordinances.
- Section 9.0** That this resolution shall become effective immediately upon passage and approval.

ADOPTED
AND
APPROVED:

November 27, 2023

Matthew J. Walsh, Mayor

ATTEST:

Jodi Quakenbush, City Clerk

Council Communication

Department: Community

Development

Case/Project No.:

Submitted by: Jaimi Miller,

Community Development

Technician

Resolution 23-327

ITEM 5.C.

Council Action: 11/27/2023

Description

Resolution authorizing the City Clerk to certify assessments against properties to the Pottawattamie County Treasurer for unreimbursed costs incurred by the City for the abatement of weeds and the removal of solid waste nuisances upon properties and directing them to be collected in the same manner as a property tax.

Background/Discussion

See attached staff report.

Recommendation

ATTACHMENTS:

Description	Type	Upload Date
Staff Report	Staff Report	11/17/2023
Attachment A: September, October, November 2023 Lien List	Other	11/17/2023
Resolution 23-327	Resolution	11/20/2023

Council Communication

Department: Community Development Case No.: September, October, November 2023 Lien List Submitted by: Code Compliance	Resolution No.: 23-	Council Action: 11/27/2023
Subject/Title		
Resolution authorizing the City Clerk to certify assessments against properties to the Pottawattamie County Treasurer for unreimbursed costs incurred by the city for the abatement of weeds and the removal of solid waste nuisances upon properties and directing them to be collected in the same manner as a property tax.		
Background/Discussion		
In the months of September, October and November 2023, there were forty-four instances where the City contractors abated weeds and solid waste in Council Bluffs on behalf of the Planning & Code Compliance Division. Six invoices were paid to reimburse the city for its costs. The total amount to be liened on the properties is \$15,146.00. There is one invoice that will be modified prior to sending this list to Pottawattamie County due to a contractor including sales tax in their bill. The property owners with unpaid accounts will have assessments against their properties for the unreimbursed costs plus an additional \$50 assessment fee.		
Recommendation		
The Community Development Department recommends approval of the resolution.		
Attachments		
Attachment A: September, October, November 2023 Lien List		

Prepared by: Jaimi Miller, Community Development Technician
Approved by: Christopher Gibbons, Planning & Code Compliance Manager

September, October, November 2023 WEED & SOLID WASTE LIEN LIST

	Parcel	Property Owner	Legal Description	Address	Total Amount
1	754434158001	BARTHOLOMEW, PHIL	OMAHA ADD LT 12 W1/2 LT 11 BLK 17	3237 6TH AVE	\$315.00
2	754435130001	CADWALLADER, BRIAN	26 & VAC ALLEY ADJ EVERETTS ADD LTS 1	106 S 17TH ST	\$280.00
3	754435214011	CALDWELL, JERRY M-PATRICIA J	BEERS SUB LT 11 BLK 38	1522 4TH AVE	\$260.00
4	744401329007	CLARK, MELISSA L	MCGEES SUB BLK 21-PT BLKS 18-22 S66' LT 6 BLK 22	720 24TH AVE	\$496.00
5	744401308001	CONYERS, CORBIN KEITH-ALAYNA DARLENE	AND LT 2 N3' LT 3 BLK 11 AND W1/2 VAC ALLEY ADJ 6'	2401 S 10TH ST	\$650.00
6	754425316001	COUNCIL BLUFFS DEVELOPMENT CORP LLC	AUD SUB 9 IN 3 GRIMES & BLK 1 HALLS ADD LT 4	315 N 8TH ST	\$471.00
7	754427480002	DOLEZAL, SHERRY L	CENTRAL SUB EXC E4' LT 13 BLK 36	2555 AVENUE A	\$470.00
8	754425309011	DYNAMIC PROPERTIES LLC	HALLS ADD N1/2 LT 6 BLK 8	522 N 8TH ST	\$470.00
9	754330362001	EDEN, DEVIN K-KATHLEEN M	EUBANKS 2ND ADD EXC SLY50' LT 1 BLK 6	401 FRANKLIN AVE	\$475.00
10	744402478012	GANN, AMY K	RAILROAD ADD N 25' LT 15 LT 16 & S 3.5' LT 17 BLK 57	2616 S 11TH ST	\$474.00
11	754425476016	GOTTSCHALK, DONALD W	ORIGINAL PLAT W33 FT E79 1/2 FT LT 223	104 VINE ST	\$260.00
12	754425229002	GUINN, FORESTT	HARRISON ST ADD S56' E60' LT 18 BLK 1 & 10' STRIP ADJ ON S	402 FULLER AVE	\$260.00
13	754426283007	HANISCH, JAMES M	POTTER - COBBS FIRST ADD LOT 0012BLOCK 0008	Vacant lot formerly known as 1316 AVENUE I	\$205.00
14	754318453002	HATHAWAY, DOUGLAS R II	ANDERSONS 3RD ADD LT 8	35 OPAL DR	\$260.00
15	754425378003	HERNANDEZ, PAULO E NOLASCO	AS 4-5 WILLIAM SUB OF MILL LT EXC PT IN SE COR LT 2 BAYLISS 3RD ADD EXC N8.12' LT 8 ALL LTS 9 AND 10	313 WILLIAMS ST	\$470.00
16	744401378001	HOLLINGER, KENNETH T-JUDY	BLK 17	2701 S 8TH ST	\$260.00
17	754330366004	J K S PROPERTY MANAGEMENT LLC	EUBANKS 2ND ADD E50' LT 4 BLK 7	519 BEACH ST	\$260.00
18	754435190007	L B T IOWA 9591	PIERCES SUB LT 11 BLK 11	Vacant lot formerly known as 1824 8th Ave	\$205.00
19	754426262003	LAKAS, JANNETTE D	BELMONT ADD LT 272	1517 AVENUE K	\$260.00
20	744401311005	MARTINEZ, MARCELO LOPEZ	BAYLISS 3RD ADD W66' S32' LT 8 W66' LTS 9 AND 10 BLK 14	930 26TH AVE	\$1,113.00
21	744306201003	MAXWELL, KATHY LYNN	SWEETMANS THIRD ADD LT 1	24 BONNIE BRAE CIR	\$260.00
22	754331110017	MCCREADY, KYLE	STUTSMAN SECOND ADD WLY1/2 LTS 7 & 8 BLK 9	210 HILL ST	\$473.00
23	754330310009	MODA PROPERTIES LLC	HAGGS FIRST ADD S50' LTS 1-2 BLK 2	107 FRANK ST	\$215.00
24	754428354014	NUNO REALTY LLC	TWIN CITY GARDENS LT 165 & S1/2 VAC ALLEY ADJ	Vacant lot formerly known as 4036 AVE B	\$305.00
25	754425281006	OTTEN, GERALD	JOHNSON ADD LT 46	309 BENTON ST	\$625.00
26	754434110009	PALMER, MARVIN G-DOROTHY M	BRYANT AND CLARK ADD LT 9 BLK 21 & 1/2 VAC ALLEY	3140 4TH AVE	\$260.00
27	754331354005	PELEGRIN, BRENNEN J	AUD SUB SECTION 31-75-43 LT 9 AUD SUB PT SW SW	625 W GRAHAM AVE	\$260.00
28	754434257011	PIERCE, KENNETH C	TWIN CITY PLACE LT 1 BLK 8	2701 7TH AVE	\$260.00
29	754331106010	RODRIGUEZ, DANIELLE MONIQUE	STUTSMAN SECOND ADD EXC W40' LTS 7 & 8 BLK 10	214 KNEPPER ST	\$260.00
30	754331106009	RODRIGUEZ, DANIELLE MONIQUE	STUTSMAN SECOND ADD W40' LTS 7 & 8 BLK 10	Vacant lot West of 214 KNEPPER ST	\$260.00
31	754330312001	THOMASON, MARVIN L	JOHN JOHNSONS ADD LT 1 & N HALF LT 2 BLK 1	204 FRANK ST	\$470.00
32	744306101016	WEBB, CLARENCE-IRENE	MEADOW ACRES 3RD ADD LOT 10 & TRI TRACT LOT 9	12 BECKY LN	\$3,584.00

TOTAL \$15,146.00

RESOLUTION NO. 23-327

A RESOLUTION AUTHORIZING THE CITY CLERK TO CERTIFY ASSESSMENTS AGAINST PROPERTIES TO THE POTTAWATTAMIE COUNTY TREASURER FOR UNREIMBURSED COSTS INCURRED BY THE CITY FOR THE ABATEMENT OF WEEDS AND THE REMOVAL OF SOLID WASTE NUISANCES UPON PROPERTIES AND DIRECTING THEM TO BE COLLECTED IN THE SAME MANNER AS A PROPERTY TAX.

WHEREAS, Council Bluffs' City Ordinance No. 4849, passed and approved by the Council Bluffs City Council on April 15, 1988, requires all property owners within the City of Council Bluffs, Iowa, to cut or destroy all weeds exceeding 18 inches in height; and

WHEREAS, Council Bluffs' City Ordinance No. 5219 and 5220, passed and approved by the Council Bluffs City Council on May 22, 1995, requires all property owners to abate any solid waste nuisance upon public right-of-way of materials stored for more than 24 hours, or materials stored on private property for more than 3 days; and

WHEREAS, all property owners in Council Bluffs were notified of the above requirements, and owners of properties out of compliance with the above requirements were notified, given time to remediate matters, and subsequently failed to abate or remove the nuisances in the allotted time; and

WHEREAS, the City, through its contractors, has attempted to cut or destroy all weeds exceeding 18 inches and/or has removed all solid waste materials in violation; and

WHEREAS, more than ten days have elapsed since the City has billed each property owner by mail for the cost of abatement of weeds or solid waste materials from their properties; and

WHEREAS, the cost of abatement or removal on these properties has been incurred by the City and remains unpaid; and

WHEREAS, the City Council may have these unpaid costs assessed against the properties pursuant to CBMC 4.19.030 and 10.02.070 as authorized by Iowa Code §364.

**NOW, THEREFORE, BE IT RESOLVED
BY THE CITY COUNCIL
OF THE
CITY OF COUNCIL BLUFFS, IOWA**

That the unreimbursed costs incurred by the City for the abatement of weeds and solid waste materials found upon the properties be assessed against said properties; and

BE IT FURTHER RESOLVED

That the City Clerk is hereby authorized, empowered and directed to certify assessments against said properties to the Pottawattamie County Treasurer to be collected in the same manner as a property tax.

ADOPTED
AND
APPROVED

November 27, 2023

MATTHEW J. WALSH Mayor

Attest: _____
JODI QUAKENBUSH City Clerk

Council Communication

Department: City Clerk
Case/Project No.:
Submitted by:

Resolution 23-328
ITEM 5.D.

Council Action: 11/27/2023

Description

Resolution confirming the appointment of Malina Dobson as Assistant City Attorney II, effective date of January 9, 2024.

Background/Discussion

After receiving and conducting interviews with applicants, Malina Dobson has been offered and accepted the position of Assistant City Attorney, II. She is currently an Ass. Pott. County Atty. She has been with the county since January of 2016, and was with Douglas County in Omaha from 2009 to 2016. Prior to that she had been a legal writing instructor for Creighton School of Law for a couple of years and spent an internship with the Omaha City Attorney's office. Most of her recent work experience has been criminal in nature, but while at Douglas County she did do some significant civil work. She has had a great deal of courtroom experience and I believe that she will be able to adapt her experiences to the needs of my office.

Recommendation

Approval

ATTACHMENTS:

Description	Type	Upload Date
Resolution 23-328	Resolution	11/22/2023

RESOLUTION NO. 23-328

A RESOLUTION CONFIRMING THE APPOINTMENT OF MALINA DOBSON AS ASSISTANT CITY ATTORNEY II AND DECLARING AN EFFECTIVE DATE

WHEREAS, It is the recommendation of the City Attorney, Richard Wade, that Malina Dobson be appointed as Assistant City Attorney II; and

WHEREAS, Malina Dobson has passed all necessary background investigations;

WHEREAS, It is recommended that her compensation on the Non-Union Pay Scale begin at a Grade 32, Step 6; and

WHEREAS, It is recommended the effective date be January 9, 2024.

**NOW, THEREFORE, BE IT RESOLVED
BY THE CITY COUNCIL
OF THE
CITY OF COUNCIL BLUFFS, IOWA**

That Malina Dobson is hereby appointed to fill the Assistant City Attorney II position at a Non-Union Pay Scale Grade 32, Step 6, effective on January 9, 2024.

ADOPTED
AND
APPROVED

November 27, 2023.

MATTHEW J. WALSH

Mayor

Attest:

JODI QUAKENBUSH

City Clerk

Council Communication

Department: City Clerk
Case/Project No.:
Submitted by:

Liquor Licenses
ITEM 6.A.

Council Action: 11/27/2023

Description

1. Grand Venue LLC, 4040 South Expressway Street (contingent upon approval of final inspection of Fire, Zoning and Building)
2. Hooters of Council Bluffs, 2910 23rd Avenue

Background/Discussion

There have been no alcohol related incidents/arrests at any of the listed businesses this licensing period.

Recommendation

ATTACHMENTS:

Description	Type	Upload Date
Applications	Other	11/17/2023

GRAND VENUE LLC

Premise Street : 4040 South Expressway Street

Class C Retail Alcohol License

Application Number : App-190253

Application Type

New

Tentative Effective Date

2023-11-01

Tentative Expiration Date

2024-10-31

Application Status ?

Pending Dramshop Review

- Still need:
- ~~Notary Page~~
 - ~~Sketch~~
 - ~~Background info~~
 - ~~state Background~~
 - ~~Deed or Lease~~

<input type="checkbox"/> RENEWAL	<input checked="" type="checkbox"/> NEW	<input type="checkbox"/> SPECIAL EVENT
POLICE <u>CLM</u>	Local Amt _____	
FIRE <u>AF</u>	Endorsed _____	
BUILDING <u>65</u>	Issued _____	
ZONING <u>29</u>	Expires _____	
	Council <u>11-27-23</u>	

Hooters of Council Bluffs- LC0041042

Premise Street : 2910 23rd Ave.

Class C Retail Alcohol License

Application Number : App-182465

> Application Type
Renewal

Tentative Effective Date
2023-08-11

Tentative Expiration Date
2024-08-10

Application Status ?
Submitted to Local Authority

<input checked="" type="checkbox"/> RENEWAL	<input type="checkbox"/> NEW	<input type="checkbox"/> SPECIAL EVENT
POLICE <u>cu</u>	Local Amt _____	
FIRE <u>AF</u>	Endorsed _____	
BUILDING <u>JS</u>	Issued _____	
ZONING <u>CS</u>	Expires _____	
	Council <u>11-27-23</u>	

St. Patrick's Catholic Church- LC0046093

Premise Street : 4 Valley View Drive

Class C Retail Alcohol License

Application Number : App-190892

> Application Type	Tentative Effective Date	Tentative Expiration Date	Application Status	:
Renewal	2024-01-01	2024-12-31	Submitted to Local Authority	

<input checked="" type="checkbox"/> RENEWAL	<input type="checkbox"/> NEW	<input type="checkbox"/> SPECIAL EVENT
POLICE <i>cm</i>	Local Amt	_____
FIRE <i>AF</i>	Endorsed	_____
BUILDING <i>MS</i>	Issued	_____
ZONING <i>CA</i>	Expires	_____
	Council	<i>11-27-23</i>