



**AGENDA**  
**PLANNING COMMISSION**  
**COUNCIL BLUFFS PUBLIC LIBRARY,**  
**400 WILLOW AVENUE, COUNCIL BLUFFS, IA**  
**Tuesday, November 14, 2023 - 6:00 PM**

- 1. CALL TO ORDER**
- 2. ROLL CALL**
- 3. ADOPTION OF AGENDA**
- 4. APPROVAL OF MINUTES**
- 5. PROOF OF PUBLICATION**
- 6. REVIEW OF MEETING PROCEDURES**
- 7. PUBLIC HEARINGS**
  - A. CASE #MIS-23-011  
Public hearing on the request of the City of Council Bluffs to review and adopt the Fiscal Year 2025-2026 through Fiscal Year 2028-2029 Capital Improvement Plan.
  - B. CASE #PR-23-006  
Public hearing on the request of Jamie Augustine to append a planned residential overlay over property legally described as Lot 65, City Acres, City of Council Bluffs, Pottawattamie County, Iowa, and adopt the associated development plan. Location: 2637 Avenue L.
- 8. OTHER BUSINESS**
- 9. ADJOURNMENT**

If you plan to attend this meeting and require special assistance please contact the Community Development Department at (712) 890-5350 at least 48 hours before the meeting.

## Planning Commission Communication

Department: Community  
Development

Case/Project No.: MIS-23-011

CASE #MIS-23-011

Council Action: 11/14/2023

Submitted by: Christopher N.

Gibbons, AICP, Planning & Code

Compliance Manager

### Description

Public hearing on the request of the City of Council Bluffs to review and adopt the Fiscal Year 2025-2026 through Fiscal Year 2028-2029 Capital Improvement Plan.

### Background/Discussion

See attached staff report.

### Recommendation

### ATTACHMENTS:

Description

Type

Upload Date

Staff Report & Attachments

Other

11/9/2023

## Planning Commission Communication

Department: Community Development	Resolution No. _____	Planning Commission: 11/14/23
Case/Project No. MIS-23-011		
<b>Subject/Title</b>		
Request: Public hearing on the request of the City of Council Bluffs to review and adopt the Fiscal Year 2025 through Fiscal Year 2029 Capital Improvement Plan.		
<b>Background/Discussion</b>		
<p>The City annually prepares and adopts a Capital Improvement Program (CIP). The CIP establishes which projects will be undertaken during the next fiscal year and proposes other projects for the balance of a five-year period. The CIP is utilized as a financial tool and is required to meet underwriting criteria for issuing bonded indebtedness. The CIP should also be considered as the primary method of implementing the goals and objectives contained in the Bluffs Tomorrow: 2030 Comprehensive Plan, neighborhood plans, and other less informal expressions of community policy.</p> <p>City staff has prepared a CIP document for review and approval by the City Planning Commission and City Council. Within the document six specific categories and their associated goals/objectives were identified, as follows: public facilities, parks and recreation, public safety, utilities, communications, transportation, community development, and library. Staff is now requesting review and recommendation by the City Planning Commission on the proposed FY2025 through 2029 CIP and has the following comments:</p> <ul style="list-style-type: none"> <li>• The proposed FY2025 CIP outlines a detailed listing of 38 projects and calls for the expenditure of \$30,345,240. The FY2025 CIP should be considered final.</li> <li>• The balance of the CIP (FY2026 through FY2029) contains a preliminary allocation of \$259,602,000 in expenditures over a four year period and should be considered preliminary.</li> </ul> <p>The City Planning Commission should review the proposed FY2025 through FY2029 CIP for consistency with the City’s adopted comprehensive plan.</p>		
<b>Recommendation</b>		
<p>The Community Development Department recommends that the City Planning Commission find the proposed Capital Improvement Program for FY2025 through FY2029 consistent with the Bluffs Tomorrow: 2030 Comprehensive Plan.</p>		
<b>Attachments</b>		
Attachment A: Capital Improvement Program for FY2025 through FY2029		
Prepared by: Christopher N. Gibbons, AICP, Planning Manager		



# City of Council Bluffs Capital Improvement Program

Fiscal Years

FY25 through FY29

Public Hearing: November 27, 2023

ACKNOWLEDGEMENTS

MATTHEW J. WALSH, MAYOR  
BRANDON GARRETT, CHIEF OF STAFF

CITY COUNCIL

JOE DISALVO  
STEVE GORMAN  
CHAD HANNAN  
CHRIS PETERSON  
ROGER SANDAU  
JODI QUAKENBUSH, CITY CLERK

CITY DEPARTMENTS

MARK HOWARD, CHIEF INFORMATION OFFICER  
DICK WADE, CITY ATTORNEY  
COURTNEY HARTER, COMMUNITY DEVELOPMENT DIRECTOR  
DANIELLE BEMIS, FINANCE DIRECTOR  
JUSTIN JAMES, FIRE CHIEF  
STACIE JENSEN, HUMAN RESOURCES DIRECTOR  
ANTONIA KRUPICKA-SMITH, LIBRARY DIRECTOR  
VINCENT MARTORELLO, PARKS AND RECREATION DIRECTOR  
MATT DAVIS, POLICE CHIEF  
MATT COX, PUBLIC WORKS DIRECTOR

## SECTION I – INTRODUCTION

Mission: To continuously improve the quality of life and attractiveness of the City of Council Bluffs.

### 1. PURPOSE OF THE CAPITAL IMPROVEMENT PROGRAM

Capital expenditure decisions represent some of the most significant policy choices made by the City of Council Bluffs. Almost all departments within the City face the need for capital expenditures. Capital improvement programming and budgeting involves the development of a long-term plan for capital expenditures for the City. The Capital Improvement Program includes expenditures that are of significant value and have a long-term useful life such as, streets, sewers, land and major equipment.

The Capital Improvements Program (CIP) lists each proposed project to be undertaken, the year in which it will be started, the amount expected to be expended for the project, and the proposed method of financing these expenditures. Based on this information, summaries of capital projects by department can be prepared as well as summaries of financial requirements, such as amounts of general obligation bonds to be issued or amount of general/special revenue funds required.

The CIP identifies the City's most critical capital improvement needs and the general policies under which decisions are made. The CIP was developed for the following purposes:

- To address and prioritize the City's improvements needs in a comprehensive manner;
- To permit careful consideration, design, and scheduling of individual projects through advanced planning;
- To allow for financial planning over a long period; and
- To provide continuity in improvement programs with changes in City Council and Staff.

The development of CIP is the process of deciding what capital projects should be done, when they should be done, and how they will be financed. In its simplest form, CIP is a listing of improvement projects by priority, including a cost estimate and funding source. The adoption of the CIP by the City Council does not, by itself, guarantee or commit the City to a given set of projects. It is however, a critical step in the general obligation bonding process. Major improvement projects are authorized on an individual basis in accordance with state laws and municipal ordinances. However, the plan does provide the City Council with a framework upon which to base improvement decisions, provides the City staff with direction as to its work effort, and provides the citizens with information about the City's future intentions. The latter is particularly important because of the impact public facilities can have on business and development decisions. Future years of the CIP are re-evaluated based on strategic needs, funding availability, and timing.

## 2. CAPITAL IMPROVEMENT DEFINED

The term capital improvements normally refer to expenditures for capital items of long-term in nature. Minor capital needs and repairs and maintenance, which occur from time to time, are best handled through the annual operating budgets.

The City recognizes capital items to have a 7-10 year useful life, at minimum.

## 3. RELATIONSHIP TO OTHER PLANS AND DOCUMENTS

It is the function of the CIP to plan the construction of the community's physical improvements in a manner consistent with the City's overall goals. These goals are expressed in a number of different fashions, including the comprehensive plan, neighborhood plans, and many other less formal expressions of community policy. These goals established over the years, define the basic functions the City has decided to undertake, set minimum levels of service, and determine financing methods. More specifically, the goals of this process include establishing an improvement program which:

- Defines a realistic level of financial resources which can be committed to the City's improvement needs;
- Prioritizes the City's need for allocation of limited resources;
- Addresses the basic facility needs of the community in the most cost effective manner (basic service being defined as streets, sewers, drainage, and water);
- Recognizes the role the City facilities in the development process and the need for the City to make improvements which promote the economic stability and orderly growth of the community;
- Recognizes the total scope of City services and allocates a portion of the City resources to those amenities which improve the quality of life and public safety;
- Encourages acquisition of outside funding to supplement City resources.

## SECTION II – CAPITAL IMPROVEMENT PROGRAM GOALS

### 1. OVERALL GOALS OF CIP

The FY25 – FY29 Capital Improvement Program was based on the following goal statements:

#### Planning and Community Growth

The City will use the CIP process to establish a five-year program that is consistent with the Comprehensive Plan and shall function as a major tool for implementing its adopted goals and policies.

The CIP shall encourage further infill development and redevelopment of existing areas of the community by implementing the conservation, rehabilitation, and reconstruction of aging facilities. The City will follow a philosophy of rebuild it first and build it second.

The CIP will promote the renovation and extension of public services and facilities in priority areas of the community including the Missouri River levee system, West Broadway/1<sup>st</sup> Avenue Corridor, River's Edge, and the Entertainment District.

The City will use the CIP process to construct new and preserve existing components of infrastructure systems that provide the level of service expectations of the public in an efficient and effective manner, recognizing the limited resources available.

The City will use the CIP to construct infrastructure that attracts additional economic activity into the community.

#### Public Safety

Priority will be placed on activities that prevent or protect the community from unreasonable exposure to dangerous and life threatening events.

### Fiscal Considerations

CIP will support the long-range economic and fiscal stability of Council Bluffs. The CIP will structure annual debt service payments consistent within anticipated revenues.

Sales tax proceeds and Road use funds will be used in compliance with State Code and City ordinance.

General obligation bond proceeds will be utilized by projects that provide revitalization, result in additional tax base, or enhance community improvement and protection.

### Operational Considerations

CIP projects will be evaluated for impacts on annual operational and maintenance budgets.

New construction shall be designed to emphasize sustainability and built to a quality that minimizes maintenance and operational costs.

## 2. CIP CATEGORICAL GOALS

Five specific categories were identified by the Capital Improvements Program. These include public facilities, parks and recreation, public safety, utilities, transportation, and community development. The goals, policies and capital improvement efforts by category are outlined as follows:

### a. Utilities and Environment

Objective – Execute improvements to the sanitary sewer, storm sewer, and levee system that meet the needs of the public and comply with state and federal regulations.

#### Capital Improvement Efforts

- Update the City’s sanitary sewer treatment facilities and pump stations to current environmental standards and to allow for additional residential and business development in the community.
- Improve the current sanitary sewer and storm water infrastructure within the community to preserve existing development and to encourage redevelopment of existing residential, commercial, and industrial areas.
- Extend sanitary sewer to identified growth areas to encourage new residential, commercial, and industrial development within or adjacent to the community.
- Implement improvements to the City’s levee system to meet FEMA accreditation and the USACE standards for federal levees.
- Implement storm water management practices and projects to comply with the requirements of the City’s IDNR NPDES Phase II permit.
- Maintain and improve existing public facilities
- Develop new facilities based upon need.

b. Transportation

Objective – Proactively preserve and upgrade our existing transportation system throughout the City for the safe and efficient movement of people, goods, and services.

Objective – Coordinate transportation planning and improvements with the planning and development of other elements of the community, including other modes of transportation, public utilities, community facilities, and commercial and industrial areas.

Capital Improvement Efforts

- Continue a program of pavement resurfacing which extends the service life of existing streets.
- Improve the current street, pedestrian and bicycle system within the community through reconstruction, combined with other utility improvements to preserve existing development and to encourage the redevelopment of residential, commercial, and industrial areas.
- Construct street extensions or reconstruct streets, which will result in new residential, commercial, or industrial development.

c. Public Safety

Objective – Provide for the equitable distribution of community facilities to meet the public safety needs of the community.

Objective – Provide adequate safety and crime prevention systems in Council Bluffs.

Capital Improvement Efforts

- Continue the program to upgrade and maintain current Fire Department facilities to plan and provide future facilities in locations that will ensure service coverage of future City growth.

- Maintain a program to plan and purchase Fire Department and Police Department equipment to ensure current and future levels of service and take advantage of technological advances.

d. Information Technology

Goal – The City will continue to improve the safety and security for IT resources.

Objective – Provide secure mechanisms for expanded user access while maintaining Cybersecurity awareness within the City.

Goal – The City will continue to enhance cost effective common infrastructure services.

Objective – Focus efforts on continuous improvement.

Goal – Support emerging IT areas

Objective – Improve ability of infrastructure to adapt to and integrate architecture into City services with emerging technologies.

Capital Improvement Efforts

- Continue improving the internal network security and increase security awareness within the City user and operations communities.
- Create a secure service infrastructure that enables access anytime from anywhere to any IT resources.
- Implement hardware and software solutions that enable City employees to perform their jobs efficiently and effectively.
- Develop integrated application designs in order to improve the business process flows of the City.

e. Community Development

Goal – The City will continue to play a leadership role in the strategic development of community growth to expand opportunities for housing, employment, and an expanded tax base.

Objective – Complete infrastructure and upgrades in key areas of community growth.

Goal – The City shall encourage further infill development and redevelopment of existing areas of the community by implementing the conservation, rehabilitation, and reconstruction of aging facilities that are coordinated with redevelopment investments.

Objective – Remove or redevelop dilapidated structures and sites requiring environmental remediation in the community. Encourage infill development and redevelopment of existing developed areas of the community.

Objective – Work to expand housing choices by cost, by location, and by type of dwelling.

Capital Improvement Efforts

- Implement the recommendations contained in the Mid-City Neighborhood Strategy Area Plan.
- Continue the multi-year effort to redevelop West Broadway and 1<sup>st</sup> Avenue.
- Continue development of River’s Edge and the Entertainment District.
- Continue a program of systematically acquiring and redeveloping dilapidated structures.
- Provide public facility improvements to ongoing neighborhood improvement efforts.
- Work to facilitate development of new growth areas.

f. Parks and Recreation

Goal – Provide and maintain an equitable system of parks, open spaces, trails and recreational facilities to meet the cultural, educational, social, and recreational needs of the community and pursue opportunities to provide public facilities that attract regional use and function as economic generators.

Objective – To reinvest in existing assets, and to develop new assets and facilities consistent with the City’s mission “to continuously improve the quality of life and attractiveness of the City of Council Bluffs”. In doing so, the Parks and Recreation Department will provide, renovate and maintain parks and open spaces that uniquely relate to the City’s environment, history, and art/culture, or represent new trends and non-traditional leisure interests.

Capital Improvement Efforts

- ❑ Continue to plan, improve, and enhance the existing parks and recreation, aquatics, golf, historical and service delivery facilities.
- ❑ Continue Implementation of the Parks System and Recreation Facilities Master Plan.
- ❑ Develop the Missouri River Riverfront.
- ❑ Acquire, plan and develop new park and recreational facilities in development areas and in areas, which have insufficient park and recreational opportunities.
- ❑ Optimize grant funding opportunities for trails by programming annual City funding for trail renovation and the construction of new trails.
- ❑ Continue to reinvest in existing facilities, parks, and park assets.

g. Public Facilities

Goal – Provide and maintain the City’s buildings and associated amenities to service the needs of the community and employees.

Objective – Construct, renovate, and maintain the City’s buildings utilized for maintenance, public safety, operations, and administrative functions.

Objective – Construct, renovate, and maintain the City’s public, cultural, and entertainment related buildings and their amenities.

Capital Improvement Efforts

- Undertake accessibility improvements necessary to comply with the Americans with Disabilities Act.
- Maintain and upgrade the City’s maintenance, public safety, operational, and administrative buildings and their public amenities (parking lots, lighting, landscaping, etc.).
- Maintain and upgrade as necessary City owned entertainment facilities including the Mid America Center and the surrounding Entertainment District parking lots.

h. Public Library

Goal – Improve access and remove barriers to use of the Library’s resources and services for all residents and patrons and remain flexible in response to changing community needs.

Objective – Expand collections and services to include access to Library resources outside of the downtown building.

Capital Improvement Efforts

- Identify the ideal level of service for county and contract community residents and determine implementation of that service through a combination of kiosk sites, drop box, materials lockers, or bookmobile services.
- Evaluate and identify the use and expectation for makerspace services and update the current services and resources to reflect the needs of the community.

**REVENUE SUMMARY BY FUNDING SOURCE AND FISCAL YEAR**

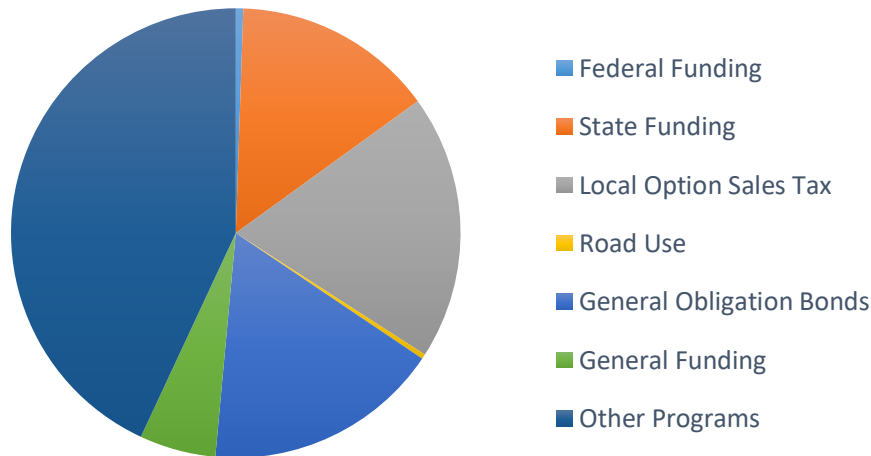
	<b>FY25</b>	<b>FY26</b>	<b>FY27</b>	<b>FY28</b>	<b>FY29</b>	<b>Totals</b>
Federal Funding	\$350,000	\$500,000	\$350,000	\$350,000	\$0	\$1,550,000
State Funding	\$4,605,000	\$2,700,000	\$7,228,000	\$7,275,000	\$20,200,000	\$42,008,000
Local Option Sales Tax	\$9,600,000	\$11,525,000	\$10,905,000	\$10,900,000	\$12,350,000	\$55,280,000
Road Use	\$0	\$1,000,000	\$0	\$0	\$0	\$1,000,000
General Obligation Bonds	\$6,259,240	\$9,304,000	\$6,800,000	\$7,785,000	\$19,200,000	\$49,348,240
General Funding	\$985,000	\$3,400,000	\$5,725,000	\$4,450,000	\$1,350,000	\$15,910,000
Other Programs	\$8,546,000	\$3,400,000	\$3,355,000	\$46,050,000	\$63,500,000	\$124,851,000
<b>Totals</b>	<b>\$30,345,240</b>	<b>\$31,829,000</b>	<b>\$34,363,000</b>	<b>\$76,810,000</b>	<b>\$116,600,000</b>	<b>\$289,947,240</b>

\*Road Use funds are primarily used for road maintenance and improvement.

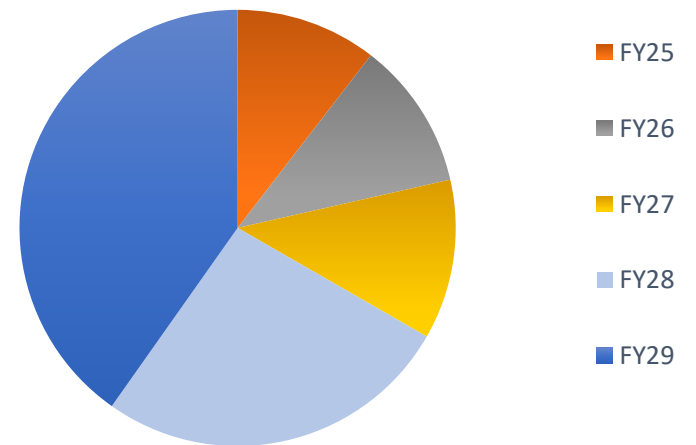
\*\*General Obligation bond funding source is re-evaluated annually based on financial capacity.

\*\*\*Other Programs are re-evaluated annually based on availability. Projects with unknown funding sources are included in FY28 and FY29.

**Revenue Summary By Funding Source**



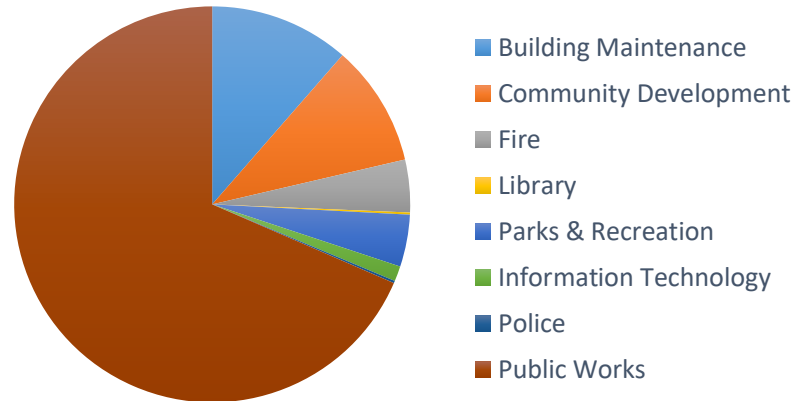
**Revenue Summary By Fiscal Year**



**EXPENDITURE SUMMARY BY DEPARTMENT AND FISCAL YEAR**

	<b>FY25</b>	<b>FY26</b>	<b>FY27</b>	<b>FY28</b>	<b>FY29</b>	<b>Totals</b>
Building Maintenance	\$3,135,000	\$2,580,000	\$4,625,000	\$7,140,000	\$15,650,000	\$33,130,000
Community Development	\$7,350,000	\$3,600,000	\$3,850,000	\$4,100,000	\$9,900,000	\$28,800,000
Fire	\$1,010,000	\$900,000	\$850,000	\$1,700,000	\$8,000,000	\$12,460,000
Library	\$0	\$300,000	\$200,000	\$0	\$0	\$500,000
Parks & Recreation	\$722,940	\$3,424,000	\$2,950,000	\$2,745,000	\$2,500,000	\$12,341,940
Information Technology	\$780,000	\$700,000	\$700,000	\$700,000	\$700,000	\$3,580,000
Police	\$542,300	\$0	\$0	\$0	\$0	\$542,300
Public Works	\$16,805,000	\$20,325,000	\$21,188,000	\$60,425,000	\$79,850,000	\$198,593,000
<b>Totals</b>	<b>\$30,345,240</b>	<b>\$31,829,000</b>	<b>\$34,363,000</b>	<b>\$76,810,000</b>	<b>\$116,600,000</b>	<b>\$289,947,240</b>

**Expenditures By Department**



**FY 25**

PROJECT #	PROJECT TITLE	DESCRIPTION	Current Year Funding Sources										Current Year Project Cost	Notes/Further information	
			Federal	State	Sales	Road Use	GO	Gen Fund Gaming	Gen Fund Operating	Iowa West Grant	Other Grant	Donations			Other
<b>Building Maintenance</b>			\$0	\$0	\$0	\$0	\$2,400,000	\$735,000	\$0	\$0	\$0	\$0	\$0	\$3,135,000	
BM-25-01	MAC Parking Lot Rehab - Phase V	Replacement of City owned lots					\$700,000	\$300,000						\$1,000,000	
BM-25-02	MAC Cooling Towers	Replace existing cooling towers due to age and condition					\$700,000	\$200,000						\$900,000	
BM-25-03	Library Building Automation Upgrades	Replace failing building automation components and purchase new building automation software					\$320,000	\$60,000						\$380,000	Gaming
BM-25-04	UP Museum Windows and Doors	Replace all windows and doors					\$530,000							\$530,000	Gaming
BM-25-05	UP Museum Roof Top Mechanical	Replace two roof top units					\$150,000							\$150,000	Gaming
BM-25-06	Central Fire Station Exterior Repair	Clean and seal exterior walls						\$100,000						\$100,000	Gaming
BM-25-07	MAC Automated Floor Scrubber	Purchase Automated Floor scrubber						\$75,000						\$75,000	Gaming
<b>Community Development</b>			\$350,000	\$0	\$0	\$0	\$1,134,000		\$0	\$0	\$2,000,000	\$0	\$3,866,000	\$7,350,000	
CD-25-01	FIRST AVE Program (Furthering Interconnections, Revitalization, Streetscapes, Transportation, and Aesthetics for a Vibrant Economy)	Acquisitions/demolition					\$500,000							\$500,000	
CD-25-02	Downtown projects	Acquisitions/demolition/infrastructure/studies/façade grants					\$200,000							\$200,000	
CD-25-03	Rivers Edge Water Main	Extension of water main to Rivers Edge					\$434,000						\$866,000	\$1,300,000	Other: PY 2021B GO Bonds
CD-25-04	East Manawa Development	Planning, design, infrastructure	\$350,000								\$2,000,000	\$3,000,000	\$5,350,000	Fed: CDBG Other Grant: Housing Dev Fund Other: ARPA	
<b>Police Department</b>			\$0	\$0	\$0	\$0	\$542,300		\$0	\$0	\$0	\$0	\$0	\$542,300	
PD-25-01	Vehicles and Heavy Equipment	Equipment purchases and improvements, to include fleet					\$542,300							\$542,300	
<b>Fire Department</b>			\$0	\$0	\$0	\$0	\$1,010,000		\$0	\$0	\$0	\$0	\$0	\$1,010,000	
FD-25-01	Medic Unit Refurbishment	Apparatus Replacement Previous year delay FY/24					\$350,000							\$350,000	
FD-25-02	Medic Unit Refurbishment	Apparatus Replacement					\$270,000							\$270,000	
FD-25-03	Vehicles and Heavy Equipment	Equipment purchases and improvements, to include fleet					\$390,000							\$390,000	
<b>IT</b>			\$0	\$0	\$0	\$0	\$500,000	\$200,000	\$0	\$0	\$80,000	\$0	\$0	\$780,000	
IT-25-01	Safety and Security	Parameter cameras at City Hall and pump stations; Cyber security					\$75,000							\$75,000	
IT-25-02	Infrastructure & Services	Fiber, network switches, servers, storage					\$350,000			\$80,000				\$430,000	Library Foundation
IT-25-03	Mobile Technology	MDTs and tablets					\$75,000							\$75,000	
IT-25-04	Software Licensing	Software renewals; permit/licensing software implementation						\$200,000						\$200,000	Gaming
<b>Parks and Recreation Department</b>			\$0	\$0	\$0	\$0	\$672,940		\$50,000	\$0	\$0	\$0	\$0	\$722,940	
PR-25-01	City Wide Parking Lot Upgrades	Additional funding request to completed improvements to Big Lake Park and Valley View Park parking lots					\$150,000							\$150,000	
PR-25-03	Council Bluffs Recreation Complex Facility Maintenance Yard Improvements	Additional funding for Improvements to Existing Facility to Include Security Fence, Outdoor Storage and Parking Lot Modifications					\$175,000							\$175,000	
PR-25-05	Bahnsen Field Maintenance Building	Install prefabricated storage building at Bahnsen Field					\$20,000							\$20,000	
PR-25-06	Valley View Trail Sealcoat	sealcoat existing trail							\$50,000					\$50,000	Operating
PR-25-07	Vehicles and Heavy Equipment	Equipment purchases and improvements					\$327,940							\$327,940	
<b>Public Works Department</b>			\$0	\$4,605,000	\$9,600,000	\$0	\$0		\$0	\$0	\$0	\$0	\$2,600,000	\$16,805,000	
PW-25-01	Infrastructure Maintenance	PCC Street Repairs			\$400,000									\$400,000	
PW-25-04	Infrastructure Management	Traffic studies - Franklin, Valley View, Harry Landon			\$150,000									\$150,000	
PW-25-05	NPDES PH II Program Management	Citywide MS4 permit - storm sewer improvements			\$100,000									\$100,000	
PW-25-06	Levee Certification Projects														
	Program Management	Consultant Services			\$250,000									\$250,000	
	Geotech MC_3	Stability improvements to Mosquito Creek Levee		\$2,200,000										\$2,200,000	FMP

**FY 25**

PROJECT #	PROJECT TITLE	DESCRIPTION	Current Year Funding Sources										Current Year Project Cost	Notes/Further information	
			Federal	State	Sales	Road Use	GO	Gen Fund Gaming	Gen Fund Operating	Iowa West Grant	Other Grant	Donations			Other
PW-25-07	State Orchard Road Reconstruction	EHD to Steven Rd			\$3,000,000									\$3,000,000	
PW-25-08	30th Ave Sewer Rehab - Phase III	Sewer											\$500,000	\$500,000	Other = Sewer
PW-25-09	E Manawa Sewer Rehab - Phase XIII	Mowhawk Street - Pavement, sewers			\$1,300,000								\$450,000	\$1,750,000	Other = Sewer
PW-25-10	West Graham Reconstruction	Pavement, sewer		\$2,405,000	\$1,250,000									\$3,655,000	STBG
PW-25-12	30th Avenue Reconstruction	Pavement - Entrance to Power Center at S Expressway			\$750,000									\$750,000	
PW-25-13	Avenue B	Pavement, sewer - 8th St. to 13th St.			\$1,400,000								\$600,000	\$2,000,000	Other = Sewer
PW-25-14	Fiber Optic Extension to WPCP	Fiber connection for communication											\$250,000	\$250,000	Other = Sewer
PW-25-15	Storm Pump Station Rehab	Backup Gen Set at I-80			\$500,000									\$500,000	
PW-25-16	WPCP Solids Bldg Concrete Repairs	Concrete rehab of walls and ceiling in head cell pit			\$500,000									\$500,000	
PW-25-17	Pump Station Rehab	Southwest Trash Rack Replacement											\$800,000	\$800,000	Other = Sewer
<b>Total</b>			<b>\$350,000</b>	<b>\$4,605,000</b>	<b>\$9,600,000</b>	<b>\$0</b>	<b>\$6,259,240</b>	<b>\$935,000</b>	<b>\$50,000</b>	<b>\$0</b>	<b>\$2,080,000</b>	<b>\$0</b>	<b>\$6,466,000</b>	<b>\$30,345,240</b>	

FY 26

PROJECT #	PROJECT TITLE	DESCRIPTION	Current Year Funding Sources										Current Year Project Cost	Notes/Further information
			Federal	State	Sales	Road Use	GO	Gen Fund	Iowa West Grant	Other Grant	Donations	Other		
<b>Building Maintenance</b>			\$0	\$0	\$0	\$0	\$0	\$2,580,000	\$0	\$0	\$0	\$0	\$2,580,000	
BM-25-07	MAC Arena Upgrades - Phase I	Replace south retractable seating						\$660,000					\$660,000	GCP - σ (see reso 21-8 for verbiage)
BM-26-02	MAC Roof Replacement - Phase IV	Replace section of failing roof						\$1,200,000					\$1,200,000	Gaming
BM-26-03	City Hall Exterior Repair	Repair window lentsils, clean and seal exterior walls						\$200,000					\$200,000	Gaming
BM-26-04	MAC Staging	Replace existing stage						\$150,000					\$150,000	Gaming
BM-26-05	MAC Arena Folding Chairs	Replace arena folding chairs						\$120,000					\$120,000	Gaming
BM-26-06	Bass Pro Parking Lot Repairs	Mill and patch, crack seal and seal coat						\$250,000					\$250,000	Gaming
<b>Community Development Department</b>			\$500,000	\$0	\$0	\$0	\$3,100,000	\$0	\$0	\$0	\$0	\$0	\$3,600,000	
CD-26-01	FIRST AVE Program (Furthering Interconnections, Revitalization, Streetscapes, Transportation, and Aesthetics for a Vibrant Economy)	Acquisitions/demolition					\$500,000						\$500,000	
CD-26-02	Comp Plan Update	Studies					\$400,000						\$400,000	
CD-26-03	Downtown projects	Acquisitions/demolition/infrastructure/studies/façade grants					\$200,000						\$200,000	
CD-26-04	East Manawa Development	Planning, design, infrastructure	\$500,000				\$2,000,000						\$2,500,000	CDBG
<b>Fire Department</b>			\$0	\$0	\$0	\$0	\$900,000	\$0	\$0	\$0	\$0	\$0	\$900,000	
FD-26-01	Rescue 30	Apparatus Replacement					\$900,000						\$900,000	
<b>Library</b>			\$0	\$0	\$0	\$0	\$0	\$0	\$300,000	\$300,000	\$0	\$0	\$300,000	Library Foundation
LB-26-01	Makerspace Remodel	Expansion and remodel to makerspace											\$300,000	
<b>IT</b>			\$0	\$0	\$0	\$0	\$0	\$700,000	\$0	\$0	\$0	\$0	\$700,000	
IT-26-01	Safety and Security	Parameter cameras at City Hall and pump stations; Cyber security						\$75,000					\$75,000	Gaming
IT-26-02	Infrastructure & Services	Fiber, network switches, servers, storage						\$350,000					\$350,000	Gaming
IT-26-03	Mobile Technology	MDTs and tablets						\$75,000					\$75,000	Gaming
IT-26-04	Software Licensing	Software renewals; permit/licensing software implementation						\$200,000					\$200,000	Gaming
<b>Parks, Recreation and Public Property Department</b>			\$0	\$0	\$0	\$0	\$3,304,000	\$120,000	\$0	\$0	\$0	\$0	\$3,424,000	
PR-26-01	City Wide Parking Lot Upgrade - Bahnsen Park	Improve the two parking lots at Bahnsen Park					\$550,000						\$550,000	
PR-26-02	Park Maintenance Shops and Yard Upgrade, Phase I	Renovate existing shops building and yard					\$1,250,000						\$1,250,000	
PR-26-03	Westwood Playground Improvement	Design and Engineer drawings						\$45,000					\$45,000	Operating
PR-26-04	Twin City Park Improvement, Phase I	Engineering and design of park improvements for Twin City Park						\$75,000					\$75,000	Operating
PR-26-05	Pirate Cove Patio Improvement	Replace sand pit with concrete and add shelters for expanded seating area					\$144,000						\$144,000	
PR-26-06	River's Edge Donor Plaza	Construct new donor plaza at River's Edge					\$500,000						\$500,000	
PR-26-07	Big Lake Tennis Court Conversion	Convert existing tennis courts into pickle courts and add new shelter and plaza.					\$120,000						\$120,000	
PR-26-08	Valley View Dog Park	Additional funding for Dog Park construct new dog park					\$260,000						\$260,000	
PR-26-09	City County Trail Connector	Additional funding is requested to construct a trail along Railroad Ave, north of Kanesville Blvd					\$480,000						\$480,000	
<b>Public Works Department</b>			\$0	\$2,700,000	\$11,525,000	\$1,000,000	\$2,000,000	\$0	\$0	\$0	\$0	\$3,100,000	\$20,325,000	
PW-26-01	Infrastructure Maintenance	Emergency Repairs			\$200,000								\$200,000	
PW-26-04	Infrastructure Management	Evaluation study / analysis TBD			\$100,000								\$100,000	
PW-26-05	NPDES PH II Program Management	Citywide MS4 permit - storm sewer improvements			\$100,000								\$100,000	
PW-26-06	Indian Creek Channel Rehabilitation	Repair of I.C. concrete structure	\$2,700,000		\$800,000								\$3,500,000	FMP
PW-26-07	Richard Downing Blvd Reconstruction	Pavement, storm sewer			\$2,000,000								\$2,000,000	
PW-26-08	Valley View and Franklin Ave Improvements	Street intersection improvements			\$750,000								\$750,000	
PW-26-10	30th Avenue Reconstruction	Pavement - Entrance to Power Center at S Expressway			\$750,000								\$750,000	
PW-26-10	4th Avenue Sewer Rehab	Pavement, sewer - 3200 Block			\$525,000								\$525,000	
PW-26-11	28th Street Storm Rehab - Phase V	Pavement, sewer			\$3,000,000						\$1,000,000		\$4,000,000	Other = Sewer
PW-26-12	S 23rd Street Sewer Rehab - Phase II	Pavement, sewer			\$700,000						\$300,000		\$1,000,000	Other = Sewer
PW-26-13	Hillcrest Reconstruction - Phase II	Pavement, sewer			\$700,000						\$300,000		\$1,000,000	Other = Sewer
PW-26-14	Salt Storage Relocation	Salt storage facility at PW campus				\$1,000,000							\$1,000,000	
PW-26-15	Sewer Extension	Sanitary sewer improvements to expand service				\$2,000,000							\$2,000,000	
PW-26-16	WPCP Digestor Lids	Repair/Replace Digestor Lids			\$1,500,000						\$1,500,000		\$3,000,000	Other = Sewer
PW-26-18	Kanesville Pedestrian Bridge Repairs	Repair bridge structure			\$400,000								\$400,000	
<b>Total</b>			\$500,000	\$2,700,000	\$11,525,000	\$1,000,000	\$9,304,000	\$3,400,000	\$0	\$300,000	\$0	\$3,100,000	\$31,829,000	

**FY 27**

PROJECT #	PROJECT TITLE	DESCRIPTION	Current Year Funding Sources										Current Year Project Cost	Notes/Further information
			Federal	State	Sales	Road Use	GO	Gen Fund	Iowa West Grant	Other Grant	Donations	Other		
<b>Building Maintenance</b>			\$0	\$0	\$0	\$0	\$0	\$4,625,000	\$0	\$0	\$0	\$0	\$4,625,000	
BM-27-01	MAC Boilers	Replace existing boilers due to age and condition						\$2,300,000					\$2,300,000	Gaming
BM-27-02	MAC Concession Stands	Replace existing concession areas						\$350,000					\$350,000	Gaming
BM-27-03	MAC Parking Lot LED Lighting	Replace current fixtures with LED fixtures						\$90,000					\$90,000	Gaming
BM-27-04	MAC Utility Vehicle Replacement	Replacement of current truck and utility vehicles						\$85,000					\$85,000	Gaming
BM-27-05	MAC Arena Upgrades - Phase II	Replace north retractable seating						\$1,800,000					\$1,800,000	Gaming
<b>Community Development Department</b>			\$350,000	\$0	\$0	\$0	\$3,400,000	\$0	\$0	\$0	\$0	\$100,000	\$3,850,000	
CD-27-01	FIRST AVE Program (Furthering Interconnections, Revitalization, Streetscapes, Transportation, and Aesthetics for a Vibrant Economy)	Acquisitions/demolition/trail/infrastructure/studies						\$500,000					\$500,000	
CD-27-02	Downtown projects	Acquisitions/demolition/infrastructure/studies/façade grants						\$150,000				\$100,000	\$250,000	Other=TIF
CD-27-03	East Manawa Development	planning, design, infrastructure						\$2,000,000					\$2,000,000	
CD-27-04	S 17th Street and 25th Ave	Acquisition and infrastructure	\$350,000					\$750,000					\$1,100,000	
<b>Fire Department</b>			\$0	\$0	\$0	\$0	\$500,000	\$350,000	\$0	\$0	\$0	\$0	\$850,000	
FD-27-01	Aerial Refurbish of Standby Aerial	Refurbish of Apparatus						\$500,000					\$500,000	
FD-27-02	Medic Unit Refurbish	Apparatus Replacement						\$350,000					\$350,000	Operating
<b>Library</b>			\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$200,000	\$0	\$0	\$200,000	
LB-27-01	Book Mobile	Fleet vehicle to transport materials and resources to schools and contract communities.								\$200,000			\$200,000	Library Foundation
<b>IT</b>			\$0	\$0	\$0	\$0	\$0	\$700,000	\$0	\$0	\$0	\$0	\$700,000	
IT-27-01	Safety and Security	Parameter cameras at City Hall and pump stations; Cyber security						\$75,000					\$75,000	Gaming
IT-27-02	Infrastructure & Services	Fiber, network switches, servers, storage						\$350,000					\$350,000	Gaming
IT-27-03	Mobile Technology	MDTs and tablets						\$75,000					\$75,000	Gaming
IT-27-04	Software Licensing	Software renewals; permit/licensing software implementation						\$200,000					\$200,000	Gaming
<b>Parks, Recreation and Public Property Department</b>			\$0	\$0	\$0	\$0	\$2,900,000	\$50,000	\$0	\$0	\$0	\$0	\$2,950,000	
PR-27-01	City Wide Parking Lot Upgrade - Westwood Park	Make improvements to Westwood Park parking lot						\$50,000					\$50,000	Operating
PR-27-02	Recreation Complex Lighting Upgrade, Phase 1	replace existing lights and poles with LED lights, with new poles						\$400,000					\$400,000	
PR-27-03	Westwood Playground Improvements	Construction of a new playground						\$750,000					\$750,000	
PR-27-04	Park Maintenance Shops and Yard Upgrade, Phase II	Design and engineering of new shop building and infrastructure.												
PR-27-05	River's Edge Donor Plaza	Construct new donor plaza at River's Edge						\$1,750,000					\$1,750,000	
<b>Public Works Department</b>			\$0	\$7,228,000	\$10,905,000	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$3,055,000	\$21,188,000
PW-27-01	Infrastructure Maintenance	Emergency Repairs			\$300,000								\$300,000	
PW-27-04	Infrastructure Management	Evaluation study / analysis TBD			\$150,000								\$150,000	
PW-27-05	NPDES PH II Program Management	Citywide MS4 permit - storm sewer improvements			\$200,000								\$200,000	
PW-27-06	Indian Creek Channel Rehabilitation	Repair of I.C. concrete structure		\$2,700,000	\$1,300,000								\$4,000,000	FMP
PW-27-07	4th Avenue Sewer Rehab	Pavement, sewer - 3200 Block			\$525,000							\$225,000	\$750,000	Other = Sewer
PW-27-08	30th Ave Sewer Rehab - Phase IV	Sewer										\$750,000	\$750,000	Other = Sewer
PW-27-09	E Manawa Sewer Rehab - Phase XIV	Pavement, sewer			\$1,050,000							\$450,000	\$1,500,000	Other = Sewer
PW-27-10	3rd Avenue Sewer Rehab	Pavement, sewer - 2500 Block			\$420,000							\$180,000	\$600,000	Other = Sewer
PW-27-12	S 23rd Street Sewer Rehab - Phase III	Pavement, sewer			\$700,000							\$300,000	\$1,000,000	Other = Sewer
PW-27-13	South Expressway Reconstruction, Phase II	Pavement, sewer		\$4,528,000	\$2,260,000								\$6,788,000	STBG
PW-27-14	Lockwood Place Rehab	Pavement, sewer - Woodbury north			\$950,000							\$400,000	\$1,350,000	Other = Sewer
PW-27-15	Sewer Rehab - Insitu Lining	Sanitary Sewer										\$750,000	\$750,000	Other = Sewer
PW-27-17	Pump Station Rehab	Indian Creek Storm Trash Rack			\$800,000								\$800,000	
PW-27-18	W. Pierce Street Reconstruction	Pavement, sewer			\$1,500,000								\$1,500,000	
PW-27-19	IDOT Payment for Madison Avenue Storm	Payment 1 of 1 for CBIS work			\$750,000								\$750,000	
<b>Total</b>			\$350,000	\$7,228,000	\$10,905,000	\$0	\$6,800,000	\$5,725,000	\$0	\$200,000	\$0	\$0	\$3,155,000	\$34,363,000

**FY 28**

PROJECT #	PROJECT TITLE	DESCRIPTION	Current Year Funding Sources										Current Year Project Cost	Notes/Further information
			Federal	State	Sales	Road Use	GO	Gen Fund	Iowa West Grant	Other Grant	Donations	Other		
<b>Building Maintenance</b>			\$0	\$0	\$0	\$0	\$0	\$3,540,000	\$0	\$0	\$0	\$3,600,000	\$7,140,000	
BM-28-01	Public Works Storage	Construct new storage facility to replace failing buildings at 1301 and 1901 2nd Ave										\$3,600,000	\$3,600,000	
BM-28-02	MAC Carpet Replacement	Replace carpet in ballroom/refunction, locker rooms, office areas, and club						\$800,000					\$800,000	Gaming
BM-28-03	MAC Outdoor Signage	Replace exterior building logo and LED displays						\$750,000					\$750,000	Gaming
BM-28-04	MAC Banquet Furniture	New banquet chairs, soft seating, tables, and bar furniture						\$200,000					\$200,000	Gaming
BM-28-05	Bass Pro Shops Roof Relacement	Replace failing roof						\$840,000					\$840,000	Gaming
BM-28-06	MAC Arena Upgrades - Phase III	Replace bowl area seating						\$950,000					\$950,000	Gaming
<b>Community Development Department</b>			\$350,000	\$0	\$0	\$0	\$3,550,000	\$0	\$0	\$0	\$0	\$200,000	\$4,100,000	
CD-28-01	FIRST AVE Program (Furthering Interconnections, Revitalization, Streetscapes, Transportation, and Aesthetics for a Vibrant Economy)	Acquisitions/demolition/trail/infrastructure/studies					\$300,000						\$300,000	
CD-28-02	Downtown projects	Acquisitions/demolition/infrastructure/studies/façade grants										\$200,000	\$200,000	Other=TIF and grants
CD-28-03	East Manawa Development	planning, design, infrastructure					\$2,000,000						\$2,000,000	
CD-28-04	S 17th Street and 25th Ave	Acquisition and infrastructure	\$350,000				\$750,000						\$1,100,000	
CD-28-05	Mid City	Site development					\$500,000						\$500,000	
<b>Fire Department</b>			\$0	\$0	\$0	\$0	\$1,700,000	\$0	\$0	\$0	\$0	\$0	\$1,700,000	
FD-28-01	Engine 61	Replacement of Engine 2029 Delivery					\$850,000						\$850,000	
FD-28-02	Engine51	Replacement of Engine 2029 Delivery					\$850,000						\$850,000	
<b>IT</b>			\$0	\$0	\$0	\$0	\$700,000	\$0	\$0	\$0	\$0	\$0	\$700,000	
IT-28-01	Safety and Security	Parameter cameras at City Hall and pump stations; Cyber security					\$75,000						\$75,000	Gaming
IT-28-02	Infrastructure & Services	Fiber, network switches, servers, storage					\$350,000						\$350,000	Gaming
IT-28-03	Mobile Technology	MDTs and tablets					\$75,000						\$75,000	Gaming
IT-28-04	Software Licensing	Software renewals; permit/licensing software implementation					\$200,000						\$200,000	Gaming
<b>Parks and Recreation Department</b>			\$0	\$0	\$0	\$0	\$2,535,000	\$210,000	\$0	\$0	\$0	\$0	\$2,745,000	
PR-28-01	City Wide Parking Lot Upgrade - Iowa West Foundation Trailhead	Make improvements to Iowa West Foundation Trailhead parking lot					\$485,000						\$485,000	
PR-28-02	Graham Park Playground Improvements	replace existing playground					\$450,000						\$450,000	
PR-28-03	Recreation Complex Lighting Upgrade, Phase 2	replace existing lights and poles with LED lights, with new poles					\$1,600,000						\$1,600,000	
PR-28-04	Fairmount Park Improvements, Phase II	Design and engineering for a new dog park and playground/ smaller park on the lower level of Fairmount Park.					\$210,000						\$210,000	Operating
<b>Public Works Department</b>			\$0	\$7,275,000	\$10,900,000	\$0	\$0	\$0	\$0	\$0	\$0	\$42,250,000	\$60,425,000	
PW-28-01	Infrastructure Maintenance	Emergency Repairs			\$300,000								\$300,000	
PW-28-04	Infrastructure Management	Evaluation study / analysis TBD			\$100,000								\$100,000	
PW-28-05	NPDES PH II Program Management	Citywide MS4 permit - storm sewer improvements			\$200,000								\$200,000	
PW-28-06	Indian Creek Channel Rehabilitation	Repair of I.C. concrete structure		\$2,750,000	\$1,250,000								\$4,000,000	FMP
PW-28-07	Franklin Ave Reconstruction	Pavement, sewer - Lincoln to South			\$1,400,000						\$200,000		\$1,600,000	Other = Sewer
PW-28-08	N 17th St Sewer Rehab-Phase I	Pavement, sewer			\$700,000						\$300,000		\$1,000,000	Other = Sewer
PW-28-09	E Manawa Sewer Rehab - Phase XV	Pavement, sewer			\$1,050,000						\$450,000		\$1,500,000	Other = Sewer
PW-28-10	Valley View Sewer Rehab	Sanitary sewer			\$1,000,000								\$1,000,000	
PW-28-12	S 23rd Street Sewer Rehab - Phase IV	Pavement, sewer			\$700,000						\$300,000		\$1,000,000	Other = Sewer
PW-28-13	N. 16th Street Reconstruction	Pavement - Ave G to Nash Blvd		\$4,525,000	\$2,200,000								\$6,725,000	STBG
PW-28-14	Street Rehab - Pavement resurfacing	Pavement - multiple locations			\$1,000,000								\$1,000,000	
PW-28-15	Reconstruction of South Expressway Bridges	Bridge, pavement									\$40,000,000		\$40,000,000	TBD
PW-28-16	Sewer Rehab - Insitu Lining	Sanitary Sewer									\$1,000,000		\$1,000,000	Other = Sewer
PW-28-17	Pump Station Rehab	21st & Ave K P.S. Odor Control, HVAC, and Controls			\$500,000								\$500,000	
PW-28-18	WPCP Master Plan	Develop master plan and permitting for plant expansion			\$500,000								\$500,000	
<b>Total</b>			\$350,000	\$7,275,000	\$10,900,000	\$0	\$7,785,000	\$4,450,000	\$0	\$0	\$0	\$46,050,000	\$76,810,000	

**FY 29**

PROJECT #	PROJECT TITLE	DESCRIPTION	Current Year Funding Sources										Current Year Project Cost	Notes/Further information	
			Federal	State	Sales	Road Use	GO	Gen Fund	Iowa West Grant	Other Grant	Donations	Other			
<b>Building Maintenance</b>			\$0	\$0	\$0	\$0	\$0	\$650,000					\$15,000,000	\$15,650,000	
BM-29-01	City Hall Remodel	Complete renovation of City Hall											\$15,000,000	\$15,000,000	
BM-29-02	MAC Staging	Replace existing stage						\$150,000						\$150,000	Gaming
BM-29-03	Western Historic Trail Center Demo	Demo structure and rebuild Levee						\$500,000						\$500,000	Gaming
<b>Community Development Department</b>			\$0	\$0	\$0	\$0	\$6,700,000	\$0	\$3,000,000	\$0	\$0	\$0	\$200,000	\$9,900,000	
CD-29-01	Mid City	Site Development					\$500,000							\$500,000	
CD-29-02	Downtown projects	Acquisitions/demolition/infrastructure/studies/façade grants											\$200,000	\$200,000	Other=TIF and grants
CD-29-03	East Manawa Development	planning, design, infrastructure					\$2,000,000							\$2,000,000	
CD-29-04	Dodge Park	infrastructure/studies					\$3,000,000		\$3,000,000					\$6,000,000	
CD-29-05	Gethsemane Property - E Manawa	Acquisitions/infrastructure/studies					\$1,200,000							\$1,200,000	
<b>Fire Department</b>			\$0	\$0	\$0	\$0	\$8,000,000	\$0	\$0	\$0	\$0	\$0	\$0	\$8,000,000	
FD-29-01	Fire Station 7 (New Station)	Additional Station in Southwest quadrant of the City					\$8,000,000							\$8,000,000	
<b>IT</b>			\$0	\$0	\$0	\$0	\$0	\$700,000	\$0	\$0	\$0	\$0	\$0	\$700,000	
IT-28-01	Safety and Security	Parameter cameras at City Hall and pump stations; Cyber security						\$75,000						\$75,000	Gaming
IT-28-02	Infrastructure & Services	Fiber, network switches, servers, storage						\$350,000						\$350,000	Gaming
IT-28-03	Mobile Technology	MDTs and tablets						\$75,000						\$75,000	Gaming
IT-28-04	Software Licensing	Software renewals; permit/licensing software implementation						\$200,000						\$200,000	Gaming
<b>Parks and Recreation Department</b>			\$0	\$0	\$0	\$0	\$2,500,000	\$0	\$0	\$0	\$0	\$0	\$0	\$2,500,000	
PR-26-01	City Wide Parking Lot Upgrade - Roberts Park	Make improvements to Roberts Park parking lot					\$400,000							\$400,000	
PR-26-02	City Wide Trail Repair - Indian Creek Trail	Repair and upgrade existing trail					\$500,000							\$500,000	
PR-26-03	Recreation Complex Lighting Upgrade, Phase 3	replace existing lights and poles with LED lights, with new poles					\$1,600,000							\$1,600,000	
<b>Public Works Department</b>			\$0	\$20,200,000	\$12,350,000	\$0	\$2,000,000	\$0	\$0	\$0	\$0	\$0	\$45,300,000	\$79,850,000	
PW-29-01	Infrastructure Maintenance	Emergency Repairs			\$500,000									\$500,000	
PW-29-04	Infrastructure Management	Evaluation study / analysis TBD			\$150,000									\$150,000	
PW-29-05	NPDES PH II Program Management	Citywide MS4 permit - storm sewer improvements			\$200,000									\$200,000	
PW-29-06	Indian Creek Channel Rehabilitation	Repair of I.C. concrete structure		\$3,200,000	\$1,800,000									\$5,000,000	FMP
PW-29-07	Levee Certification Project	Mosquito Creek Levee improvements										\$21,500,000	\$21,500,000		
PW-29-08	N 17th St Sewer Rehab-Phase II	Pavement, sewer			\$700,000							\$300,000	\$1,000,000	Other = Sewer	
PW-29-09	E Manawa Sewer Rehab - Phase XVI	Pavement, sewer			\$1,050,000							\$450,000	\$1,500,000	Other = Sewer	
PW-29-10	Street Rehab - Pavement resurfacing	Pavement - multiple locations			\$1,000,000								\$1,000,000		
PW-29-11	28th Street Storm Rehab - Phase VI	Pavement, sewer			\$2,500,000							\$750,000	\$3,250,000	Other = Sewer	
PW-29-12	S 23rd Street Sewer Rehab - Phase V	Pavement, sewer			\$700,000							\$300,000	\$1,000,000	Other = Sewer	
PW-29-13	Storm Outfall Repairs	Storm sewer structures and erosion repairs			\$2,000,000								\$2,000,000		
PW-29-14	S. 192nd Sanitary Sewer Improvements	Sewer Extension and Pump Station for future development										\$3,000,000	\$3,000,000		
PW-29-15	Sewer Extension	Sanitary sewer improvements to expand service					\$2,000,000						\$2,000,000		
PW-29-16	Kanesville Blvd Reconstruction	Reconstruct TJD roadway		\$13,000,000								\$17,000,000	\$30,000,000	IDOT payments for TJ	
PW-29-17	Pump Station Rehab	TBD			\$750,000								\$750,000		
PW-29-18	WPCP Admin Building	Facility Replacement for Admin and Lab		\$4,000,000								\$1,000,000	\$5,000,000	SRF ?, Other = Sewer	
PW-29-19	WPCP Effluent Pump Station	Pump Station for discharge during high river			\$1,000,000							\$1,000,000	\$2,000,000	Other = Sewer	
<b>Total</b>			\$0	\$20,200,000	\$12,350,000	\$0	\$19,200,000	\$1,350,000	\$3,000,000	\$0	\$0	\$0	\$60,500,000	\$116,600,000	

## Planning Commission Communication

Department: Community  
Development

Case/Project No.: PR-23-006

CASE #PR-23-006

Council Action: 11/14/2023

Submitted by: Moises Monrroy,  
Planner

### Description

Public hearing on the request of Jamie Augustine to append a planned residential overlay over property legally described as Lot 65, City Acres, City of Council Bluffs, Pottawattamie County, Iowa, and adopt the associated development plan. Location: 2637 Avenue L.

### Background/Discussion

See attached staff report.

### Recommendation

### ATTACHMENTS:

Description	Type	Upload Date
Staff Report & Attachments	Other	11/9/2023

**Planning Commission Communication**

Department: Community Development  CASE #PR-23-006  Applicant/Property Owner: Jamie Augustine 8129 Fort Street Omaha, NE 68134	Ordinance No. _____  Resolution No. _____	Planning Commission: 11/14/2023
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**Subject/Title**

**Request:** Public hearing on the request of Jamie Augustine to append a planned residential overlay onto property legally described as Lot 65, City Acres, City of Council Bluffs, Pottawattamie County, Iowa, and to adopt the associated development plan.

**Location:** 2637 Avenue ‘L’

**Background/Discussion**

The Community Development Department has received a request from Jamie Augustine to append a planned residential overlay onto property legally described as Lot 65, City Acres, City of Council Bluffs, Pottawattamie County, Iowa, and to adopt the associated development plan. The purpose of this request is to allow the applicant to construct a three-unit residential structure on the subject property, which is zoned R-1/Single-Family Residential District.

The applicant acquired the subject property earlier this year. Subsequently, the applicant submitted a request to append a planned residential overlay onto the subject property in order to construct two single-family dwellings on one parcel of land, but withdrew his application prior to the meeting with the City Planning Commission. The applicant is now proposing to build a three-unit residential structure on the subject property. The proposed structure would be considered a ‘townhouse dwelling,’ which is defined in Section 15.03.236 of the Council Bluffs Municipal Code (Zoning Ordinance) as “*a series of attached single-family dwellings separated by exterior quality walls or a common wall between units as required by Council Bluffs Building Code, except that the minimum number of abutting dwelling units in any townhouse series shall be three. Each dwelling shall front wholly and directly on a public street, or upon a courtyard or way through which the owner of the townhouse dwelling unit has legally guaranteed ingress and egress to a public street.*” The subject property had been previously developed as ‘single-family dwelling, detached.’ The proposed townhouse will be one story tall and have a slab foundation. Each dwelling unit will contain a one-stall, front-loaded attached garage with direct access onto Avenue ‘L.’

A ‘townhouse dwelling’ is not a permitted use in the R-1 District. As per Section 15.28.020 of the Council Bluffs Municipal Code (Zoning Ordinance), a PR-2 Overlay for site-specific infill development may be applied to any property zoned R-1, R-1E, R-2, R-3, or R-4 if it contains no more than 1 ½ acres of total land area and includes one of the following:

- A minimum of two (2) residential structures.
- **A minimum of one (1) residential structure that contains a minimum of three (3) dwelling units.**
- A minimum of one (1) mixed commercial-residential structure.

The proposed planned residential overlay would allow the applicant to construct a ‘townhouse dwelling’ on the subject property.

Property Owner Notification – Public notices were mailed to all property owners within 200 feet of the request. The Community Development Department received the following comment:

- A. Penny Farrell, owner of 2623 Avenue ‘L,’ stated she is opposed to the request as she is concerned there is not sufficient space at this site to accommodate an adequate amount of off-street parking for three dwelling units. Mrs. Farrell also expressed concern regarding the amount of traffic that could be generated as a result of the construction of the proposed townhouse. Mrs. Farrell stated she is also concerned the development will have an adverse impact on her privacy if the proposed townhouse is located on the south side of the subject property. The Community Development Department explained the proposed townhouse would be located 25 feet from the front property line, which would be consistent with existing development in the surrounding area. Additionally, property addressed at 2627 Avenue ‘L’ separates the subject property and Mrs. Farrell’s residence, thus visibility into her property from the proposed townhouse should be minimal. Mrs. Farrell stated the subject property should only be developed with a single-family dwelling.
- B. The public notice mailed to Clarence A. and Leanna McDonald (2626 Avenue ‘J’) was returned as undeliverable.

City Departments and Utilities – All appropriate City departments and utilities were notified of the proposed planned residential overlay. The following comments were received:

- A. The Council Bluffs Public Works Department stated the applicant will be required to install a sidewalk adjacent to Avenue ‘L.’
- B. The Council Bluffs Parks and Recreation Department stated they have no comments or concerns regarding the request.
- C. The Council Bluffs Police Department stated they have no comments or objections regarding the request.
- D. The Council Bluffs Fire Department stated they have no comments on the request.
- E. Council Bluffs Water Works stated they have no comments on the request.

Planned Residential Development Plan – Section 15.28.010, Statement of Intent, PR/Planned Residential Overlay, of the Council Bluffs Municipal Code (Zoning Ordinance) states that “*the Planned Residential Overlay is established to permit flexibility in the use and design of structures and land in situations where conventional development may be inappropriate and where modifications of requirements of the underlying zone would not be inconsistent with the comprehensive plan or harmful to the surrounding neighborhoods.*” The purpose of this request is to allow the applicant to construct a three-unit residential structure on the subject property, which is zoned R-1/Single-Family Residential District.

**A. Site Development**

- 1. In order to maintain a consistent street wall that enhances pedestrian interest and maintains the aesthetic quality of the area, the proposed homes shall be built within a build-to zone defined by a minimum front yard setback of 20 feet and a maximum front yard setback of 30 feet.
  - a. The submitted plot plan (see Attachment ‘B’) shows the proposed townhouse will have a front yard setback of 25 feet.

2. The minimum required interior side yard setback for the proposed townhouse shall be five feet.
  - a. The submitted plot plan (see Attachment ‘B’) shows the proposed townhouse will have an interior side yard setback of six and a half feet.
3. All principal and accessory structures shall comply with all other site development standards (i.e., rear yard setback, building height, and lot coverage) in Section 15.08B.050, Site Development Regulations, R-1/Single-Family Residential District, of the Municipal Code (Zoning Ordinance).
  - a. The submitted plot plan (see Attachment ‘B’) shows the proposed townhouse will have a rear yard setback of 193 feet.
  - b. The submitted floor plan (see Attachment ‘C’) shows the proposed townhouse will comply with R-1 District lot coverage requirements.
  - c. The submitted building elevations (see Attachment ‘C’) show the proposed townhouse will measure approximately 25 feet in height, and thus will not exceed the maximum height allowed for principal structures in the R-1 District.
4. Building features may project into required yards to the extent and under the conditions and limitations in Section 15.24.060, Yard Exceptions and Permitted Intrusions into Required Yards, of the Council Bluffs Municipal Code (Zoning Ordinance).
5. All fences and walls shall be installed in accordance with Section 15.24.040, Fence Regulations, of the Council Bluffs Municipal Code (Zoning Ordinance).
6. All site lighting shall comply with the standards in Section 15.24.050, Lighting Controls, of the Council Bluffs Municipal Code (Zoning Ordinance).

**B. Off-Street Parking**

1. The required number of off-street parking spaces for the proposed townhouse shall be based on the standards in Section 15.23.060, Parking Spaces Required, of the Municipal Code (Zoning Ordinance).
  - a. A minimum of six parking spaces will be required for the proposed townhouse. Each unit will have a one-stall attached garage, which would not provide the required amount of off-street parking for the development. In order to meet minimum off-street parking requirements, the driveways shall be included in the total parking count for the development.
2. All parking/loading areas, driveways and drive aisles shall comply with the standards in Chapter 15.23, Off-Street Parking, Loading and Unloading, of the Council Bluffs Municipal Code (Zoning Ordinance).

**C. Landscaping**

1. The applicant did not provide a landscaping plan for the proposed development. The Community Development Department recommends that a total of two street trees be planted at this site prior to the issuance of the Certificate of Occupancy for the proposed townhouse. Required street trees shall be generally evenly spaced apart along the entire length of the frontage.
2. All tree species planted along the frontage of a public right-of-way shall comply with the Council Bluffs Street Tree Guide and be reviewed and approved by the City prior to installation.

**D. Architecture**

1. The submitted building elevations show the proposed townhouse will be one story tall with a slab foundation and front-loaded garages, and will be primarily constructed out of siding. To enhance the architectural design of the proposed townhouse and maintain the appearance of the surrounding area through the use of high quality, durable materials, the Community Development Department recommends that a minimum of 10% of the front façade be made of brick, stone or tile. Masonry materials shall be located primarily along the base of the building.

**E. Signage**

1. A signage plan was not submitted with the development plan. Only exempt signs and temporary signs shall be permitted on the subject property, in accordance with Sections 15.33.080 and 15.33.090 of the Council Bluffs Municipal Code (Zoning Ordinance).

**Recommendation**

The Community Development Department recommends approval of the request to append a planned residential overlay onto property legally described as Lot 65, City Acres, City of Council Bluffs, Pottawattamie County, Iowa, and to adopt the associated development plan, subject to the comments stated above and the following condition:

- A. Any modifications to the approved development plan which substantially alter the design, layout, configuration, and/or appearance of the project shall be reviewed the City Planning Commission and approved by City Council prior to such changes being made. All minor modifications to the adopted development plan may be administratively approved by the Community Development Director.

**Attachments**

- Attachment A: Location/Zoning Map
- Attachment B: Plot Plan
- Attachment C: Building Plans
- Attachment D: Architectural Rendering

Prepared by: Moises Monrroy, Planner, Community Development Department

# CITY OF COUNCIL BLUFFS - CITY PLANNING COMMISSION CASE #PR-23-006 LOCATION/ZONING MAP

### Legend

 Subject Property

0 30 60



1 Inch = 63 Feet



Last Amended: 10/19/2023



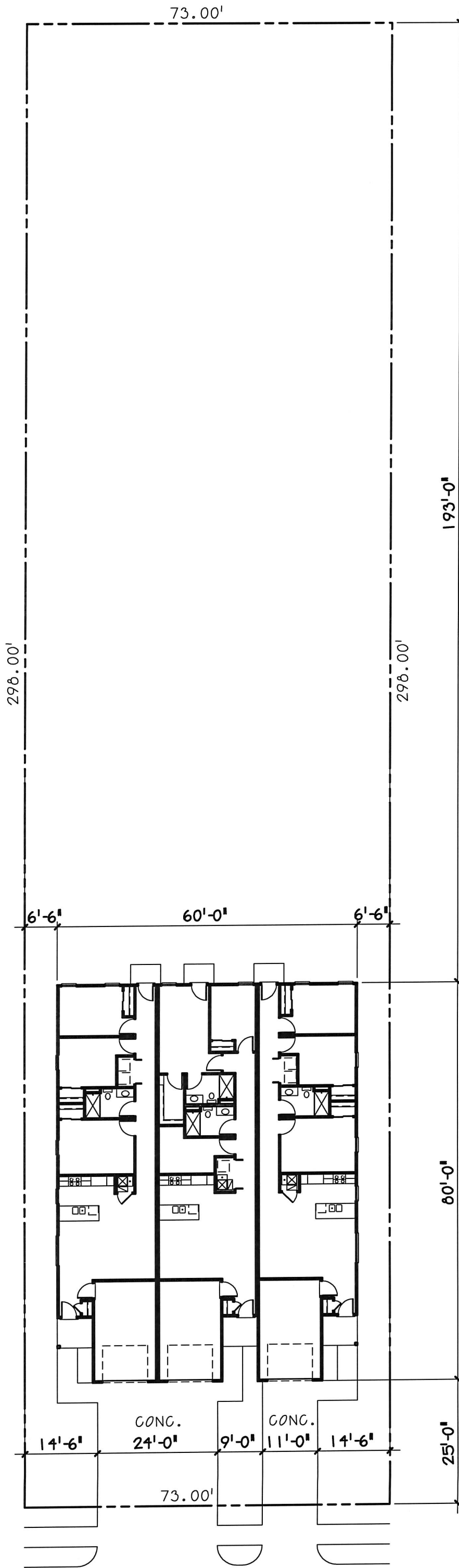
Council Bluffs Community  
Development Department  
209 Pearl Street  
Council Bluffs, IA 51503  
Telephone: (712) 890-5350

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# Attachment 'B'



**PLOT PLAN**

SCALE: 1" = 20'-0"

30

GENERAL NOTES & DESIGN CRITERIA

DESIGN LOADS:

- \* Floor: 40 psf. live 15 psf. dead
- \* Roof: 30 psf. live 10 psf. dead
- \* Ceiling: 10 psf. live 10 psf. dead
- \* Soil bearing Capacity - 1500 PSF
- \* Live loads, dead loads, wind loads, snow loads, lateral loads, seismic zoning and any specialty loading conditions will need to be confirmed before construction and adjustments to plans made accordingly. See your local building officials for verification of your specific load data, zoning restrictions and site conditions.

CONCRETE AND FOUNDATIONS:

- \* All foundation walls and slabs on grade shall be 3000 PSI (28-day compressive strength concrete), unless noted otherwise.
- \* All interior slabs on grade shall bear on 4" compacted granular fill with 6 mil. polyethylene vapor barrier underneath.
- \* Provide proper expansion and control joints as per local requirements.
- \* All 36" x 36" x 18" concrete pads to have (3) #5 rods each way.
- \* All 48" x 48" x 18" concrete pads to have (4) #5 rods each way.
- \* Foundation walls are not to be backfilled until properly braced.
- \* Verify depth of frost footings with your local codes.
- \* Provide termite protection as required by HUD minimum property standards.
- \* Foundation bolts must be anchored to sill plate with 1/2" bolts embedded 15" in concrete walls.

REBAR & BOLT SCHEDULE:

BAR SIZE AND SPACING	VERTICAL	HORIZONTAL
8" Wall thickness	#4 @ 16" o.c.	#5 @ 16" o.c.
10" Wall thickness (w-brick)	#4 @ 12" o.c.	#5 @ 16" o.c.

EXTERIOR FILL	BOLT SPACING
0" to 3'-6"	72" o.c.
3'-7" to 6'-0"	48" o.c.
6'-1" to 7'-0"	32" o.c.
Over 7'-0"	Additional engineering may be required

STEEL:

- \* All structural steel for beams and plates shall comply with ASTM specification A-36.
- \* All structural steel for steel columns shall comply with ASTM specification A-53 Grade B or A-501.
- \* All reinforcing steel for concrete shall comply with ASTM specification A-615 Grade 60.
- \* Provide steel shims in all beam pockets.
- \* Steel columns are to be 3" I.D. (inside diameter) unless noted otherwise.

FRAMING MEMBERS:

- \* Unless noted otherwise, all framing lumber shall have the following characteristics:  
Fb = 1,000 psi Fv = 75 psi E = 1,400,000 psi
- \* Contractor to confirm the size, spacing and stress characteristics of all framing and structural members to meet your local code requirements.
- \* Hole sizes and locations in GluLam or Laminated Veneered Lumber members are to be confirmed by a professional engineer.
- \* Any structural or framing members not indicated on the plan are to be sized by contractor.
- \* Double floor joists under all partition walls, unless noted otherwise.
- \* All subflooring is assumed to be 3/4" thick-Glued&Nailed
- \* All exterior walls are dimensioned to outside of 1/2" sheathing.
- \* All exterior walls are 4" (3 1/2" stud plus 1/2" sheathing), All interior walls are 3 1/2" unless otherwise shown.
- \* Calculated dimensions take precedence over scaled dimensions.
- \* All Main level walls are 9'-1 1/8" high unless otherwise noted or implied.
- \* All angled walls on floor plans are at 45 degree angle, unless otherwise noted.

FRAMING MEMBERS (continued):

- \* Any wall 12'-0" high or higher shall be 2x6 and balloon framed.
- \* Unless noted otherwise, above all openings that are:  
(1) Load bearing and less than or equal to 3 ft. .... use 4x6.  
(2) Load bearing and more than 3 ft. .... use (2) 2x12 w/1/2" Plywood between.  
(3) Non-load bearing and less than or equal to 6 ft. .... use 4x6.  
(4) Non-load bearing and more than 6 ft. .... use (2) 2x12 w/1/2" Plywood between.
- (5) All exterior openings use (2) 2x12 w/1/2" Plywood between.
- \* All trusses to be engineered by truss manufacturer according to the loading indicated on this plan.
- \* All exterior corners shall be braced in each direction with let-in diagonal bracing or plywood.
- \* Place (1) row of 1" x 3" cross-bridging on all spans over 8'-0" and (2) rows of 1" x 3" cross-bridging on all spans over 16'-0".
- \* Collar ties are to be spaced 4'-0" o.c.
- \* All purlins and kickers are to be 2x6's, unless noted otherwise.
- \* Any hip or valley rafters over a 28'-0" span are to be Laminated Veneer Lumber (L.V.L.).

MISC. NOTES:

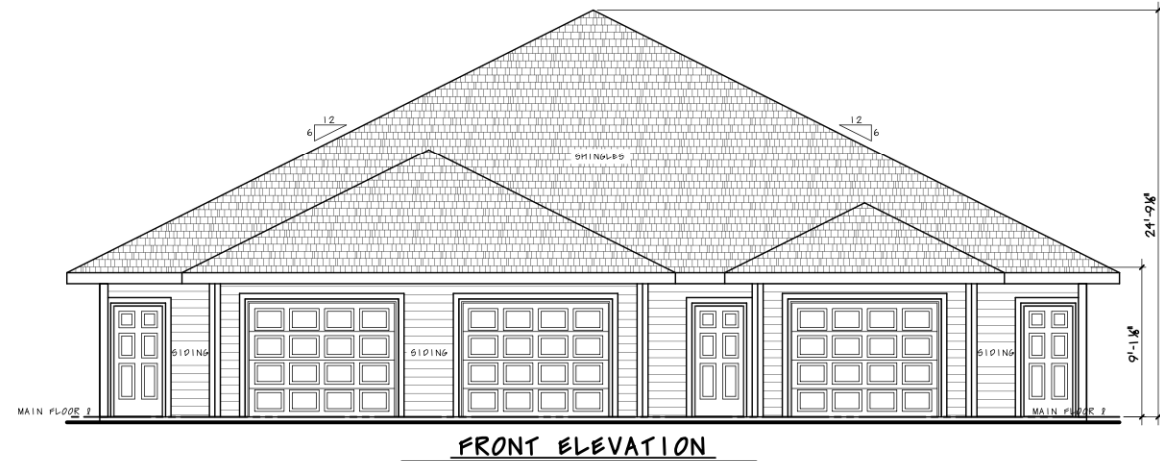
- \* Prefabricated fireplaces and flues are to be U.L. approved and installed as per manufacturer's specifications.
- \* All materials, supplies and equipment to be installed as per manufacturer's specifications and as per local codes and requirements.
- \* Note: Provide proper insulation for all plumbing.
- \* 1/2" water-resistant drywall around showers, tubs and whirlpools.
- \* 1/2" drywall on interior walls and ceilings.
- \* 5/8" type "X" fire code drywall on garage walls and ceilings.
- \* Windows are called out by glass size only.
- \* Windows, if not noted, are assumed to be casements.
- \* Header heights are labeled to bottom of arched transoms
- \* Confirm window openings for your local egress requirements and minimum light and ventilation requirements.
- \* Headroom at stairs shall have a minimum clearance of 6'-8" high.
- \* Provide proper handrails at stairs as per local code.
- \* The mechanical and electrical layouts are suggested only. Consult your mechanical and electrical contractors for exact specifications, locations and sizes.
- \* Jog flue to rear of ridge as necessary.
- \* Note: Provide proper wiring for all electrical appliances, mechanical equipment and whirlpools as per manufacturer's specifications.
- \* All air conditioner locations may vary depending on restrictive covenants and codes.
- \* Typical overhang sizes unless noted otherwise on drawing are as follows:  
On pitches of 4/12 - 5/12 - 6/12 = 24" overhang  
7/12 = 20" overhang  
8/12 = 16" overhang  
9/12 = 16" overhang  
10/12 - 11/12 - 12/12 = 12" overhang
- \* Note: Adjust overhangs to provide clearance for windows to open. Adjust overhangs to maintain a consistent level when the plans call for (2) different pitches at a hip.
- \* Minor alterations to this plan can be made by builder. Please contact our drafting department for information and price quotes if major changes are required.
- \* Plan Pros, Inc. determines finished square footage by measuring to the outside of all walls. We include: interior fireplaces and every location in which the floor joists project from the foundation. We do not include: window boxes where the floor joists do not project from the foundation; 2-story entries; exterior fireplaces; garage; decks; patios; porches; unfinished storage areas; basements or any other unfinished areas.

ABBREVIATIONS

A/C	Air Conditioner	DISH	Dishwasher	INSUL	Insulation	PROJ	Projection	TRAP	Trap
ADJ	Adjustable	DN	Down	INT	Interior	RAD	Radius	U.L.	Underlayment
AWN	Awning	DRY	Dryer	JST	Joist	RAFTS	Rafters	UNEX	Unexcavated
BLDG	Building	EA	Each	LVL	Laminated Veneer Lumber	REFRIG	Refrigerator	WASH	Washer
BSMT	Basement	ENT	Entertainment	LIN	Line	RM	Room	WD	Wood
BTM	Bottom	EXP	Exposure	MAX	Maximum	SEC	Second	WH	Water Heater
BTW	Between	EXT	Exterior	MSR	Master Bedroom	SHWR	Shower	W.W.M.	Welded Wire Mesh
CANT	Cantilever	FIN	Finished	MICRO	Microwave	S.L.	Side Lite	@	At
C.J.	Ceiling Joist	F.J.	Floor Joist	MIN	Minimum	SPP	Sump Pump Pit	Line	Line
CLG	Ceiling	FLUOR	Fluorescent	MISC	Miscellaneous	STA	Stationary	2W	Two Wide
CEIL	Ceiling	FTG	Footing	O.C.	On Center	STD	Standard	3W	Three Wide
CMU	Concrete Masonry Unit	GALV	Galvanized	O.H.D.	Overhead Door	STL	Steel	4W	Four Wide
C.O.	Cased Opening	GARB	Garbage Disposal	OPNG	Opening	STRUCT	Structural	Center Line	Center Line
CONC	Concrete	G & N	Glued & Nailed	PC	Pull Chord	T.C.	Trash Compactor	W	With
DBL	Double	G.L.	GluLam Header	PICT	Picture	T & G	Tongue & Groove	Diameter	Diameter
DH	Double Hung	HDR	Header	POLY	Polyethylene	TRANS	Transom		

ARTIST CONCEPTION ONLY

ARTWORK NOT TO SCALE



SYMBOLS

Detail Number	Wood Frame Wall	Furnace
Section Number	Concrete	Flue & Duct
Direction of Section	Brick or Stone	Floor Drain
Square Footage	Earth	Supply Air (Floor)
Roof Pitch Ratio	Granular or Gravel Fill	Supply Air (Ceiling)
Ceiling Pattern	Batt Insulation	Shower Head
Roof Louver	Blown Insulation	Silcock
	Minimum 3"x3" Solid Bearing or to Match the width of Bearing	
	Silcock	

ELECTRICAL LEGEND

110V OUTLET	FLOOD LIGHT
HALF SWITCHED 110V OUTLET	FLUORESCENT LIGHT
220V OUTLET	TRACK LIGHT
WEATHERPROOF 110V OUTLET	UNDER COUNTER LIGHT
GROUND FAULT 110 V. OUTLET	EXHAUST FAN
FLOOR 110V OUTLET	EXHAUST FAN/LIGHT COMBO
SURFACE MOUNT LIGHT	PADDLE FAN/LIGHT FIXTURE
RECESSED CAN LIGHT	PADDLE FAN
WALL MOUNT LIGHT	SMOKE DETECTOR (WALL)
PULL-CORD SURFACE MOUNT LIGHT	SMOKE DETECTOR (CEILING)
THERMOSTAT	TWO-WAY SWITCH
CHIMES	THREE-WAY SWITCH
	FOUR-WAY SWITCH

NOTE: WIRE SMOKE DETECTORS IN SERIES

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1-402-210-4369

1247 PLAN  
Revised: 9-27-23

Plan No.

Sheet No.

1



**REAR ELEVATION**

SCALE: 1/4" = 1'-0"



**FRONT ELEVATION**

SCALE: 1/4" = 1'-0"

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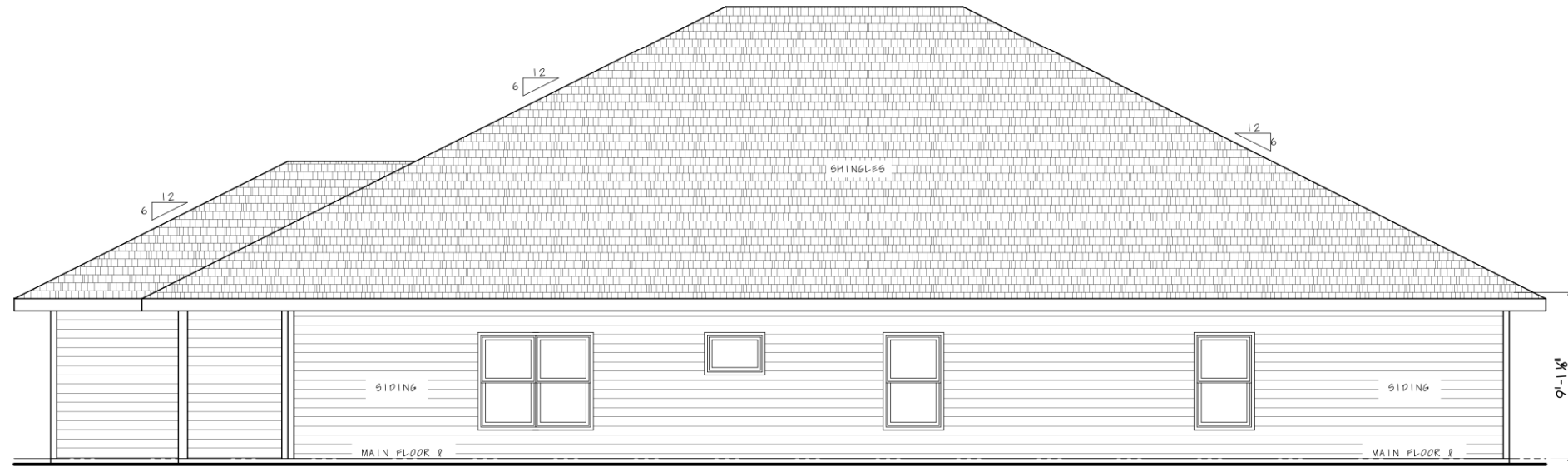
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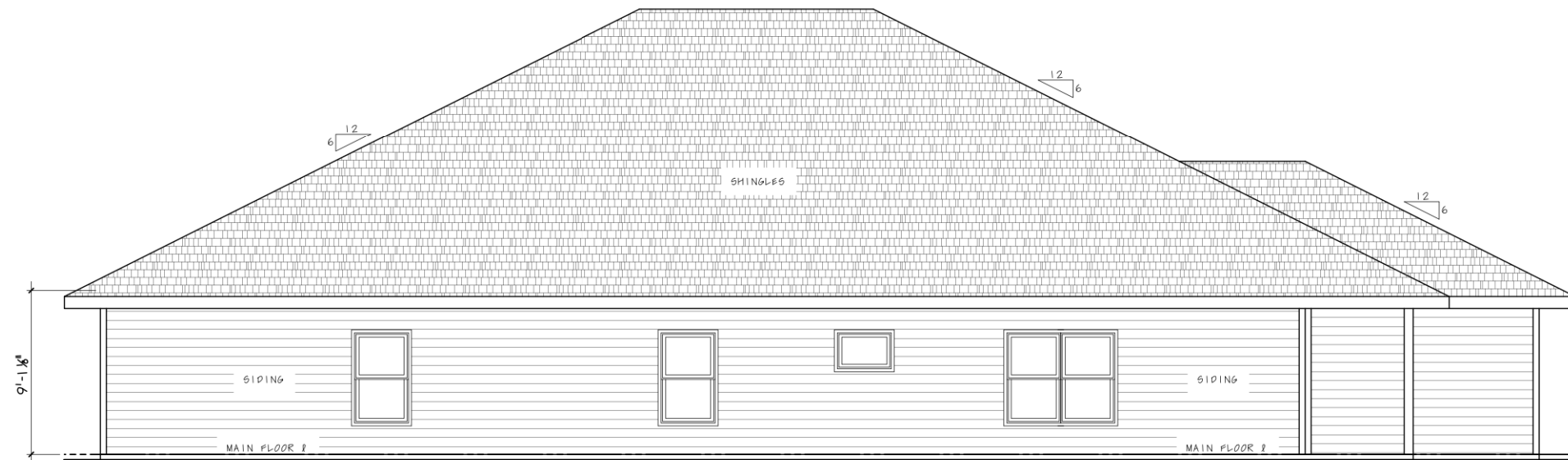
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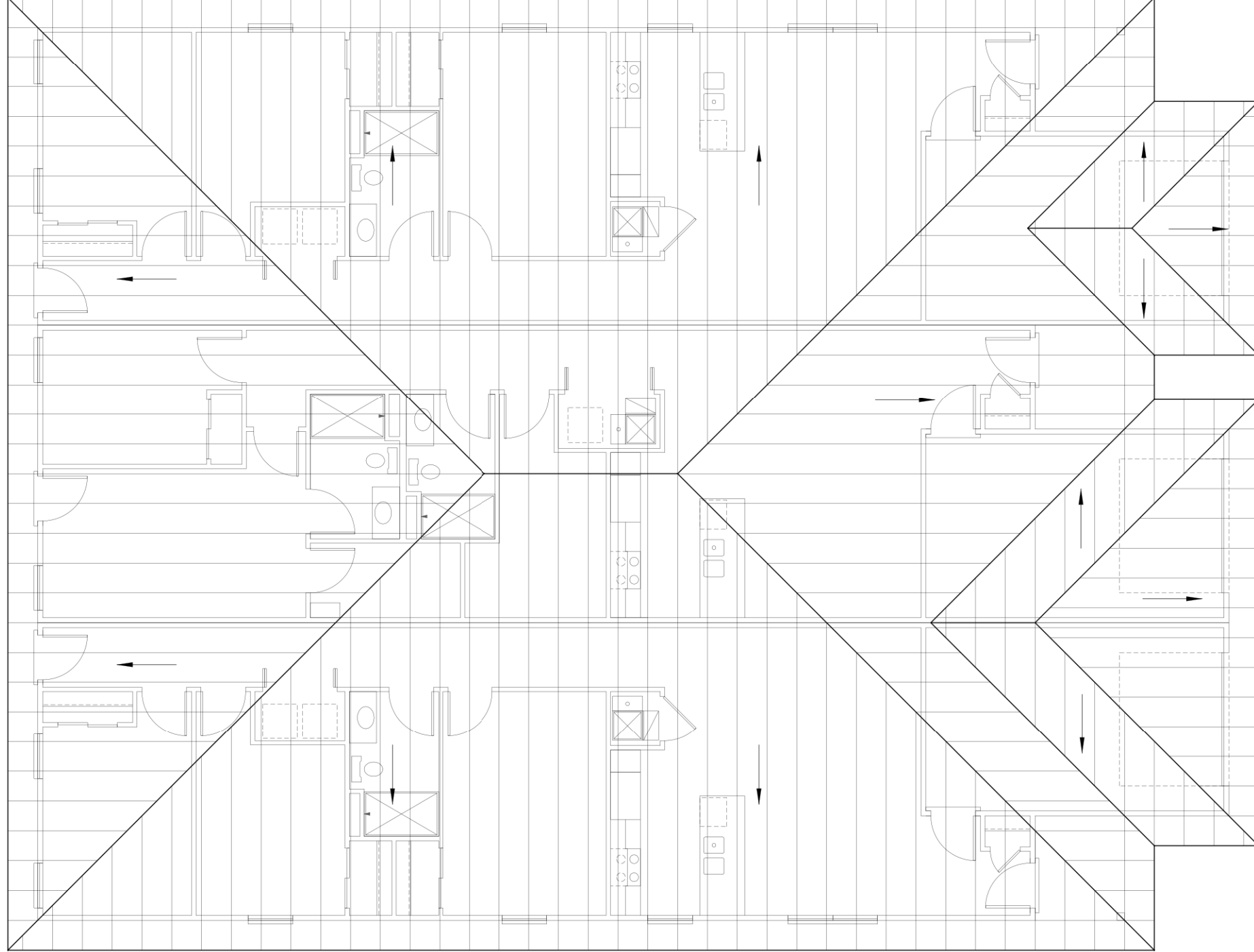
**RIGHT SIDE ELEVATION**

SCALE: 1/4" = 1'-0"



**LEFT SIDE ELEVATION**

SCALE: 1/4" = 1'-0"



**ROOF PLAN**

SCALE: 1/4" = 1'-0"

NOTES: ALL ROOF PITCHES ARE 6/12 UNLESS NOTED OTHERWISE

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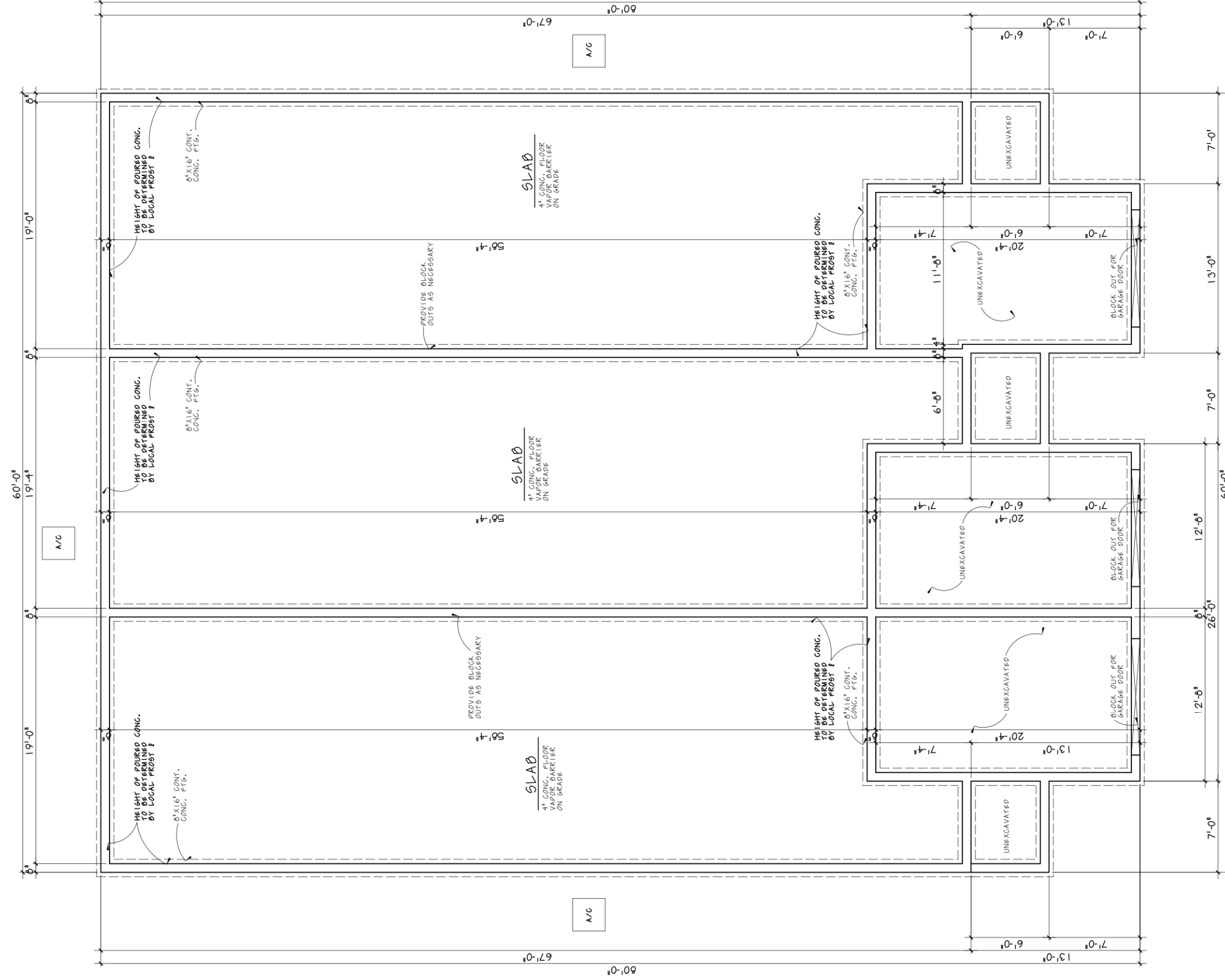
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**4**



**FOUNDATION PLAN**

SCALE: 1/4" = 1'-0"

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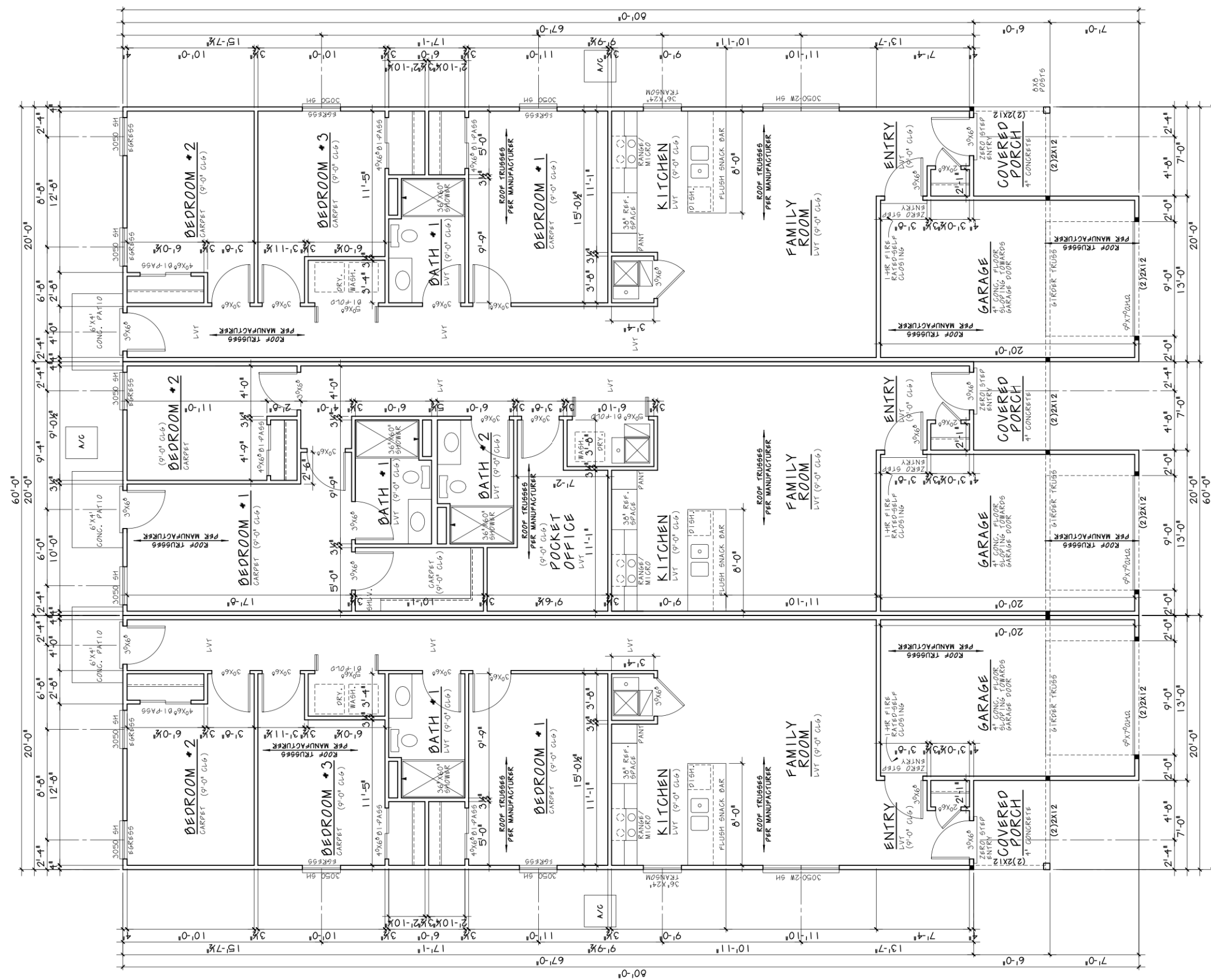
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Sheet No.

**5**



MAIN LEVEL FLOOR PLAN  
SCALE: 1/4" = 1'-0"

MAIN LEVEL	1247 d	262 d
MAIN LEVEL	1247 d	262 d
MAIN LEVEL	1247 d	262 d

NOTE: ALL MAIN FLOOR WALLS ARE 9'-1 1/2" HIGH UNLESS NOTED OTHERWISE

NOTE: ALL EXTERIOR WALLS ARE 4" CMU STUD SHEATHING ALL INTERIOR WALLS ARE 3/4" UNLESS OTHERWISE SHOWN

NOTE: ALL ANGELED WALLS ARE @ 15°

NOTE: ALL EXTERIOR WALLS ARE CONTINUOUSLY SHEATHED WITH G.S.D. SHEETING, BRACED WALL PANELS AS PER 2010 IRC R602.1.2 AND TABLE R602.10.5

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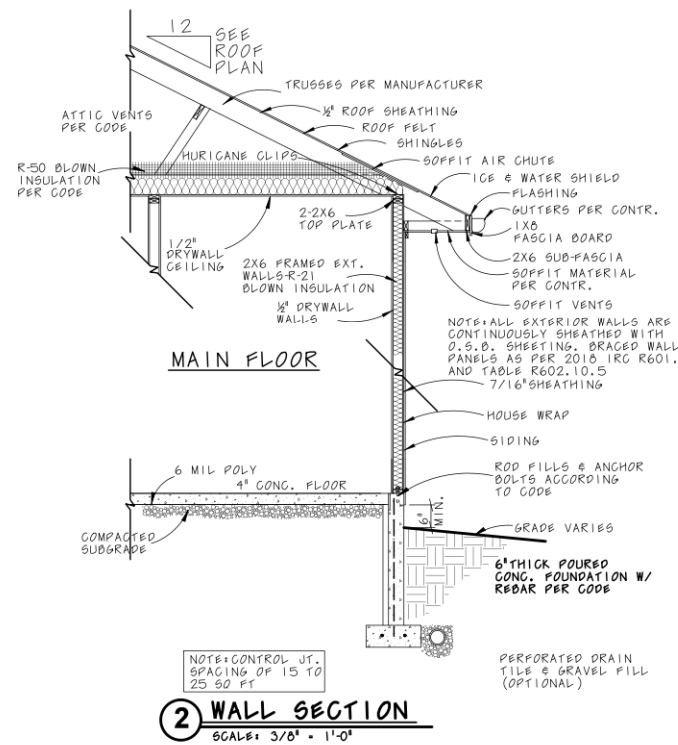
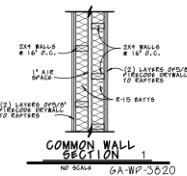
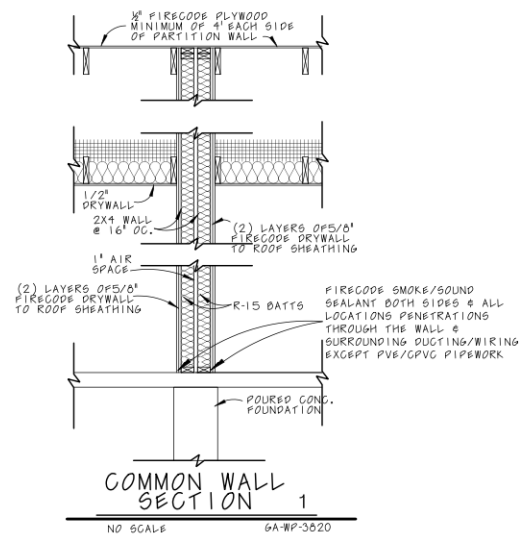
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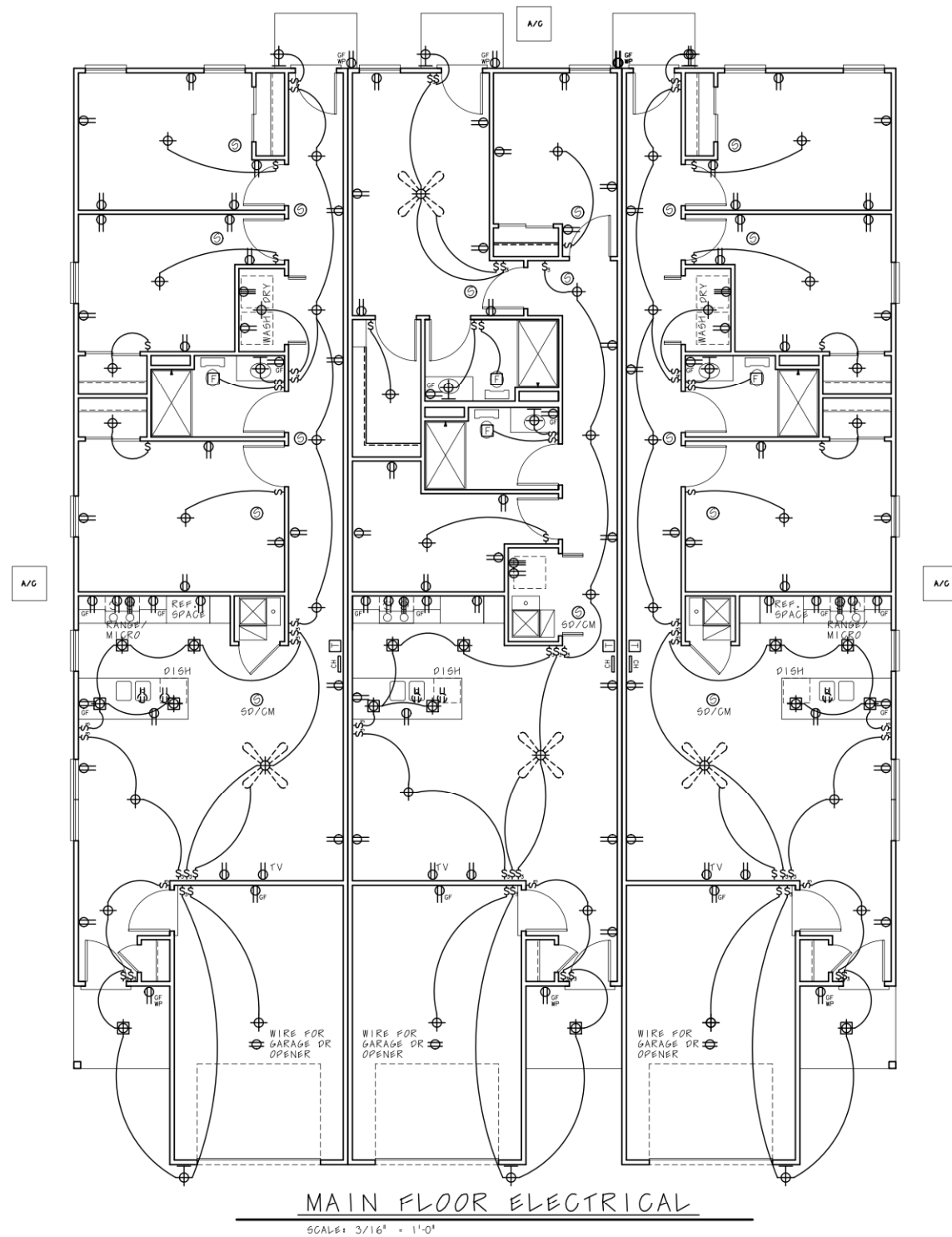
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GENERAL ELECTRICAL LEGEND			
SYM.	DESCRIPTION	SYM.	DESCRIPTION
	110 V. OUTLET		FLOOD LIGHT
	HALF SWITCHED 110 V. OUTLET		FLUORESCENT LIGHT
	220 V. OUTLET		TRACK LIGHT
	WEATHERPROOF 110 V. OUTLET		UNDER COUNTER LIGHT
	GROUND FAULT 110 V. OUTLET		EXHAUST FAN
	FLOOR 110 V. OUTLET		EXHAUST FAN/LIGHT COMB.
	SURFACE MOUNT LIGHT		PADDLE FAN/LIGHT FIXTURE
	RECESSED CAN LIGHT		PADDLE FAN
	WALL MOUNT LIGHT		SMOKE DETECTOR (WALL)
	PULL-CORD SURFACE MOUNT LIGHT		SMOKE DETECTOR (CEILING)
	THERMOSTAT		SMOKE DETECTOR (CEILING) CARBON MONOXIDE DETECTOR
	CHIMES		TWO-WAY SWITCH
	TELEPHONE		THREE-WAY SWITCH
	HEAT LAMP		FOUR-WAY SWITCH

NOTE: WIRE SMOKE DETECTORS IN SERIES



**Attachment 'D'**

