

Planning Commission Communication

Department: Community Development CASE #PR-23-006 Applicant/Property Owner: Jamie Augustine 8129 Fort Street Omaha, NE 68134	Ordinance No. _____ Resolution No. _____	Planning Commission: 11/14/2023
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Subject/Title

Request: Public hearing on the request of Jamie Augustine to append a planned residential overlay onto property legally described as Lot 65, City Acres, City of Council Bluffs, Pottawattamie County, Iowa, and to adopt the associated development plan.

Location: 2637 Avenue ‘L’

Background/Discussion

The Community Development Department has received a request from Jamie Augustine to append a planned residential overlay onto property legally described as Lot 65, City Acres, City of Council Bluffs, Pottawattamie County, Iowa, and to adopt the associated development plan. The purpose of this request is to allow the applicant to construct a three-unit residential structure on the subject property, which is zoned R-1/Single-Family Residential District.

The applicant acquired the subject property earlier this year. Subsequently, the applicant submitted a request to append a planned residential overlay onto the subject property in order to construct two single-family dwellings on one parcel of land, but withdrew his application prior to the meeting with the City Planning Commission. The applicant is now proposing to build a three-unit residential structure on the subject property. The proposed structure would be considered a ‘townhouse dwelling,’ which is defined in Section 15.03.236 of the Council Bluffs Municipal Code (Zoning Ordinance) as “*a series of attached single-family dwellings separated by exterior quality walls or a common wall between units as required by Council Bluffs Building Code, except that the minimum number of abutting dwelling units in any townhouse series shall be three. Each dwelling shall front wholly and directly on a public street, or upon a courtyard or way through which the owner of the townhouse dwelling unit has legally guaranteed ingress and egress to a public street.*” The subject property had been previously developed as ‘single-family dwelling, detached.’ The proposed townhouse will be one story tall and have a slab foundation. Each dwelling unit will contain a one-stall, front-loaded attached garage with direct access onto Avenue ‘L.’

A ‘townhouse dwelling’ is not a permitted use in the R-1 District. As per Section 15.28.020 of the Council Bluffs Municipal Code (Zoning Ordinance), a PR-2 Overlay for site-specific infill development may be applied to any property zoned R-1, R-1E, R-2, R-3, or R-4 if it contains no more than 1 ½ acres of total land area and includes one of the following:

- A minimum of two (2) residential structures.
- **A minimum of one (1) residential structure that contains a minimum of three (3) dwelling units.**
- A minimum of one (1) mixed commercial-residential structure.

The proposed planned residential overlay would allow the applicant to construct a ‘townhouse dwelling’ on the subject property.

Property Owner Notification – Public notices were mailed to all property owners within 200 feet of the request. The Community Development Department received the following comment:

- A. Penny Farrell, owner of 2623 Avenue ‘L,’ stated she is opposed to the request as she is concerned there is not sufficient space at this site to accommodate an adequate amount of off-street parking for three dwelling units. Mrs. Farrell also expressed concern regarding the amount of traffic that could be generated as a result of the construction of the proposed townhouse. Mrs. Farrell stated she is also concerned the development will have an adverse impact on her privacy if the proposed townhouse is located on the south side of the subject property. The Community Development Department explained the proposed townhouse would be located 25 feet from the front property line, which would be consistent with existing development in the surrounding area. Additionally, property addressed at 2627 Avenue ‘L’ separates the subject property and Mrs. Farrell’s residence, thus visibility into her property from the proposed townhouse should be minimal. Mrs. Farrell stated the subject property should only be developed with a single-family dwelling.
- B. The public notice mailed to Clarence A. and Leanna McDonald (2626 Avenue ‘J’) was returned as undeliverable.

City Departments and Utilities – All appropriate City departments and utilities were notified of the proposed planned residential overlay. The following comments were received:

- A. The Council Bluffs Public Works Department stated the applicant will be required to install a sidewalk adjacent to Avenue ‘L.’
- B. The Council Bluffs Parks and Recreation Department stated they have no comments or concerns regarding the request.
- C. The Council Bluffs Police Department stated they have no comments or objections regarding the request.
- D. The Council Bluffs Fire Department stated they have no comments on the request.
- E. Council Bluffs Water Works stated they have no comments on the request.

Planned Residential Development Plan – Section 15.28.010, Statement of Intent, PR/Planned Residential Overlay, of the Council Bluffs Municipal Code (Zoning Ordinance) states that “*the Planned Residential Overlay is established to permit flexibility in the use and design of structures and land in situations where conventional development may be inappropriate and where modifications of requirements of the underlying zone would not be inconsistent with the comprehensive plan or harmful to the surrounding neighborhoods.*” The purpose of this request is to allow the applicant to construct a three-unit residential structure on the subject property, which is zoned R-1/Single-Family Residential District.

A. Site Development

- 1. In order to maintain a consistent street wall that enhances pedestrian interest and maintains the aesthetic quality of the area, the proposed homes shall be built within a build-to zone defined by a minimum front yard setback of 20 feet and a maximum front yard setback of 30 feet.
 - a. The submitted plot plan (see Attachment ‘B’) shows the proposed townhouse will have a front yard setback of 25 feet.

2. The minimum required interior side yard setback for the proposed townhouse shall be five feet.
 - a. The submitted plot plan (see Attachment 'B') shows the proposed townhouse will have an interior side yard setback of six and a half feet.
3. All principal and accessory structures shall comply with all other site development standards (i.e., rear yard setback, building height, and lot coverage) in Section 15.08B.050, Site Development Regulations, R-1/Single-Family Residential District, of the Municipal Code (Zoning Ordinance).
 - a. The submitted plot plan (see Attachment 'B') shows the proposed townhouse will have a rear yard setback of 193 feet.
 - b. The submitted floor plan (see Attachment 'C') shows the proposed townhouse will comply with R-1 District lot coverage requirements.
 - c. The submitted building elevations (see Attachment 'C') show the proposed townhouse will measure approximately 25 feet in height, and thus will not exceed the maximum height allowed for principal structures in the R-1 District.
4. Building features may project into required yards to the extent and under the conditions and limitations in Section 15.24.060, Yard Exceptions and Permitted Intrusions into Required Yards, of the Council Bluffs Municipal Code (Zoning Ordinance).
5. All fences and walls shall be installed in accordance with Section 15.24.040, Fence Regulations, of the Council Bluffs Municipal Code (Zoning Ordinance).
6. All site lighting shall comply with the standards in Section 15.24.050, Lighting Controls, of the Council Bluffs Municipal Code (Zoning Ordinance).

B. Off-Street Parking

1. The required number of off-street parking spaces for the proposed townhouse shall be based on the standards in Section 15.23.060, Parking Spaces Required, of the Municipal Code (Zoning Ordinance).
 - a. A minimum of six parking spaces will be required for the proposed townhouse. Each unit will have a one-stall attached garage, which would not provide the required amount of off-street parking for the development. In order to meet minimum off-street parking requirements, the driveways shall be included in the total parking count for the development.
2. All parking/loading areas, driveways and drive aisles shall comply with the standards in Chapter 15.23, Off-Street Parking, Loading and Unloading, of the Council Bluffs Municipal Code (Zoning Ordinance).

C. Landscaping

1. The applicant did not provide a landscaping plan for the proposed development. The Community Development Department recommends that a total of two street trees be planted at this site prior to the issuance of the Certificate of Occupancy for the proposed townhouse. Required street trees shall be generally evenly spaced apart along the entire length of the frontage.
2. All tree species planted along the frontage of a public right-of-way shall comply with the Council Bluffs Street Tree Guide and be reviewed and approved by the City prior to installation.

D. Architecture

1. The submitted building elevations show the proposed townhouse will be one story tall with a slab foundation and front-loaded garages, and will be primarily constructed out of siding. To enhance the architectural design of the proposed townhouse and maintain the appearance of the surrounding area through the use of high quality, durable materials, the Community Development Department recommends that a minimum of 10% of the front façade be made of brick, stone or tile. Masonry materials shall be located primarily along the base of the building.

E. Signage

1. A signage plan was not submitted with the development plan. Only exempt signs and temporary signs shall be permitted on the subject property, in accordance with Sections 15.33.080 and 15.33.090 of the Council Bluffs Municipal Code (Zoning Ordinance).

Recommendation

The Community Development Department recommends approval of the request to append a planned residential overlay onto property legally described as Lot 65, City Acres, City of Council Bluffs, Pottawattamie County, Iowa, and to adopt the associated development plan, subject to the comments stated above and the following condition:

- A. Any modifications to the approved development plan which substantially alter the design, layout, configuration, and/or appearance of the project shall be reviewed the City Planning Commission and approved by City Council prior to such changes being made. All minor modifications to the adopted development plan may be administratively approved by the Community Development Director.

Attachments

- Attachment A: Location/Zoning Map
- Attachment B: Plot Plan
- Attachment C: Building Plans
- Attachment D: Architectural Rendering

Prepared by: Moises Monrroy, Planner, Community Development Department

CITY OF COUNCIL BLUFFS - CITY PLANNING COMMISSION CASE #PR-23-006 LOCATION/ZONING MAP

Legend

 Subject Property

0 30 60



1 Inch = 63 Feet



Last Amended: 10/19/2023



Council Bluffs Community
Development Department
209 Pearl Street
Council Bluffs, IA 51503
Telephone: (712) 890-5350

DISCLAIMER

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Attachment 'C'

GENERAL NOTES & DESIGN CRITERIA

DESIGN LOADS:

- * Floor: 40 psf. live 15 psf. dead
- * Roof: 30 psf. live 10 psf. dead
- * Ceiling: 10 psf. live 10 psf. dead
- * Soil bearing Capacity - 1500 PSF
- * Live loads, dead loads, wind loads, snow loads, lateral loads, seismic zoning and any specialty loading conditions will need to be confirmed before construction and adjustments to plans made accordingly. See your local building officials for verification of your specific load data, zoning restrictions and site conditions.

CONCRETE AND FOUNDATIONS:

- * All foundation walls and slabs on grade shall be 3000 PSI (28-day compressive strength concrete), unless noted otherwise.
- * All interior slabs on grade shall bear on 4" compacted granular fill with 6 mil. polyethylene vapor barrier underneath.
- * Provide proper expansion and control joints as per local requirements.
- * All 36" x 36" x 18" concrete pads to have (3) #5 rods each way.
- * All 48" x 48" x 18" concrete pads to have (4) #5 rods each way.
- * Foundation walls are not to be backfilled until properly braced.
- * Verify depth of frost footings with your local codes.
- * Provide termite protection as required by HUD minimum property standards.
- * Foundation bolts must be anchored to sill plate with 1/2" bolts embedded 15" in concrete walls.

REBAR & BOLT SCHEDULE:

BAR SIZE AND SPACING	VERTICAL	HORIZONTAL
8" Wall thickness	#4 @ 16" o.c.	#5 @ 16" o.c.
10" Wall thickness (w-brick)	#4 @ 12" o.c.	#5 @ 16" o.c.

EXTERIOR FILL	BOLT SPACING
0" to 3'-6"	72" o.c.
3'-7" to 6'-0"	48" o.c.
6'-1" to 7'-0"	32" o.c.
Over 7'-0"	Additional engineering may be required

STEEL:

- * All structural steel for beams and plates shall comply with ASTM specification A-36.
- * All structural steel for steel columns shall comply with ASTM specification A-53 Grade B or A-501.
- * All reinforcing steel for concrete shall comply with ASTM specification A-615 Grade 60.
- * Provide steel shims in all beam pockets.
- * Steel columns are to be 3" I.D. (inside diameter) unless noted otherwise.

FRAMING MEMBERS:

- * Unless noted otherwise, all framing lumber shall have the following characteristics:
Fb = 1,000 psi Fv = 75 psi E = 1,400,000 psi
- * Contractor to confirm the size, spacing and stress characteristics of all framing and structural members to meet your local code requirements.
- * Hole sizes and locations in GluLam or Laminated Veneered Lumber members are to be confirmed by a professional engineer.
- * Any structural or framing members not indicated on the plan are to be sized by contractor.
- * Double floor joists under all partition walls, unless noted otherwise.
- * All subflooring is assumed to be 3/4" thick - Glued & Nailed
- * All exterior walls are dimensioned to outside of 1/2" sheathing.
- * All exterior walls are 4" (3 1/2" stud plus 1/2" sheathing), All interior walls are 3 1/2" unless otherwise shown.
- * Calculated dimensions take precedence over scaled dimensions.
- * All Main level walls are 9'-1 1/8" high unless otherwise noted or implied.
- * All angled walls on floor plans are at 45 degree angle, unless otherwise noted.

FRAMING MEMBERS (continued):

- * Any wall 12'-0" high or higher shall be 2x6 and balloon framed.
- * Unless noted otherwise, above all openings that are:
(1) Load bearing and less than or equal to 3 ft. use 4x6.
(2) Load bearing and more than 3 ft. use (2) 2x12 w/1/2" Plywood between.
(3) Non-load bearing and less than or equal to 6 ft. use 4x6.
(4) Non-load bearing and more than 6 ft. use (2) 2x12 w/1/2" Plywood between.
- (5) All exterior openings use (2) 2x12 w/1/2" Plywood between.
- * All trusses to be engineered by truss manufacturer according to the loading indicated on this plan.
- * All exterior corners shall be braced in each direction with let-in diagonal bracing or plywood.
- * Place (1) row of 1" x 3" cross-bridging on all spans over 8'-0" and (2) rows of 1" x 3" cross-bridging on all spans over 16'-0".
- * Collar ties are to be spaced 4'-0" o.c.
- * All purlins and kickers are to be 2x6's, unless noted otherwise.
- * Any hip or valley rafters over a 28'-0" span are to be Laminated Veneer Lumber (L.V.L.).

MISC. NOTES:

- * Prefabricated fireplaces and flues are to be U.L. approved and installed as per manufacturer's specifications.
- * All materials, supplies and equipment to be installed as per manufacturer's specifications and as per local codes and requirements.
- * Note: Provide proper insulation for all plumbing.
- * 1/2" water-resistant drywall around showers, tubs and whirlpools.
- * 1/2" drywall on interior walls and ceilings.
- * 5/8" type "X" fire code drywall on garage walls and ceilings.
- * Windows are called out by glass size only.
- * Windows, if not noted, are assumed to be casements.
- * Header heights are labeled to bottom of arched transoms
- * Confirm window openings for your local egress requirements and minimum light and ventilation requirements.
- * Headroom at stairs shall have a minimum clearance of 6'-8" high.
- * Provide proper handrails at stairs as per local code.
- * The mechanical and electrical layouts are suggested only. Consult your mechanical and electrical contractors for exact specifications, locations and sizes.
- * Jog flue to rear of ridge as necessary.
- * Note: Provide proper wiring for all electrical appliances, mechanical equipment and whirlpools as per manufacturer's specifications.
- * All air conditioner locations may vary depending on restrictive covenants and codes.
- * Typical overhang sizes unless noted otherwise on drawing are as follows:
On pitches of 4/12 - 5/12 - 6/12 = 24" overhang
7/12 = 20" overhang
8/12 = 16" overhang
9/12 = 16" overhang
10/12 - 11/12 - 12/12 = 12" overhang
- * Note: Adjust overhangs to provide clearance for windows to open. Adjust overhangs to maintain a consistent level when the plans call for (2) different pitches at a hip.
- * Minor alterations to this plan can be made by builder. Please contact our drafting department for information and price quotes if major changes are required.
- * Plan Pros, Inc. determines finished square footage by measuring to the outside of all walls. We include: interior fireplaces and every location in which the floor joists project from the foundation. We do not include: window boxes where the floor joists do not project from the foundation; 2-story entries; exterior fireplaces; garage; decks; patios; porches; unfinished storage areas; basements or any other unfinished areas.

ABBREVIATIONS

A/C	Air Conditioner	DISH	Dishwasher	INSUL	Insulation	PROJ	Projection	TRAP	Trap
ADJ	Adjustable	DN	Down	INT	Interior	RAD	Radius	U.L.	Underlayment
AWN	Awning	DRY	Dryer	JST	Joist	RAFTS	Rafters	UNEX	Unexcavated
BLDG	Building	EA	Each	LVL	Laminated Veneer Lumber	REFRIG	Refrigerator	WASH	Washer
BSMT	Basement	ENT	Entertainment	LIN	Line	RM	Room	WD	Wood
BTM	Bottom	EXP	Exposure	MAX	Maximum	SEC	Second	WH	Water Heater
BTW	Between	EXT	Exterior	MSR	Master Bedroom	SHWR	Shower	W.W.M.	Welded Wire Mesh
CANT	Cantilever	FIN	Finished	MICRO	Microwave	S.L.	Side Lite	@	At
C.J.	Ceiling Joist	F.J.	Floor Joist	MIN	Minimum	SPP	Sump Pump Pit	Line	Line
CLG	Ceiling	FLUOR	Fluorescent	MISC	Miscellaneous	STA	Stationary	2W	Two Wide
CEIL	Ceiling	FTG	Footing	O.C.	On Center	STD	Standard	3W	Three Wide
CMU	Concrete Masonry Unit	GALV	Galvanized	O.H.D.	Overhead Door	STL	Steel	4W	Four Wide
C.O.	Cased Opening	GARB	Garbage Disposal	OPNG	Opening	STRUCT	Structural	Center Line	Center Line
CONC	Concrete	G & N	Glued & Nailed	PC	Pull Chord	T.C.	Trash Compactor	W	With
DBL	Double	G.L.	GluLam Header	PICT	Picture	T & G	Tongue & Groove	Diameter	Diameter
DH	Double Hung	HDR	Header	POLY	Polyethylene	TRANS	Transom		

ARTIST CONCEPTION ONLY

ARTWORK NOT TO SCALE



FRONT ELEVATION

SYMBOLS

Detail Number	Wood Frame Wall	Furnace
Section Number	Concrete	Flue & Duct
Direction of Section	Brick or Stone	Floor Drain
Square Footage	Earth	Supply Air (Floor)
Roof Pitch Ratio	Granular or Gravel Fill	Supply Air (Ceiling)
Ceiling Pattern	Batt Insulation	Shower Head
Roof Louver	Blown Insulation	Silcock
	Minimum 3"x3" Solid Bearing or to Match the width of Bearing	
	Silcock	

ELECTRICAL LEGEND

110V OUTLET	FLOOD LIGHT
HALF SWITCHED 110V OUTLET	FLUORESCENT LIGHT
220V OUTLET	TRACK LIGHT
WEATHERPROOF 110V OUTLET	UNDER COUNTER LIGHT
GROUND FAULT 110 V. OUTLET	EXHAUST FAN
FLOOR 110V OUTLET	EXHAUST FAN/LIGHT COMBO
SURFACE MOUNT LIGHT	PADDLE FAN/LIGHT FIXTURE
RECESSED CAN LIGHT	PADDLE FAN
WALL MOUNT LIGHT	SMOKE DETECTOR (WALL)
PULL-CORD SURFACE MOUNT LIGHT	SMOKE DETECTOR (CEILING)
THERMOSTAT	TWO-WAY SWITCH
CHIMES	THREE-WAY SWITCH
	FOUR-WAY SWITCH

NOTE: WIRE SMOKE DETECTORS IN SERIES

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1247 PLAN
Revised: 9-27-23

Plan No.

Sheet No.

1

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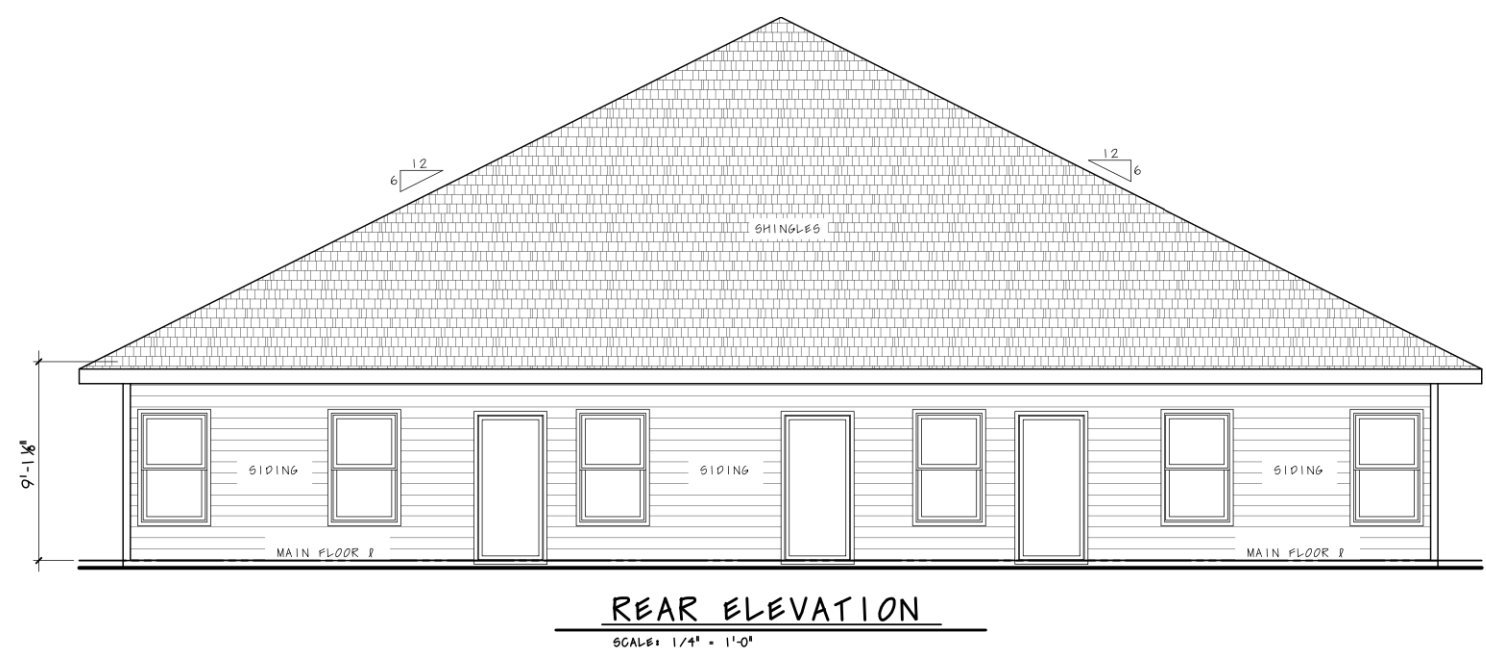
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REAR ELEVATION

SCALE: 1/4" = 1'-0"



FRONT ELEVATION

SCALE: 1/4" = 1'-0"

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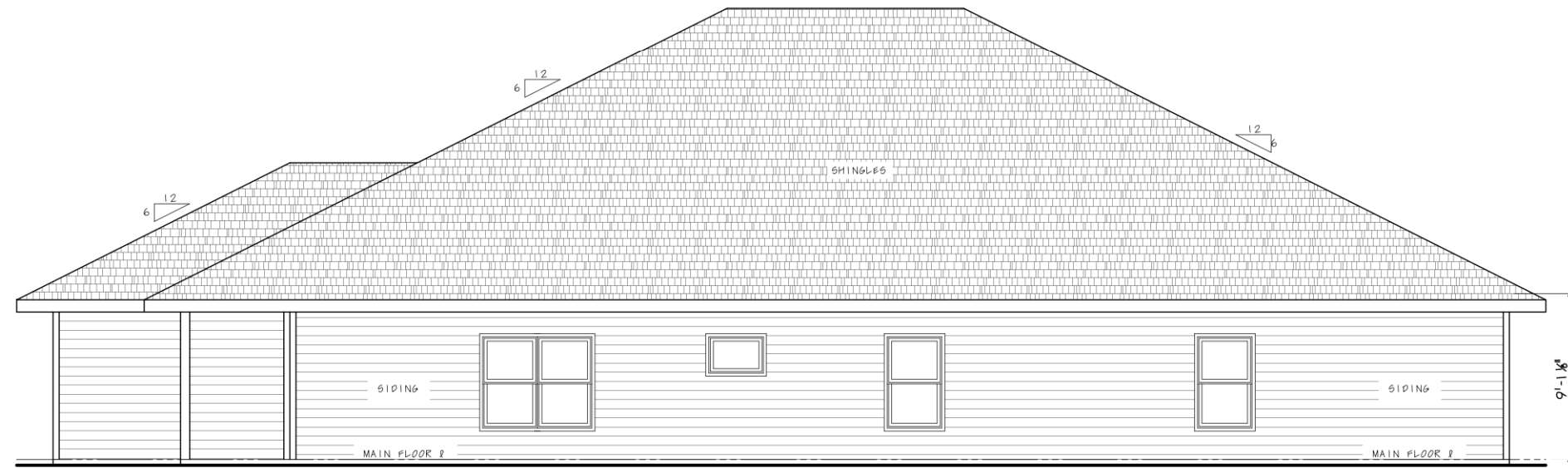
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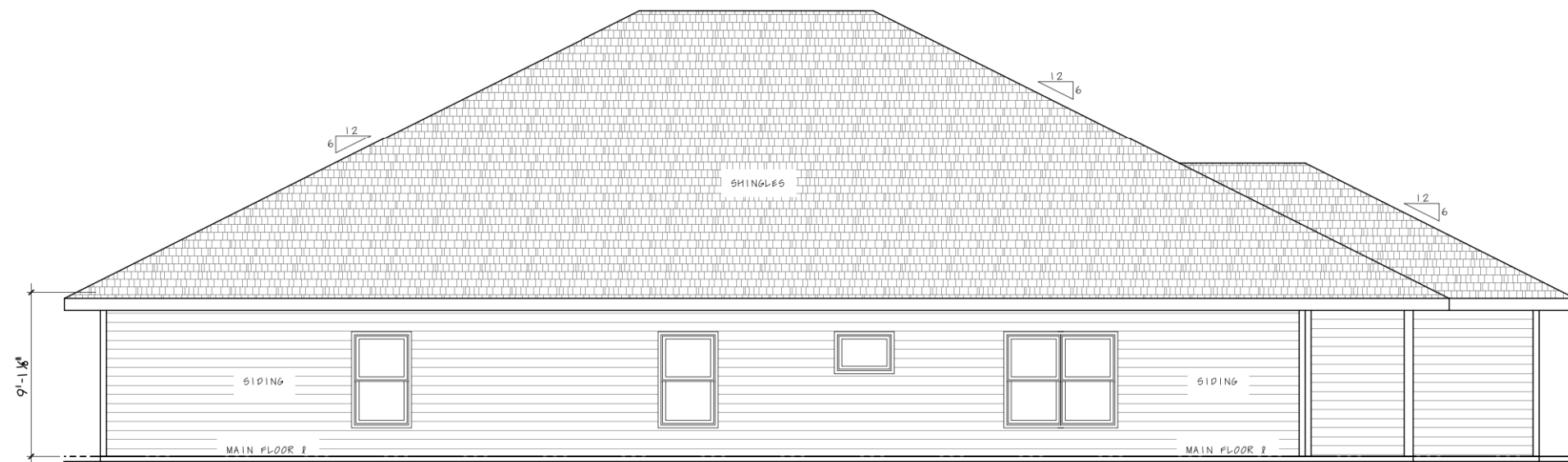
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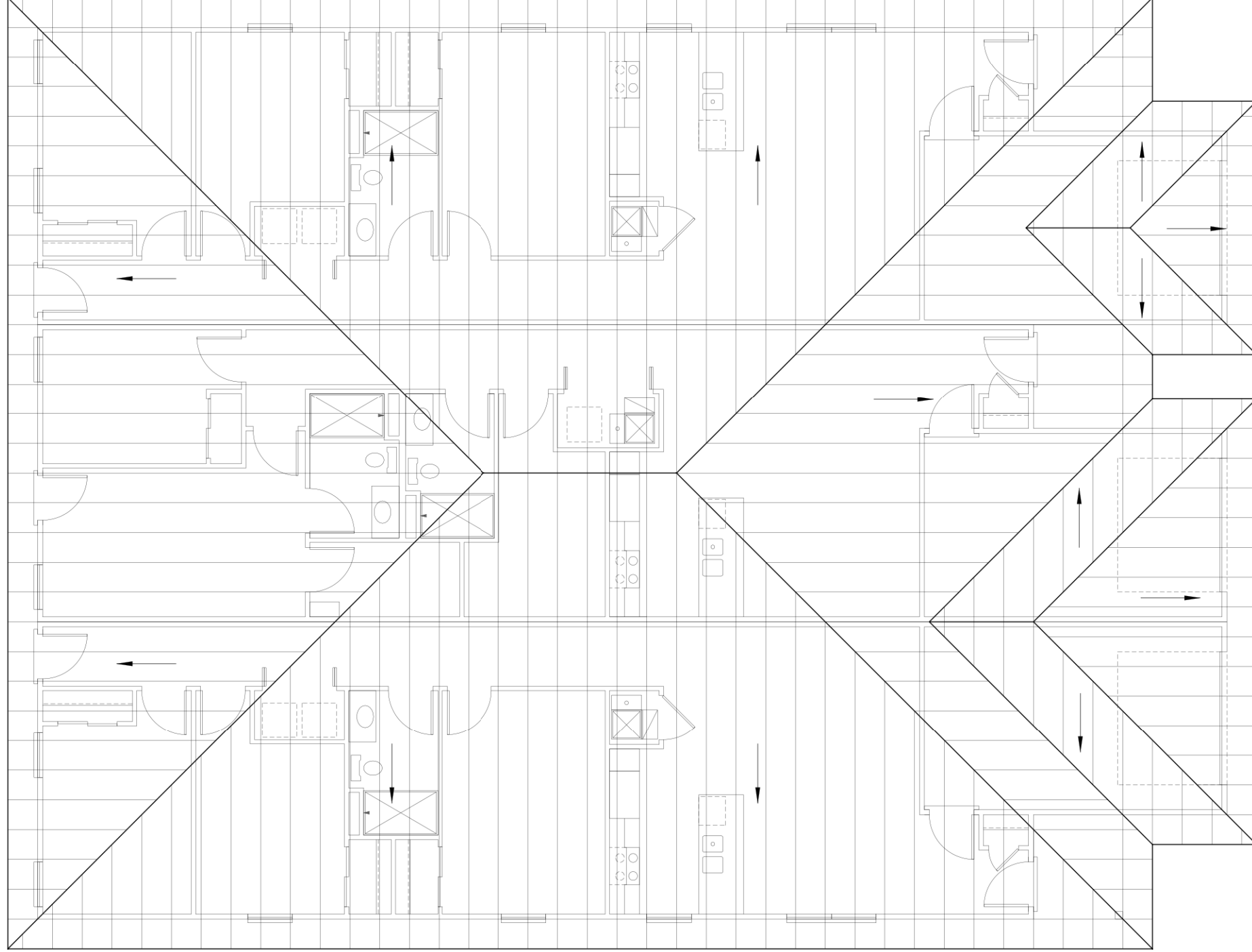
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RIGHT SIDE ELEVATION
 SCALE: 1/4" = 1'-0"



LEFT SIDE ELEVATION
 SCALE: 1/4" = 1'-0"



ROOF PLAN

SCALE: 1/4" = 1'-0"

NOTES: ALL ROOF PITCHES ARE 6/12 UNLESS NOTED OTHERWISE

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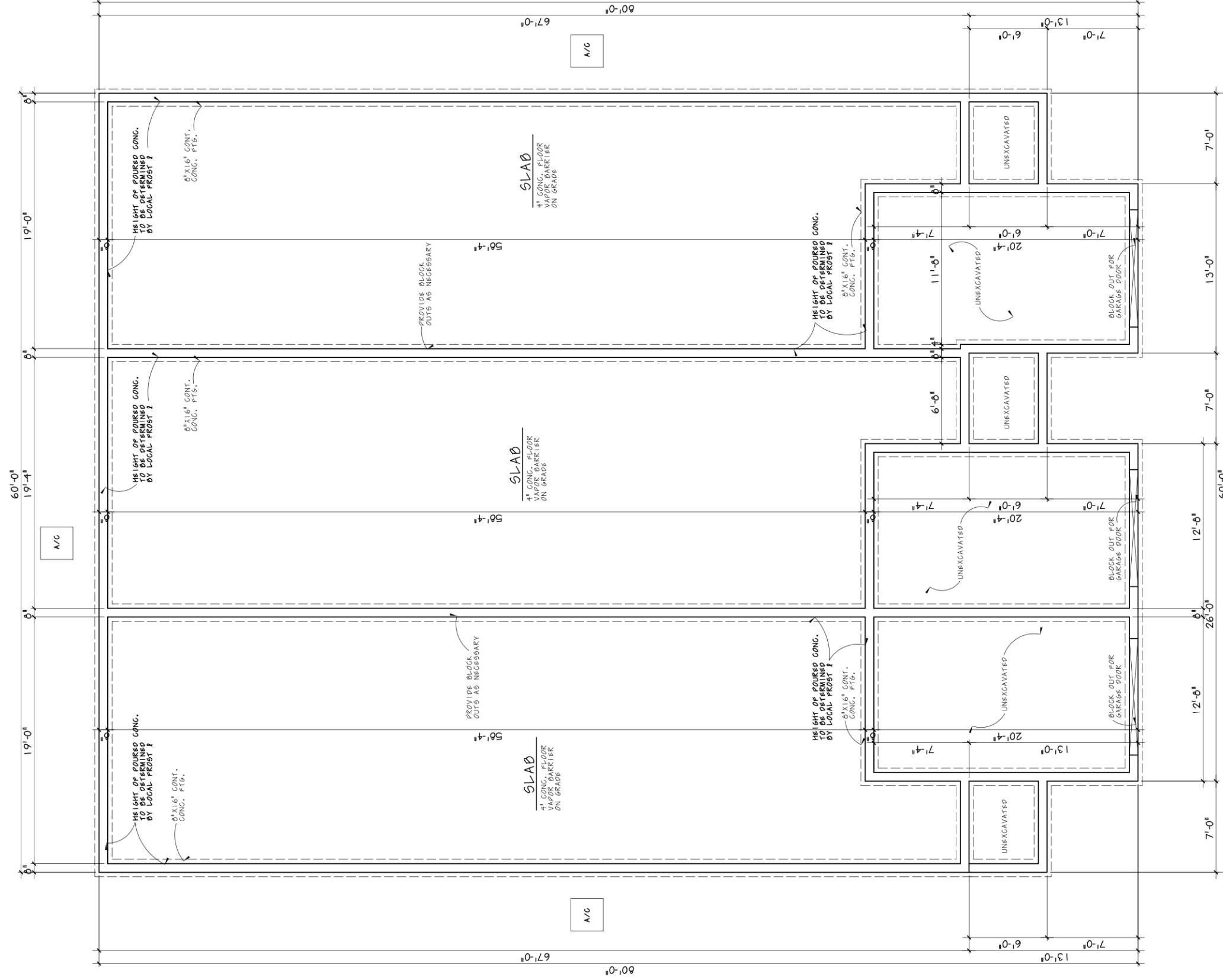
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FOUNDATION PLAN

SCALE: 1/4" = 1'-0"

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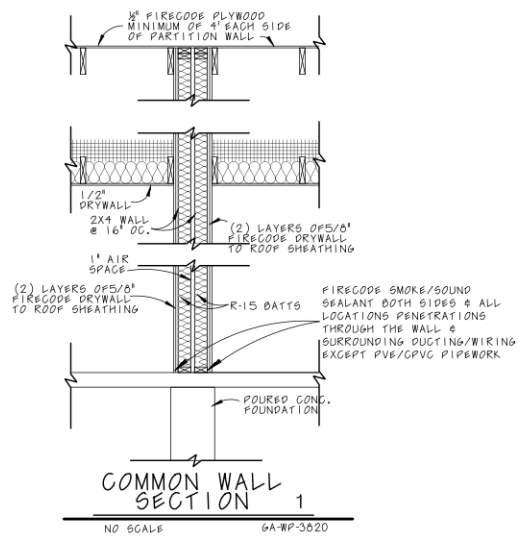
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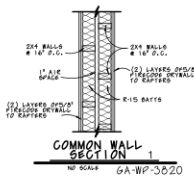
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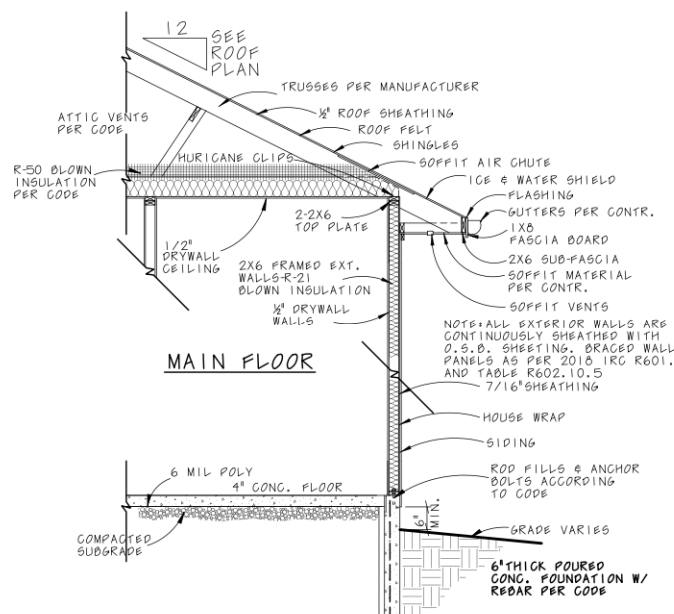
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COMMON WALL SECTION 1
NO SCALE GA-WP-3620



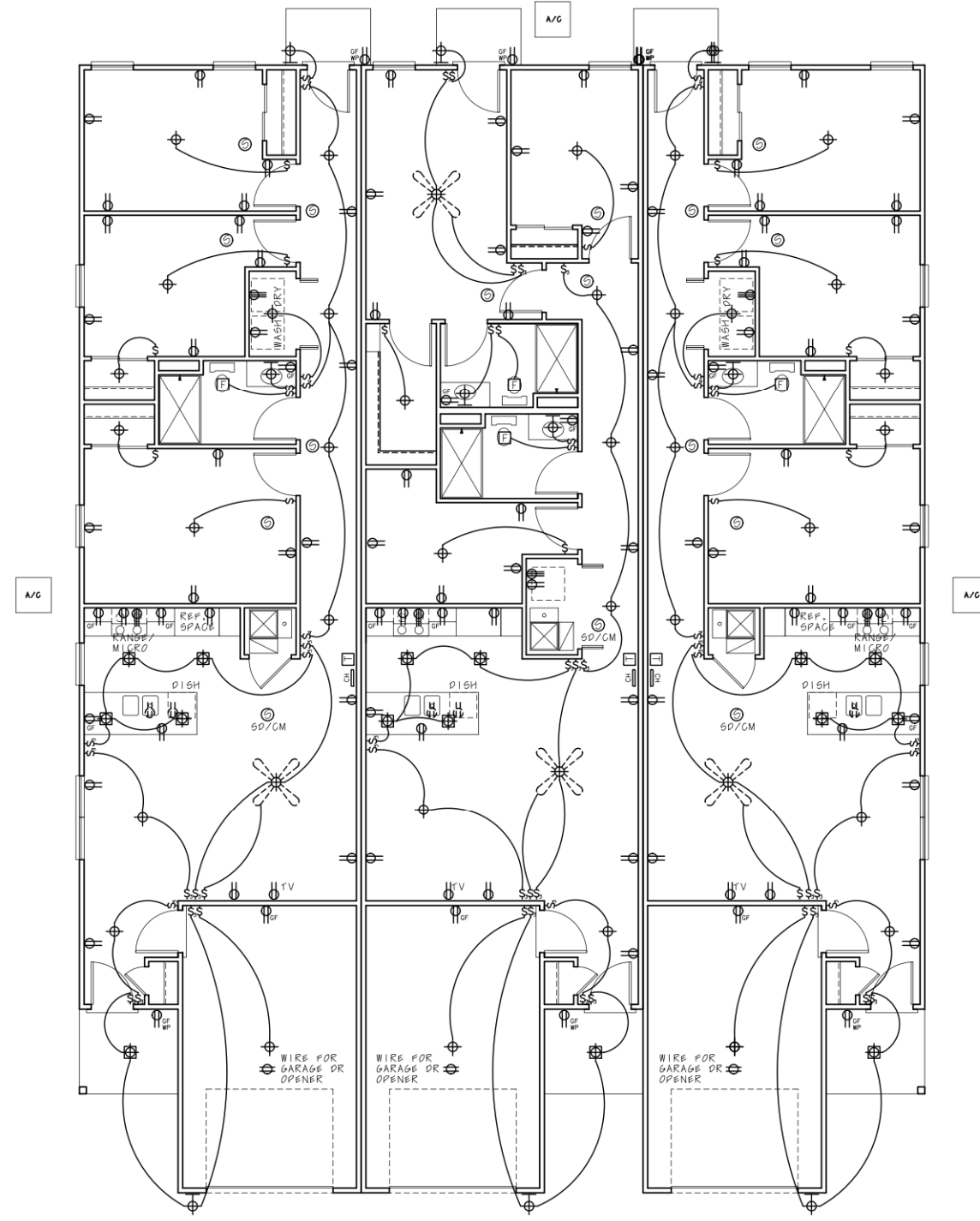
COMMON WALL SECTION 2
NO SCALE GA-WP-3620



WALL SECTION 2
SCALE: 3/8" = 1'-0"

GENERAL ELECTRICAL LEGEND			
SYM.	DESCRIPTION	SYM.	DESCRIPTION
	110 V. OUTLET		FLOOD LIGHT
	HALF SWITCHED 110 V. OUTLET		FLUORESCENT LIGHT
	220 V. OUTLET		TRACK LIGHT
	WEATHERPROOF 110 V. OUTLET		UNDER COUNTER LIGHT
	GROUND FAULT 110 V. OUTLET		EXHAUST FAN
	FLOOR 110 V. OUTLET		EXHAUST FAN/LIGHT COMB.
	SURFACE MOUNT LIGHT		PADDLE FAN/LIGHT FIXTURE
	RECESSED CAN LIGHT		PADDLE FAN
	WALL MOUNT LIGHT		SMOKE DETECTOR (WALL)
	PULL-CORD SURFACE MOUNT LIGHT		SMOKE DETECTOR (CEILING)
	THERMOSTAT		SMOKE DETECTOR/CEILING CARBON MONOXIDE DETECTOR
	CHIMES		TWO-WAY SWITCH
	TELEPHONE		THREE-WAY SWITCH
	HEAT LAMP		FOUR-WAY SWITCH

NOTE: WIRE SMOKE DETECTORS IN SERIES



MAIN FLOOR ELECTRICAL
SCALE: 3/16" = 1'-0"

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Attachment 'D'

