

Jester Insurance FY26 renewals - Heath Hockenberry
Solid Waste Billing Vacancy Program - Tony Fiala
Review Agenda



City Council Meeting Minutes June 9, 2025

CALL TO ORDER

Mayor Walsh called the meeting to Order at 7:00 p.m. on Monday June 9, 2025.

Council Members present: Joe Disalvo, Steve Gorman, Chris Peterson, Roger Sandau and Jill Shudak.

Staff present: Mimi Dobson and Jodi Quakenbush.

CONSENT AGENDA

Approval of Agenda and tape recordings of these proceedings to be incorporated into the official minutes.

Reading, correction and approval of the May 19, 2025 regular City Council meeting and the May 27, 2025 Special City Council Meeting minutes.

Ordinance 6649

Ordinance to amend the zoning map as adopted by reference in Section 15.27.020, and setting a public hearing for June 23, 2025 at 7:00 p.m., by rezoning a portion Section 34-75-43, more specifically described in the Council packet, from A-2/Parks, Estates, and Agricultural District to R-1E/Single-Family Residential Estates District, as defined in Chapter 15.08a. Location: 1305 State Orchard Road. ZC-25-002

Ordinance 6650

Ordinance to amend the zoning map as adopted by reference in Section 15.27.020, and setting a public hearing for June 23, 2025 at 7:00 p.m., by rezoning part of Section 22-75-43, more specifically described in the Council packet, from A-2/Parks, Estates, and Agricultural District to I-1/Light Industrial District as defined in Chapter 15.20. Location: Undeveloped land lying south of 2025 Hunt Avenue. ZC-25-003

Ordinance 6651

Ordinance to amend the zoning map as adopted by reference in Section 15.27.020, and setting a public hearing for June 23, 2025 at 7:00 p.m., by rezoning part of Section 22-75-43, more specifically described in the Council packet, from A-2/Parks, Estates, and Agricultural District to I-1/Light Industrial District as defined in Chapter 15.20. Location: Undeveloped land lying north of 2025 Hunt Avenue. ZC-25-004

Resolution 25-147

Resolution of intent to dispose of city property legally described as the North ½ of vacated 42nd Avenue right-of-way lying between Indian Creek and South 13th Street, abutting legally described as the west 200 feet of the east 1152.38 feet of the SE 1/4 SE 1/4 of Section 11-74-44 lying south of Highway 275 and north of 42nd Avenue.

Boards/Commissions

Storm Water Advisory Committee, Library Board of Trustees, & Board of Water Works Trustees

Right of Redemption

Claims

Jill Shudak and Steve Gorman moved and seconded approval of Consent Agenda. Unanimous, 5-0 vote.

MAYORS PROCLAMATIONS

A. NeighborWorks Week

PUBLIC HEARINGS

Resolution 25-148

Resolution approving the Amended and Restated Consolidated Urban Revitalization Plan Amendment 2.

Roger Sandau and Steve Gorman moved and seconded approval of Resolution 25-148. Unanimous, 5-0 vote.

Resolution 25-149

Resolution to approve the proposed amendment to the current city budget for the fiscal year ending June 30, 2025.

Jill Shudak and Joe Disalvo moved and seconded approval of Resolution 25-149. Unanimous, 5-0 vote.

ORDINANCES ON 1ST READING

Ordinance 6652

Ordinance amending the Amended and Restated Consolidated Urban Revitalization Area – Amendment 1 within the City of Council Bluffs.

Steve Gorman and Roger Sandau moved and seconded approval of First Consideration of Ordinance 6652. Second Consideration to be heard June 23, 2025 at 7:00 p.m.. Unanimous, 5-0 vote.

RESOLUTIONS

Resolution 25-150

Resolution amending the list of authorities for execution of financial transactions between the City of Council Bluffs, Iowa and institutions to hold City funds (non-corporate resolution).

Jill Shudak and Joe Disalvo moved and seconded approval of Resolution 25-150. Unanimous, 5-0 vote.

Resolution 25-151

Resolution to accept property legally described as Lot Three (3), Block One (1) in Hillcrest Addition, that is being donated by the the Board of Waterworks Trustees of Council Bluffs, Iowa.

Steve Gorman and Chris Peterson moved and seconded approval of Resolution 25-151. Unanimous, 5-0 vote.

Resolution 25-152

Resolution accepting the work of Western Iowa Utilities (Hildreth Landscape Inc.) as complete and authorizing the release of retainage after 30 days if no claims are files in connection with the Kanesville Sanitary Sewer Extension, Phase 1. Project # PW24-21

Joe Disalvo and Steve Gorman moved and seconded approval of Resolution 25-152. Unanimous, 5-0 vote.

Resolution 25-153

Resolution establishing a Park Maintenance Worker III position to support Parks and Recreation operations.

Jill Shudak and Steve Gorman moved and seconded approval of Resolution 25-153. Unanimous, 5-0 vote.

Resolution 25-154

Resolution authorizing the Mayor to execute an agreement with Tidewater Transit LLC, a wholly owned subsidiary of Via Transportation, Inc., to provide paratransit services under the City's Special Transit Service.

Jill Shudak and Joe Disalvo moved and seconded approval of Resolution 25-154. Unanimous, 5-0 vote.

Resolution 25-155

Resolution to amend the adopted planned industrial development plan for a new 'data center' on property located in part of Section 21-75-43 and part of Section 28-75-43, more specifically described in the Council packet. Location: Undeveloped land at the southeast corner of the intersection of College Road and East Kaneshville Boulevard (U.S. Highway 6.) PI-24-001(M)

Jill Shudak and Joe Disalvo moved and seconded approval of Resolution 25-155. Unanimous, 5-0 vote.

Resolution 25-156

Resolution to adopt a PR-1/Planned Residential Development Plan for a multi-family residential development on property legally described as being part of the SE1/4 NE1/4 of Section 4-74-43. Location: Undeveloped land located at the northwest corner of the intersection of Eastern Hills Drive and Greenview Road. PR-25-002

Heard from:

Barbara Schlot, 1525 Berwick Circle; Luara Fox, 1715 Tipton Dr., Motion to Receive and File by Sandau, seconded by Disalvo, Unanimous 5-0 vote; Tom Quigley, 1719 Tipton Drive.

Chris Peterson and Joe Disalvo moved and seconded approval of Motion to Amend Resolution 25-156, to include; No vehicular interconnection between the proposed development and Briarwood Subdivision shall be completed with the project.. Passed, 4-1 vote.
(Nays: Shudak)

Roger Sandau and Joe Disalvo moved and seconded approval of Resolution 25-156, as amended. Unanimous, 5-0 vote.

Resolution 25-157

Resolution authorizing a joint application to the Iowa Economic Development Authority (IEDA) for Workforce Housing Tax Incentive Program benefits.

Chris Peterson and Joe Disalvo moved and seconded approval of Resolution 25-157. Unanimous, 5-0 vote.

APPLICATIONS FOR PERMITS AND CANCELLATIONS

Liquor Licenses

1. Barley's, 114 West Broadway
2. Big Kel's Pizza & Wings, 40 Arena Way
3. Caddy Shack, 1426 4th Avenue
4. Courtyard by Marriott, 2501 Bass Pro Drive
5. Full Fledged Brewing Company, 40 Arena Way
6. Main Street Tavern, 519 South Main Street
7. Mid America Center, 1 Arena Way
8. Sugar's Restaurant & Lounge, 2725 East Kanesville Boulevard
9. The Salty Dog Bar and Grill, 2411 South 24th Street, Suite 6

Retail Tobacco Permit - Renewals (18)

Retail Device Permit - (3) (New permit per SF345)

Special Event Application (Fireworks)

Annual Lake Manawa Fireworks Display 6-29-2025

Joe Disalvo and Roger Sandau moved and seconded approval of Applications for permits and cancellations, Items 8A 1-9, 8B, 8C & 8D.. Unanimous, 5-0 vote.

OTHER BUSINESS

CITIZENS REQUEST TO BE HEARD

Heard from: Jacob, 2645 Avenue L and Penny Farrell, 2623 Avenue L.

ADJOURNMENT

Mayor Walsh Adjourned the meeting at 7:38 p.m.

The tape recording of this proceeding, though not transcribed, is part of the record of each respective action of the City Council. The tape recording of this proceeding is incorporated into these official minutes of this Council meeting as if they were transcribed herein.

Matthew J. Walsh, Mayor

Attest: Jodi Quakenbush, City Clerk

Council Communication

Department: City Clerk
Case/Project No.:
Submitted by: Jodi Quakenbush

Approval of Agenda and tape recordings of
these proceedings to be incorporated into the
official minutes.
ITEM 3.A.

Council Action: 6/9/2025

Description
Background/Discussion
Recommendation

Council Communication

Department: City Clerk
Case/Project No.:
Submitted by: Jodi Quakenbush

Reading, correction and approval of the May 19,
2025 regular City Council meeting and the May
27, 2025 Special City Council Meeting minutes.
ITEM 3.B.

Council Action: 6/9/2025

Description

Background/Discussion

Recommendation

ATTACHMENTS:

Description	Type	Upload Date
5-19-25 M	Minutes	6/3/2025
5-27-25 M	Minutes	6/3/2025



City Council Meeting Minutes May 19, 2025

CALL TO ORDER

Mayor Walsh called the meeting to order at 7:00 p.m. on Monday May 19, 2025.

Council Members present: Joe Disalvo, Steve Gorman, Chris Peterson and Jill Shudak.

Council Member absent: Roger Sandau.

Staff present: Jodi Quakenbush, Brandon Garrett and Mimi Dobson.

CONSENT AGENDA

Approval of Agenda and tape recordings of these proceedings to be incorporated into the official minutes.

Reading, correction and approval of the May 5, 2025 regular City Council meeting minutes.

Resolution 25-130

Resolution accepting the work of Neuvirth Construction, Inc. as complete and authorizing the release of retainage after 30 days if no claims are filed in connection with the N. 28th Street Storm Sewer Rehab, Phase IV. Project #PW24-11

Resolution 25-131

Resolution approving minimum development requirements, competitive criteria, and procedures for disposition of certain city-owned property along East Manawa Drive; and soliciting proposals in accordance with the request for proposals and setting a public hearing for July 14, 2025 at 7:00 p.m. to accept proposals.

Resolution 25-132

Resolution setting a public hearing for June 9, 2025 at 7:00 p.m. for the proposed amendment to the City's budget for the fiscal year ending June 30, 2025.

March 2025 Financial Reports, Claims, Right of Redemption and Lawsuit R&F)

Jill Shudak and Chris Peterson moved and seconded approval of Consent Agenda. Unanimous, 4-0 vote. (Absent: Sandau)

MAYORS PROCLAMATIONS

- A. National Safe Boating Week
- B. Methamphetamine Prevention Month

Proclamations presented by Mayor.

PUBLIC HEARINGS

Resolution 25-133

Resolution approving the plans and specifications for the 6th Avenue Pump Station Odor Control. Project #PW24-17

Steve Gorman and Chris Peterson moved and seconded approval of Resolution 25-133. Unanimous, 4-0 vote. (Absent: Sandau)

Resolution 25-134

Resolution granting final plat approval of a two-lot residential subdivision to be known as Canon Subdivision, being a replat of Lot 9, Block 1 and Lots 1 and 2, Block 3, Oak Grove Addition, together with a part of vacated Lindberg Drive adjacent, more particularly described in Attachment 'A.'

Steve Gorman and Joe Disalvo moved and seconded approval of Resolution 25-134. Unanimous, 4-0 vote. (Absent: Sandau)

Resolution 25-135

Resolution approving and authorizing execution of a Second Amended and Restated Purchase, Sale, and Development Agreement by and between the City of Council Bluffs and Spin Lofts, LLC, and the conveyance of real property to Spin Lofts, LLC thereunder.

Jill Shudak and Joe Disalvo moved and seconded approval of Resolution 25-135. Unanimous, 4-0 vote. (Absent: Sandau)

Resolution 25-136

Resolution making final determination on potential sale of interest in real property and approving and authorizing execution of a Purchase, Sale, and Development Agreement by and between the City of Council Bluffs and WE Roost, LLC within the West Broadway Urban Renewal Area.

Steve Gorman and Chris Peterson moved and seconded approval of Resolution 25-136. Unanimous, 4-0 vote. (Absent: Sandau)

ORDINANCES ON 2ND READING

Ordinance 6647

Ordinance to amend Chapter 3.62 "Solicitors" of the 2020 Municipal Code of Council Bluffs, Iowa, by amending Chapter 3.62.020 "Definitions-Solicitors."

Jill Shudak and Chris Peterson moved and seconded approval of Second consideration of Ordinance 6647.. Unanimous, 4-0 vote. (Absent: Sandau)

Jill Shudak and Joe Disalvo moved and seconded approval of Motion to waive Third consideration of Ordinance 6647. Ordinance passes to law. Unanimous, 4-0 vote. (Absent: Sandau)

Ordinance 6648

Ordinance adopting the 2025 Municipal Code of Council Bluffs, Iowa.

Jill Shudak and Joe Disalvo moved and seconded approval of Second consideration of Ordinance 6648.. Unanimous, 4-0 vote. (Absent: Sandau)

Jill Shudak and Steve Gorman moved and seconded approval of Motion to waive Third consideration of Ordinance 6648. Ordinance passes to law. Unanimous, 4-0 vote. (Absent: Sandau)

RESOLUTIONS

Resolution 25-137

Resolution authorizing and setting the Drainage District annual assessment for Mosquito Creek #22, Sieck #32, and West Lewis #35 for fiscal year 2026.

Chris Peterson and Steve Gorman moved and seconded approval of Resolution 25-137. Unanimous, 4-0 vote. (Absent: Sandau)

Resolution 25-138

Resolution approving wage increases for non-union employees.

Jill Shudak and Steve Gorman moved and seconded approval of Resolution 25-138. Unanimous, 4-0 vote. (Absent: Sandau)

Resolution 25-139

Resolution accepting the bid of Compass Utility, LLC for the Kenmore Avenue Sanitary Sewer Reconstruction. Project # PW25-24

Joe Disalvo and Steve Gorman moved and seconded approval of Resolution 25-139. Unanimous, 4-0 vote. (Absent: Sandau)

Resolutions 25-140, 25-141, 25-142 and 25-143

Resolutions authorizing joint applications to the Iowa Economic Development Authority (IEDA) for Workforce Housing Tax Incentive Program benefits.

Jill Shudak and Steve Gorman moved and seconded approval of Resolutions 25-140, 25-141, 25-142 and 25-143. Unanimous, 4-0 vote. (Absent: Sandau)

Resolution 25-144

Resolution approving an agreement with Security National Bank to manage the City of Council Bluffs 457(b) Plan and authorizing and directing the Mayor to execute the same on the behalf of the City.

Steve Gorman and Chris Peterson moved and seconded approval of Resolution 25-144. Unanimous, 4-0 vote. (Absent: Sandau)

Resolution 25-145

Resolution to establish an Investment Advisory Committee to create an Investment Policy and to oversee the compliance of the same for the City of Council Bluffs Employee 457 Plan.

Steve Gorman and Chris Peterson moved and seconded approval of Resolution 25-145. Unanimous, 4-0 vote. (Absent: Sandau)

APPLICATIONS FOR PERMITS AND CANCELLATIONS

Liquor Licenses: 1) BBQ Brothers, 321 Comanche St; 2) Eagles Club, 1530 Ave. F; 3) Jonesy's Corner, 2752 W. Broadway; 4) Latino Market, 1535 Ave. G; 5) Springhill Suites Council Bluffs, 3216 Plaza View Dr; 6) StreetSide Lounge, 319 N. 16th St. and Retail Tobacco Permit - New (1), Renewals (18)

Jill Shudak and Joe Disalvo moved and seconded approval of Applications for Permits and Cancellations, Items 8A 1-6 and 8B. Unanimous, 4-0 vote. (Absent: Sandau)

CITIZENS REQUEST TO BE HEARD

Heard from Michael Hayes, 616 Franklin Avenue.

ADJOURNMENT

Mayor Walsh Adjourned the Meeting at 7:15 p.m.

The tape recording of this proceeding, though not transcribed, is part of the record of each respective action of the City Council. The tape recording of this proceeding is incorporated into these official minutes of this Council meeting as if they were transcribed herein.

Matthew J. Walsh, Mayor

Attest: Jodi Quakenbush, City Clerk



City Council Special Meeting Minutes May 27, 2025

CALL TO ORDER

Mayor Walsh called the meeting to order at 9:01 am on May 27, 2025.
Council Members present via Zoom: Joe Disalvo, Chris Peterson and Jill Shudak.
Council Member absent: Steve Gorman.
Council Member Roger Sandau joined via zoom during Item 2A.

RESOLUTIONS

Resolution 25-146

Resolution to authorize negotiation of a contract extension with the Fraternal Order of Police Lodge #1 and confirming the appointment of Brenda Norton as the City's representative to engage in collective bargaining negotiations.

Jill Shudak and Joe Disalvo moved and seconded approval of Resolution 25-146. Unanimous, 4-0 vote. (Absent: Gorman)

APPLICATIONS FOR PERMITS AND CANCELLATIONS

Liquor License: Mega Saver, 1305 N. 25th St. (NEW)
Retail Tobacco Permit – New and Retail Device Permit - New

Jill Shudak and Chris Peterson moved and seconded approval of Applications for Permits and Cancellations, Items 3A, 3B and 3C.
Unanimous, 4-0 vote. (Absent: Gorman)

ADJOURNMENT

Mayor Walsh adjourned the meeting at 9:06 a.m.

The tape recording of this proceeding, though not transcribed, is part of the record of each respective action of the City Council. The tape recording of this proceeding is incorporated into these official minutes of this Council meeting as if they were transcribed herein.

Matthew J. Walsh, Mayor
Attest: Jodi Quakenbush, City Clerk

Council Communication

Department: Community Development
Case/Project No.: ZC-25-002
Submitted by: Christopher N. Gibbons, AICP,
Planning Manager

Ordinance 6649
ITEM 3.C.

Council Action: 6/9/2025

Description
Ordinance to amend the zoning map as adopted by reference in Section 15.27.020, and setting a public hearing for June 23, 2025 at 7:00 p.m., by rezoning a portion Section 34-75-43, more specifically described in the Council packet, from A-2/Parks, Estates, and Agricultural District to R-1E/Single-Family Residential Estates District, as defined in Chapter 15.08a. Location: 1305 State Orchard Road. ZC-25-002

Background/Discussion
See attached staff report.

Recommendation

ATTACHMENTS:

Description	Type	Upload Date
Staff Report	Staff Report	5/30/2025
Attachment A: Proposed Tweedy's Landing Final Plat	Other	5/30/2025
Attachment B: Location/zoning map	Map	5/30/2025
Notice of Public Hearing	Notice	5/30/2025
Ordinance 6649	Ordinance	6/4/2025

City Council Communication

<p>Department: Community Development</p> <p>CASES #SUB-25-004 and #ZC-25-002</p> <p>Applicant/Property Owner: Patrick and Rhonda Cunningham 1305 State Orchard Road Council Bluffs, IA 51503</p> <p>Engineer/Surveyor: Jeffrey D. Dimon, PLS HGM Associates Inc. 640 5th Avenue Council Bluffs, IA 51501</p>	<p>Ordinance No. _____</p> <p>Resolution No. _____</p>	<p><u>City Council</u></p> <p>CASE #ZC-25-002 1st Consideration: 6/9/2025 2nd Consideration: 6/23/2025 3rd Consideration: 7/14/2025</p> <p>CASE #SUB-25-004: 6/23/2025</p> <p>Planning Commission: 5/13/2025</p>
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Subject/Title

Request: Combined public hearings on the request of Patrick and Rhonda Cunningham for final plat approval of a two-lot residential estate subdivision to be known as Tweety's Landing, along with a subdivision variance to allow proposed Lot 1, Tweety's Landing to exceed the maximum 3:1 lot depth-to-width ratio, on property legally described Parcel 25028 being a portion of North 1/2 of the South 1/2 of the SW 1/4 of Section 34-75-43, City of Council Bluffs, Pottawattamie County, Iowa and to rezone said property from A-2/Parks, Estates, and Agricultural District to R-1E/Single-Family Residential Estate District.

Location: 1305 State Orchard Road, Council Bluffs, Iowa 51503

Background

The Community Development Department has received applications from Patrick and Rhonda Cunningham for the following requests:

1. Case #SUB-25-004: Final plat approval of a two-lot residential subdivision to be known as Tweety's Landing, legally described as Parcel 25028 being a portion of North 1/2 of the South 1/2 of the SW 1/4 of Section 34-75-43, City of Council Bluffs, Pottawattamie County, Iowa. The applicant is also requesting a subdivision variance to allow proposed Lot 1 to exceed the maximum 3:1 lot depth-to-width ratio; and
2. Case #ZC-25-002: Rezone properties legally described above from A-2/Parks, Estates and Agricultural District to R-1E/Single-Family Residential Estates District.

The applicant owns property at 1305 State Orchard Road and the undeveloped agricultural parcel adjacent (Parcel #754334300017). The purpose of the above subdivision request is to combine their landholdings and create two lots of record. Proposed Lot 1 (37.786 acres) will contain the existing single-family dwelling, associated accessory structures, and agricultural land. Proposed Lot 2 (1.007 acres) will be developed with a detached single-family residential dwelling for the applicants son. All properties in this request are zoned A-2/Parks, Estates and Agricultural District, which allows a single-family detached dwelling as a principal use. The minimum lot size in an A-2 District is three acres. The proposed rezoning from A-2 to R-1E will allow for the creation of proposed Lot 2, as the minimum lot size for the R-1E District is one acre.

CASE #SUB-25-004

The proposed Tweedy's Landing subdivision contains 39.14 acres, more or less, of land that will be subdivided into two residential estate lots and includes the dedication of 0.348 acres for State Orchard Road right-of-way. Proposed Lot 1 (37.786 acres) will contain the existing single-family dwelling, associated accessory structures, and agricultural land. Proposed Lot 2 (1.007 acres) will be developed with a detached single-family residential dwelling for the applicants son. All lots will have direct frontage onto State Orchard Road; however, proposed Lot 2 will be accessed by a 20-foot-wide shared easement. The proposed final plat is included as Attachment 'A.'

Comments

- A. The proposed subdivision is consistent with the purpose and intent of Title 14: Subdivisions of the Council Bluffs Municipal Code. The applicant has submitted a request to rezone proposed Lots 1 and 2, Tweedy's Subdivision (see Case #ZC-25-002) from A-2/Parks, Estates, and Agricultural District to R-1E/Single-Family Residential Estates District to ensure the proposed subdivision is consistent with Title 15: Zoning of the Council Bluffs Municipal Code.
- B. All proposed lots comply with minimum one acre R-1E/Single-Family Residential Estates District lot size requirements, as stated below:
 - 1. Proposed Lot 1 contains 37.786 acres of land (more/less); and
 - 2. Proposed Lot 2 contains 1.007 acres of land (more/less).

The minimum lot dimension requirements for property zoned R-1E District are 125' wide (measured at the building setback line) and 200' deep. Proposed Lot 1 will measure 660.23' wide by 2631.37' deep, which exceeds the maximum 3:1 lot depth-to-width ratio as stated in Section 14.14.020 *Lot Layout* of the Council Bluffs Subdivision Ordinance. As such, the applicants have requested a subdivision variance from the Council Bluffs City Council as part of the approval of their proposed Tweedy's Landing final plat. Section 14.11.040(A) of the Council Bluffs Subdivision Ordinance states: "*Where it can be shown that due to special conditions, a literal enforcement of this ordinance will result in an unnecessary hardship, the City shall the power to vary such regulation so that substantial justice will be accomplished, provided that such variance would:*

- 1. *Not be in contrary to the public interest;*
- 2. *Be in the best interest of the City;*
- 3. *Be within the spirit and intent of this title;*
- 4. *Not be detrimental to the future residents in and near the proposed subdivision;*
- 5. *Be consistent with the City's comprehensive plan."*

The Community Development Department has reviewed the applicant's variance request and recommends approval for the following reasons:

- i. The proposed subdivision is designed to be compatible with existing development in the surrounding area and is being laid out in such a manner to allow for further subdivision/development activity in the future. The subdivision variance is not anticipated to be detrimental to residents in and/or adjacent to the subdivision.
- ii. Proposed Lot 1, Tweedy's Landing is comprised of two existing lots of record that are being combined together to create a larger 37.7 acre tract of land. The applicants have to combine the two lots together as part of this final plat effort in order to avoid creating a landlocked parcel. This requirement causes proposed Lot 1 to exceed the maximum 3:1 lot depth-to-width ratio and thus a variance is necessary.

- iii. Proposed Lot 2 will be developed with a new single-family residential dwelling and proposed Lot 1 will continue to be utilized by the applicants as their primary residence. The size and shape of Lot 1 allows for further subdivision action(s) to occur in order to facilitate additional housing opportunities in the City.
 - iv. The Bluffs Tomorrow: 2030 Plan (Comprehensive Plan) encourages housing diversity in order to meet the needs of the community and ensure the long-term stability of residential neighborhoods. The proposed subdivision final plat is consistent with this policy and is in the best interest of the City as it will increase access and diversify housing options in Council Bluffs.
- C. All development on the proposed lots shall comply with the site development standards listed in Section 15.08A.050, *Site Development Regulations*, for the R-1E District. The applicant shall provide documentation to the City's Community Development Department that shows the existing residential dwelling on proposed Lot 1 will have conforming R-1E District setbacks, prior to the final plat being executed by the City and recorded with the Pottawattamie County Recorder's Office.
- D. No new public streets are proposed within this subdivision as both lots in the subdivision have direct frontage onto State Orchard Road. A 20-foot-wide access easement is proposed over the existing driveway on Lot 1 and is intended to provide shared access to proposed Lot 2.
- E. All driveways and off-street parking areas within the proposed subdivision shall be hard-surfaced paved and designed in accordance with the standards stated in Section 15.23, *Off-Street Parking, Loading and Unloading*, of the Council Bluffs Municipal Code (Zoning Ordinance). The existing residential dwelling on Lot 1, Tweety's Landing has a gravel driveway that connects into State Orchard Road, which does not conform to current City hard-surface pavement standards. This driveway can remain in its current condition until such time development activity on the subject property requires the gravel driveway to be updated to current City standards, as stated in said Section 15.23 of the Council Bluffs Zoning Ordinance.
- F. The proposed Tweety's Landing subdivision is located along a northerly section of State Orchard Road, which does not have sanitary sewer, but has water, electric, and gas utilities available. The purpose of the proposed R-1E zoning designation is to allow for septic systems and on-site water wells to be utilized in areas of the City in which access to utilities is not readily available. Both lots within the proposed subdivision will be connected to public water and will utilize on-site septic systems, as sanitary sewer is located more than 200 feet away from the existing residential dwelling on proposed Lot 1 and is not available at all to proposed Lot 2.
- G. All utilities shall be installed underground. All costs to construct, remove and/or relocate any utilities for the proposed subdivision shall be the responsibility of the developer and not the City.
- H. The following existing easements are recorded on the subject property and are shown on the proposed final plat:
- 1. A 30-foot-wide storm sewer easement along the southwesterly/southerly portion of Lot 1, as recorded in Book 102, Page 44908.
 - 2. A 40-foot-wide sanitary sewer easement that bisects proposed Lot 1, as recorded in Book 106, Page 06391.
- I. The proposed final plat also includes the dedication of a 33' x 659.04' (0.348 acres) tract of land to the City of Council Bluffs for State Orchard Road right-of-way.
- J. The subject property is not located within a designated flood zone, as per FEMA FIRM Map Panel 19155C0581F, dated 4/16/2013.
- K. The following technical correction shall be made to the final plat prior to it being executed by the City of Council Bluffs:
- 1. The standard dedication of public easements shall appear on the final plat as stated below:
A perpetual easement is reserved for storm drainage and the installation and maintenance of utilities 5 feet wide along each side of interior lot lines and 10 feet in width along all front and rear lot lines:

ERECTION OF STRUCTURES PROHIBITED: Grantor shall not erect any structure over or within the Easement Area without obtaining the prior written consent of the City Engineer, provided however grantor shall have the right to place and maintain a surfaced roadway over and within the Easement Area.

CHANGE OF GRADE PROHIBITED: Grantor shall not change the grade, elevation or contour of any part of the Easement Area without obtaining the prior written consent of the City Engineer.

RIGHT OF ACCESS: City shall have the right of access to the Easement Area and have all right of ingress and egress reasonably necessary for the use and enjoyment of the Easement Area as herein described.

REMOVAL AND REPLACEMENT: The cost of removal and replacement of any unauthorized improvement or structures within the Easement Area, necessitated by the exercise of the rights under this easement, shall be borne by the Grantor or their successors or assigns.

SURFACE RESTORATION: City's liability to restore the surface within the Easement Area shall be limited only to grading and seeding, and replacement of grantors surfaced roadway.

DUTY TO REPAIR: City agrees that any drain tile, drive or access way, fence, or yard or other improvements outside of the Easement Area which may be damaged as a result of any entry made through an exercise of the City's right of access shall be repaired at no expense to Grantor.

EASEMENT RUNS WITH LAND: This easement shall be deemed to run with the land and shall be binding on Grantor and on Grantor's successors and assigns.

CASE #ZC-25-002

The subject property is zoned A-2/Parks, Estates, and Agricultural District and is surrounded by the following zoning districts and existing land uses:

Direction	Existing Zoning Districts	Existing Land Uses
North	A-2/Parks, Estates, and Agricultural District and R-1E/Single-family Residential Estate District	Single-family residential dwellings and undeveloped land
South	A-2/Parks, Estates and Agricultural District and R-1/Single-family Residential District	Undeveloped land
East	R-1/Single-Family Residential District	Undeveloped land and single-family dwellings
West	A-2/Parks, Estates and Agricultural District and R-1/Single-family Residential District	Undeveloped land and single-family residential dwellings

A location/zoning map is included with this report as Attachment 'B.'

Public notices were mailed to all property owners within 200 feet of the subject property. No comments have been received as of the date of this report.

Discussion

- A. The subject property is zoned A-2/Parks, Estates and Agricultural District and is proposed to be rezoned to R-1E/Single-Family Residential Estates District to allow for the proposed single-family residential estates development. The subject property is located along State Orchard Road, which does not have sanitary sewer, but has water, electric, and gas utilities available. The purpose of the proposed R-1E zoning designation is to allow for septic systems and on-site water wells to be utilized in areas of the City in which access to utilities is not readily available.
- B. The applicants will retain ownership of proposed Lot 1 and intend to sell proposed Lot 2 to their son, so that he can build a new single-family residential dwelling on the property.
- C. Both lots in Tweedy's Landing comply with minimum R-1E District lot size requirements and are capable of being developed. Proposed Lot 1 has potential to be further subdivided into multiple lots upon the extension of a roadway and/or infrastructure (i.e., sanitary sewer and water).
- D. The future land use map of the Bluffs Tomorrow: 2030 Plan (Comprehensive Plan) designates the subject property as 'Low Density Residential.' Rezoning the subject property from A-2 District to R-1E District would support the goals of the Comprehensive Plan and would be an appropriate zoning designation based on the future land use map.

The rezoning and subdivision requests were routed to all City Departments and local utility providers. The following comments were received:

- A. Council Bluffs Fire Department stated they have no comments regarding the requests.
- B. Council Bluffs Police Department stated they have no comments regarding the requests.
- C. Council Bluffs Public Works Department stated a septic system is allowed for the existing residential dwelling on proposed Lot 1 and for the new dwelling on proposed Lot 2, as sanitary sewer is located more than 200' from either residence.
- D. Council Bluffs Water Works stated they have no comments for the requests.
- E. MidAmerican Energy Company stated they have no conflicts with the requests and the property owners and/or their agents should contact them directly to identify electrical service costs and responsibilities associated with development of the site.

Recommendation

The Community Development Department recommends the following:

- A. Final plat approval of a two-lot residential subdivision to be known as Tweedy's Landing, legally described as Parcel 25028 being a portion of North 1/2 of the South 1/2 of the SW 1/4 of Section 34-75-43, City of Council Bluffs, Pottawattamie County, Iowa, subject to the comments above and the conditions below:
 - 1. The final plat shall be recorded within 90 days of City Council approval or the plat will become null and void unless an extension has been requested and granted by the Community Development Director.
 - 2. The final plat shall conform to all City standards and specifications, the zoning and subdivision ordinances, and the Department of Public Works standards for Public Improvements.
 - 3. All utilities shall be installed underground. Any costs to construct, remove, and/or relocate any utilities shall be the responsibility of the applicant and/or developer, not the City.
 - 4. All applicable permits necessary to meet local, state, and federal requirements shall be the applicants responsibility; and
 - 5. Granting a subdivision variance to allow proposed Lot 1, Tweedy's Landing to exceed the maximum 3:1 lot depth-to-width ratio, as stated in Section 14.14.020 *Lot Layout* of the Council Bluffs Subdivision Ordinance, based on reasons stated above.

- B. Approval of the request to rezone property legally described as Parcel 25028 being a portion of North 1/2 of the South 1/2 of the SW 1/4 of Section 34-75-43, City of Council Bluffs, Pottawattamie County, Iowa, from A-2/Parks, Estates, and Agricultural District to R-1E/Single-Family Residential Estates District, subject to the comments stated above.

Public Hearing

Staff speakers for the request:

1. Christopher Gibbons, Planning & Code Compliance Manager, City of Council Bluffs, 209 Pearl Street, Council Bluffs IA, 51503

Speakers in favor:

1. Patrick Cunningham, 1305 State Orchard Road, Council Bluffs, IA 515103

Speakers against: None

The Community Development Department recommends the following:

- A. Final plat approval of a two-lot residential subdivision to be known as Tweedy's Landing, legally described as Parcel 25028 being a portion of North 1/2 of the South 1/2 of the SW 1/4 of Section 34-75-43, City of Council Bluffs, Pottawattamie County, Iowa, subject to the comments above and the conditions below:
 1. The final plat shall be recorded within 90 days of City Council approval or the plat will become null and void unless an extension has been requested and granted by the Community Development Director.
 2. The final plat shall conform to all City standards and specifications, the zoning and subdivision ordinances, and the Department of Public Works standards for Public Improvements.
 3. All utilities shall be installed underground. Any costs to construct, remove, and/or relocate any utilities shall be the responsibility of the applicant and/or developer, not the City.
 4. All applicable permits necessary to meet local, state, and federal requirements shall be the applicants responsibility; and
 5. Granting a subdivision variance to allow proposed Lot 1, Tweedy's Landing to exceed the maximum 3:1 lot depth-to-width ratio, as stated in Section 14.14.020 *Lot Layout* of the Council Bluffs Subdivision Ordinance, based on reasons stated above.
- B. Approval to rezone property legally described as Parcel 25028 being a portion of North 1/2 of the South 1/2 of the SW 1/4 of Section 34-75-43, City of Council Bluffs, Pottawattamie County, Iowa, from A-2/Parks, Estates, and Agricultural District to R-1E/Single-Family Residential Estates District, subject to the comments stated above.

VOTE: AYE – Freund, Knauss, Rater, Rew, Stroebele, VanHouten, and Watson. NAY – None. ABSTAIN – None. ABSENT – Hutcheson. VACANT - Three Motion: Carried.

Attachments

Attachment A: Proposed Tweedy's Landing Final Plat

Attachment B: Location/zoning map

Prepared by: Christopher N. Gibbons, Planning Manager, Community Development Department

for: hgm:102625 S:\Survey\Drafting\T:\Drafting\102625_Cunningham-1805_State_Orchard\Engineering\Drawg\Survey\102625_Cunningham_1805_State_Orchard.dwg

LOT:
 BLOCK:
 SUBDIVISION:
 ALIQUOT PART: N1/2 S1/2 SW1/4
 SECTION: 34 / TOWNSHIP: 75 / RANGE: 43
 CITY: COUNCIL BLUFFS
 COUNTY: POTTAWATTAMIE
 PROPRIETOR: PATRICK JOSEPH AND RHONDA LUCILLE CUNNINGHAM
 REQUESTED BY: PATRICK CUNNINGHAM
 DATE OF FIELD SURVEY: APRIL 7, 2025

CITY COUNCIL

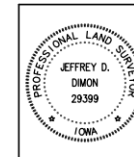
COMMUNITY DEVELOPMENT DIRECTOR: COURTNEY HARTER DATE

A. NO PRIVATE RESTRICTIONS AND/OR COVENANTS, WILL BE A PART OF THE SUBJECT DEVELOPMENT.

B. CERTIFIED RESOLUTION OF EACH GOVERNING BODY APPROVING THE SUBDIVISION OR WAIVING THE RIGHT TO REVIEW

NOTARY PUBLIC IN AND FOR SAID STATE MY COMMISSION EXPIRES _____

NOTARY PUBLIC IN AND FOR SAID STATE MY COMMISSION EXPIRES _____



I HEREBY CERTIFY THAT THIS LAND SURVEYING DOCUMENT WAS PREPARED
AND THE RELATED SURVEY WORK WAS PERFORMED BY ME OR UNDER MY
DIRECT PERSONAL SUPERVISION AND THAT I AM A DULY LICENSED
PROFESSIONAL LAND SURVEYOR UNDER THE LAWS OF THE STATE OF IOWA.

APRIL 09, 2025
DATE

JEFFREY D. DIMON
LICENSE NUMBER 29399
MY LICENSE RENEWAL DATE IS DECEMBER 31, 2025
PAGES OR SHEETS COVERED BY THIS SEAL:
SHEET 1 OF 3

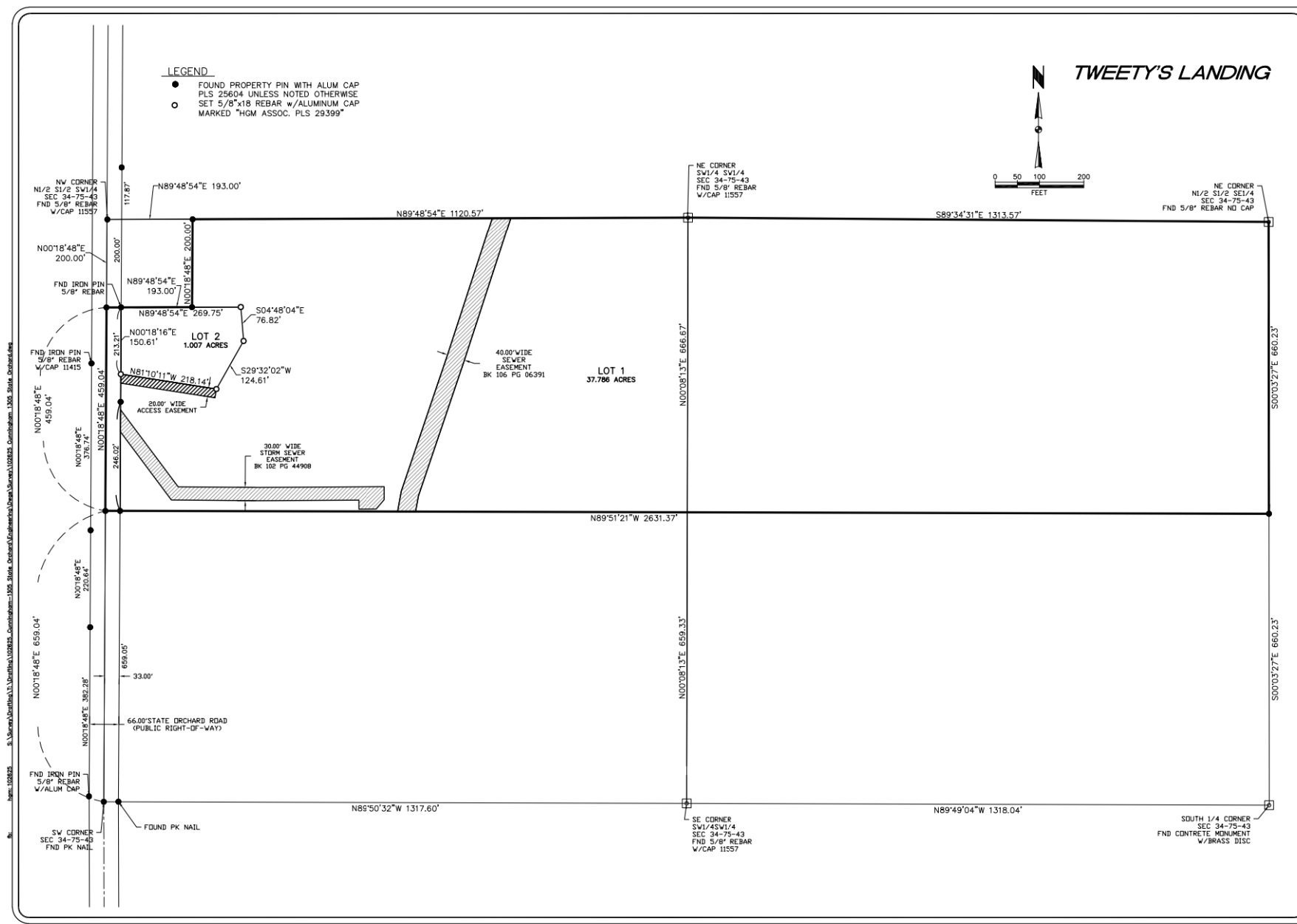
this drawing is being made available by Hgm associates Inc. for use on this project in accordance with Hgm associates Inc. agreement for professional services. Hgm associates Inc. assumes no liability for any use of this drawing or any part thereof except in accordance with the terms of the above agreement.

hgm
ASSOCIATES INC.
640 FIFTH AVENUE COUNCIL BLUFFS, IOWA
PHONE: (712) 323-0530

JDD	revision	date
drawn		
JDD		
designed		
DEF		
approved		
PR 25		
date		

Project: CUNNINGHAM STATE ORCHARD RD
Client: PATRICK CUNNINGHAM
1305 STATE ORCHARD ROAD, COUNCIL BLUFFS, IA 51503
Sheet: **FINAL PLAT**

project no.
102625
sheet
1 OF 3



CITY OF COUNCIL BLUFFS - CITY PLANNING COMMISSION CASES #SUB-25-004 AND #ZC-25-002 LOCATION/ZONING MAP

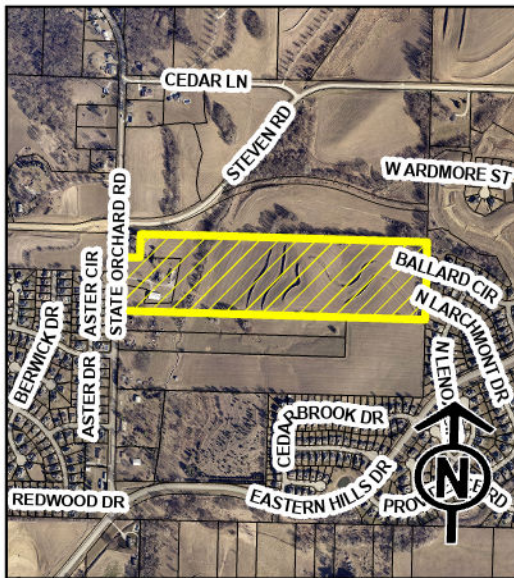
Attachment B

Legend

Subject Properties Cases
#SUB-25-004 and
#ZC-25-002

0 280 560

1 inch = 412 feet

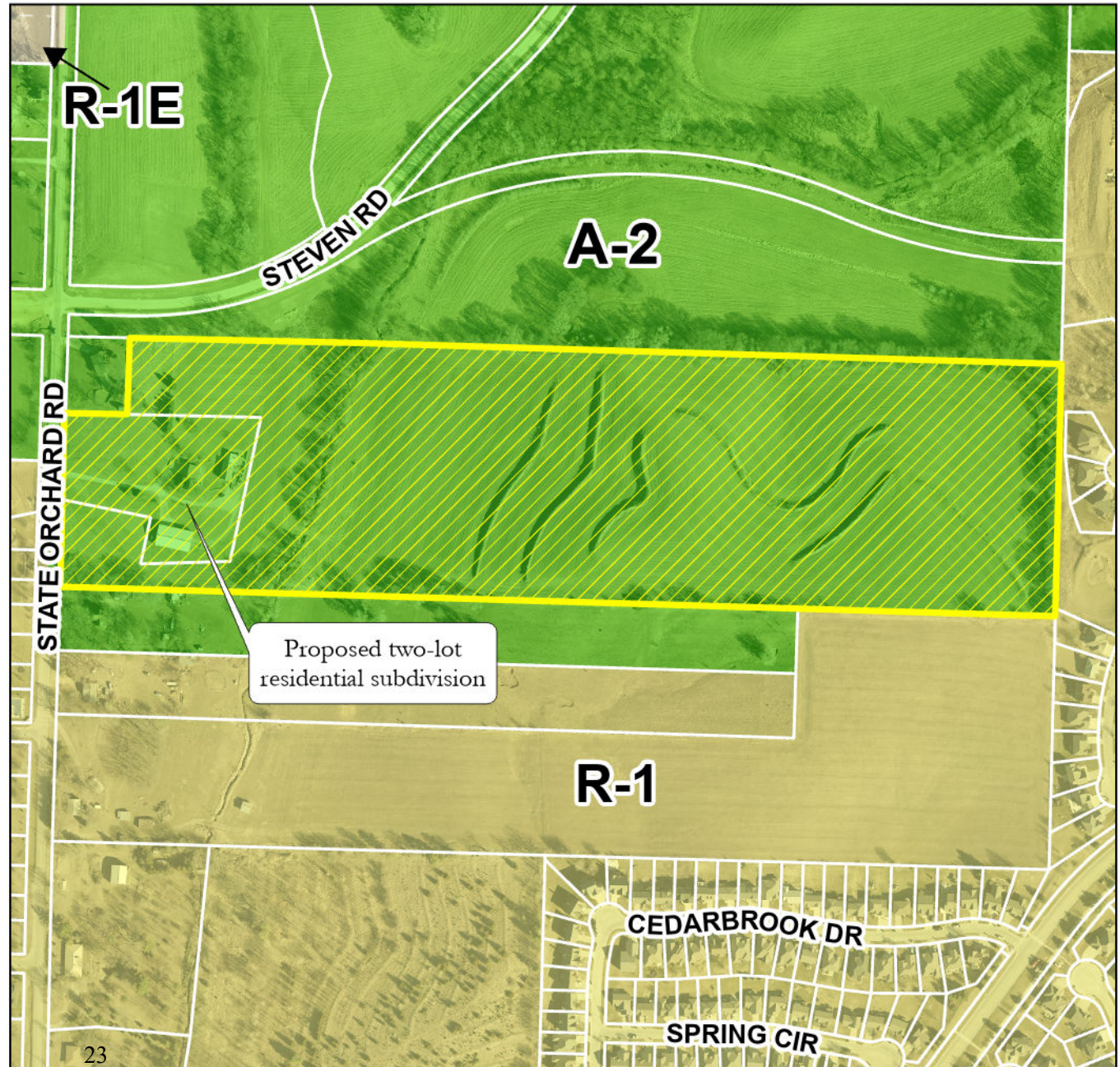


Last Amended: 4/16/2025



Council Bluffs Community
Development Department
209 Pearl Street
Council Bluffs, IA 51503
Telephone: (712) 890-5350

DISCLAIMER
This map is prepared and compiled from City documents, plans and other public records. The City and its employees do not warrant the accuracy of the information contained on this map. The user should verify the accuracy of information/data contained on this map before using it. The City assumes no legal responsibility for the information contained on this map.



NOTICE OF PUBLIC HEARING

You are hereby notified that the City Council of the City of Council Bluffs, Iowa, has scheduled a public hearing for June 23, 2025 at 7:00 p.m. in the City Council Chambers, 2nd Floor of City Hall, 209 Pearl Street, Council Bluffs at which time all persons interested in this matter will be given an opportunity to be heard on the request of Patrick and Rhonda Cunningham to rezone properties legally described as Parcel 25028 being a portion of North 1/2 of the South 1/2 of the SW 1/4 of Section 34-75-43, City of Council Bluffs, Pottawattamie County, Iowa from A-2/Parks, Estates, and Agricultural District to R-1E/Single-Family Residential Estate District.

Jodi Quakenbush, City Clerk

ORDINANCE NO. 6649

AN ORDINANCE TO AMEND THE ZONING MAP OF THE CITY OF COUNCIL BLUFFS, IOWA, AS ADOPTED BY REFERENCE IN SECTION 15.27.020 OF THE 2020 MUNICIPAL CODE OF COUNCIL BLUFFS, IOWA, BY REZONING PROPERTY LEGALLY DESCRIBED AS PARCEL 25028 BEING A PORTION OF NORTH 1/2 OF THE SOUTH 1/2 OF THE SW 1/4 OF SECTION 34-75-43, CITY OF COUNCIL BLUFFS, POTTAWATTAMIE COUNTY, IOWA, FROM A-2/PARKS, ESTATES, AND AGRICULTURAL DISTRICT TO R-1E/SINGLE-FAMILY RESIDENTIAL ESTATES DISTRICT, AS SET FORTH AND DEFINED IN CHAPTERS 15.08A OF THE MUNICIPAL CODE OF COUNCIL BLUFFS, IOWA.

**BE IT ORDAINED
BY THE CITY COUNCIL
OF THE
CITY OF COUNCIL BLUFFS, IOWA**

SECTION 1. That the Zoning Map of the City of Council Bluffs, Iowa, as adopted by reference in Section 15.02.070 of the 2020 Municipal Code of the City of Council Bluffs, Iowa, be and the same is hereby amended by rezoning property legally described as Parcel 25028 being a portion of North 1/2 of the South 1/2 of the SW 1/4 of Section 34-75-43, City of Council Bluffs, Pottawattamie County, Iowa, from A-2/Parks, Estates, and Agricultural District to R-1E/Single-Family Residential Estates District, as set forth and defined in Chapter 15.08A of the Municipal Code of Council Bluffs, Iowa.

SECTION 2. REPEALER. All ordinances or parts of ordinances in conflict with the provisions of this ordinance are hereby repealed.

SECTION 3. SEVERABILITY CLAUSE. If any of the provisions of this ordinance are for any reason declared illegal or void, then the lawful provisions of this ordinance which are severable from said unlawful provisions shall be and remain in full force and effect, the same as if the ordinance contained no illegal or void provisions.

SECTION 4. EFFECTIVE DATE. This ordinance shall be in full force and effect from and after its final passage and publication, as by law provided.

ADOPTED AND APPROVED

June 23, 2025.

MATTHEW J. WALSH

Mayor

Attest: _____

JODI QUAKENBUSH

City Clerk

First Consideration: 6-9-25

Second Consideration: 6-23-25

Public Hearing: 6-23-25

Third Consideration: _____

Council Communication

Department: Community Development
Case/Project No.: ZC-25-003
Submitted by: Moises Monrroy, Planner

Ordinance 6650
ITEM 3.D.

Council Action: 6/9/2025

Description

Ordinance to amend the zoning map as adopted by reference in Section 15.27.020, and setting a public hearing for June 23, 2025 at 7:00 p.m., by rezoning part of Section 22-75-43, more specifically described in the Council packet, from A-2/Parks, Estates, and Agricultural District to I-1/Light Industrial District as defined in Chapter 15.20. Location: Undeveloped land lying south of 2025 Hunt Avenue. ZC-25-003

Background/Discussion

See attached staff report.

Recommendation

ATTACHMENTS:

Description	Type	Upload Date
Staff Report	Staff Report	5/30/2025
Attachment A: Location/Zoning Map	Map	5/30/2025
Attachment B: Letter of Intent	Letter	5/30/2025
Attachment C: Conceptual Site Layout	Other	5/30/2025
Notice of Public Hearing	Notice	5/30/2025
Ordinance 6650	Ordinance	6/4/2025

City Council Communication

Department: Community Development CASE #ZC-25-003 Applicant/Property Owner: LKM Investments LLC Michael Earl 6214 California Street Omaha, NE 68132	Ordinance No. _____	City Council 1 st Consideration: 6/9/2025 2 nd Consideration: 6/23/2025 3 rd Consideration: Request to be waived by applicant Planning Commission: 5/13/2025
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Subject/Title

Request: Public hearing on the request of LKM Investments LLC, represented by Michael Earl, to rezone property legally described as a tract of land located in part of the NE ¼ SW ¼ and in part of the SE ¼ NW ¼, lying east of Hunt Avenue and north of Highway 6, all in Section 22-75-43, City of Council Bluffs, Pottawattamie County, Iowa from A-2/Parks, Estates and Agricultural District to I-1/Light Industrial District.

Location: Undeveloped land lying south of 2025 Hunt Avenue

Background

The Community Development Department has received two applications from LKM Investments LLC, represented by Michael Earl, for the following requests:

- A. Case #ZC-25-003: Rezone undeveloped property legally described as a tract of land located in part of the NE ¼ SW ¼ and in part of the SE ¼ NW ¼, lying east of Hunt Avenue and north of Highway 6, all in Section 22-75-43, City of Council Bluffs, Pottawattamie County, Iowa from A-2/Parks, Estates and Agricultural District to I-1/Light Industrial District; and
- B. Case #ZC-25-004: Rezone undeveloped property legally described as a tract of land located in part of the SE ¼ NW ¼, except the southerly 344.75 feet thereof, lying east of Hunt Avenue, all in Section 22-75-43, City of Council Bluffs, Pottawattamie County, Iowa from A-2/Parks, Estates and Agricultural District to I-1/Light Industrial District.

The subject property is an undeveloped tract of land lying south of 2025 Hunt Avenue, located in the immediate vicinity of the I-80/U.S. Highway 6 interchange. As noted above, the applicant has also submitted a request to rezone property lying north of 2025 Hunt Avenue (see Case #ZC-25-004). The purpose of these requests is to allow the applicant to develop and/or market both properties for commercial and/or industrial uses. Potential land uses proposed by the applicant include a gas station/convenience store, a truck stop, and a hardware/home improvement store.

Land Use and Zoning – The following zoning and land uses surround the subject property:

Direction	Zoning District(s)	Land Uses
North	A-2/Parks, Estates and Agricultural District	Iowa State Patrol
South	A-2/Parks, Estates and Agricultural District	Undeveloped land and U.S. Highway 6
East	A-4/Loess Hills District (County)	Single-family homes
West	P-I/Planned Industrial District	Undeveloped land

The Future Land Use Plan of the Bluffs Tomorrow: 2030 Plan (Comprehensive Plan) designates the subject property as 'Office/Industrial.'

Property Owner Notification – Public notices were mailed to all property owners within 200 feet of the request. The following comment was received:

- A. Eneh Okoruwa, owner of 21524 Hunt Avenue, contacted the Community Development Department and asked how the proposed rezoning would affect her property. The Community Development Department informed Mrs. Okoruwa that her property was not included in the proposed rezoning. Mrs. Okoruwa stated she was concerned the proposed rezoning to an industrial zoning district would have an adverse impact on the character of the residential properties located outside City limits. Mrs. Okoruwa also expressed concern on the potential noise that could be generated by commercial and/or industrial development that occurs on the subject property.

City Departments and Utilities – All appropriate City departments and utility providers were notified of the proposed planned commercial development plan. The following comments were received:

- A. The Council Bluffs Public Works Department stated that they had no comments on the request.
- B. The Iowa Department of Transportation stated that they had no concerns with the request.
- C. Council Bluffs Water Works stated that there are no water mains to serve the subject property and thus a main extension would be required if the applicant wishes to establish water service to this site.
- D. MidAmerican Energy stated that they have no conflicts with the request. They also stated that the applicant or their agents should contact MidAmerican Energy directly to discuss development plans and project timelines, as well as identify costs and responsibilities associated with the extension of electric service.

Discussion

- A. The minimum lot area requirement in the I-1/Light Industrial District is 10,000 square feet. The subject property contains 5.90 acres (257,027 square feet), more or less, in land area, thus complies with the minimum lot size requirements in the I-1 District.
- B. If the proposed rezoning is approved, any future development that occurs on the subject property shall comply with all site development standards in Chapter 15.20, I-1/Light Industrial District, of the Council Bluffs Municipal Code (Zoning Ordinance).
- C. The applicant has not provided a specific development proposal for the subject property. The proposed rezoning would allow a variety of commercial and industrial uses on the subject property. Potential land uses proposed by the applicant include a gas station/convenience store, a truck stop, and a hardware/home improvement store. A conceptual site layout illustrating how the subject property could be developed as a truck stop is shown on Attachment 'C.'
 - 1. An 'auto service establishment' is defined in Section 15.03.049 of the Council Bluffs Municipal Code (Zoning Ordinance) as "an establishment or place of business engaged in the service of automobiles and related light equipment." A gas station would fall under this definition. 'Auto service establishment' is a principal use in the I-1 District and thus would be allowed on the subject property if the proposed rezoning is approved.
 - 2. A 'retail shopping establishment' is defined in Section 15.03.592 of the Council Bluffs Municipal Code (Zoning Ordinance) as "a store or shop engaged in the sale of commodities or goods to individual consumers for personal use rather than for resale." Hardware stores and home improvement stores would fall under this definition. 'Retail shopping establishment' is a principal use in the I-1 District and thus would be allowed on the subject property if the proposed rezoning is approved.

3. A 'truck service establishment' is defined in Section 15.03.651 of the Council Bluffs Municipal Code (Zoning Ordinance) as "a facility engaged in rendering service specially to trucks and related heavy equipment, including sales of fuel, lubricants, parts and accessories, parking, equipment repair, retail sales, restaurants and lodging." A truck stop would fall under this definition. 'Truck service establishment' is a conditional use in the I-1 District. If the proposed rezoning is approved, a conditional use permit issued by the Zoning Board of Adjustment would be required to allow a truck stop on the subject property.

D. The Bluffs Tomorrow: 2030 Plan (Comprehensive Plan) designates the subject property as 'Office/Industrial,' which includes uses related to low-impact assembly or distribution activities complemented by employment-intensive, administrative, or professional office functions. The proposed rezoning is generally consistent with the 'Office/Industrial' designation. The proposed rezoning would also enable additional development opportunities near the I-80/U.S. Highway 6 interchange.

E. Adequate utilities (e.g., water, sanitary sewer, electric, etc.) are not readily available to service the subject property. The applicant shall coordinate the extension of utilities to service the subject property with each utility provider as needed.

Recommendation

The Community Development Department recommends approval of the request to rezone property legally described as a tract of land located in part of the NE ¼ SW ¼ and in part of the SE ¼ NW ¼, lying east of Hunt Avenue and north of Highway 6, all in Section 22-75-43, City of Council Bluffs, Pottawattamie County, Iowa from A-2/Parks, Estates and Agricultural District to I-1/Light Industrial District, based to the reasons stated above.

Public Hearing

Staff speakers for the request:

1. Moises Monrroy, Planner, City of Council Bluffs, 209 Pearl Street, Council Bluffs IA, 51503

Speakers in favor:

1. Michael Earl, LKM Investments, LLC, 6214 California Street, Omaha, NE 68132

Speakers against: None

The City Planning Commission recommended approval of the request to rezone property legally described as a tract of land located in part of the NE ¼ SW ¼ and in part of the SE ¼ NW ¼, lying east of Hunt Avenue and north of Highway 6, all in Section 22-75-43, City of Council Bluffs, Pottawattamie County, Iowa from A-2/Parks, Estates and Agricultural District to I-1/Light Industrial District, based to the reasons stated above.

VOTE: AYE – Freund, Knauss, Rater, Rew, Stroebele, VanHouten, and Watson. NAY – None. ABSTAIN – None. ABSENT – Hutcheson. VACANT - Three Motion: Carried.

Attachments

Attachment A: Location/Zoning Map

Attachment B: Letter of Intent

Attachment C: Conceptual Site Layout

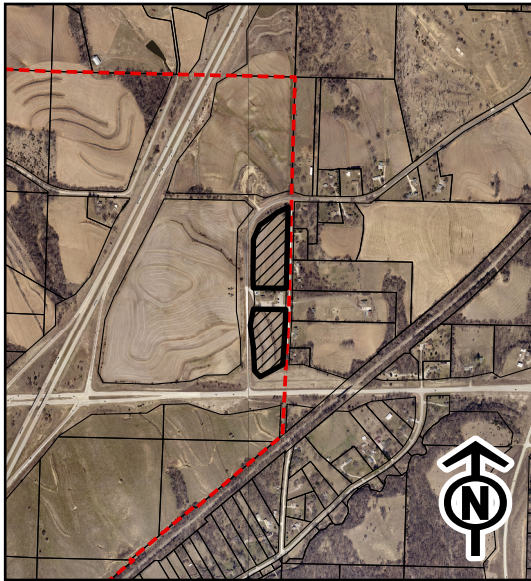
Prepared by: Moises Monrroy, Planner, Community Development Department

CITY OF COUNCIL BLUFFS - CITY PLANNING COMMISSION CASES #ZC-25-003 & #ZC-25-004 LOCATION/ZONING MAP

Legend

-  Subject Properties
-  Council Bluffs City Limits

0 195 390
1 inch = 292 feet



Last Amended: 4/17/25



Council Bluffs Community
Development Department
209 Pearl Street
Council Bluffs, IA 51503
Telephone: (712) 890-5350

DISCLAIMER
This map is prepared and compiled from City documents, plans and other public records data. Users of this map are hereby notified that the City expressly denies any and all responsibility for errors, if any, in the information contained on this map of the nature of the same by the user or anyone else. The user should verify the accuracy of information/data contained on this map before using it. The City assumes no legal responsibility for the information contained on this map.



Attachment 'B'

May 1, 2025

Sent- Via email-cgibbons@councilbluffs-ia.gov

Mr. Christopher N. Gibbons, AICP
Planning and Code Compliance Manger
Community Development Department
209 Pearl Street
Council Bluffs, IA 51503

**RE: Letter of Intent- use and purpose for rezoning
Parcel #754322326001 and Parcel #754322100007
Pottawattamie County, Council Bluffs, IA 51503**

Mr. Gibbons,

Thank you for your call last week. This Letter of Intent shall describe the purpose and reason for the Rezoning/Comprehensive Plan Amendment Applications submitted previously.

LKM Investments ETAL submitted said Applications with the intent of developing and/or selling the two parcels referenced above to various type users allowed within the Council Bluffs Light Industrial Zoning Code. More specifically, Parcel #754322326001, as referenced in the survey attached to the Application as Parcel 1, it is the applicant's intent to sell said parcel to one or two users that will benefit from exposure to Hwy 6. The users that are being targeted are C-store and Truckstop that would use the entire parcel. Alternatively, industrial type owner/users with a showroom or retail component who would benefit from the exposure to Hwy 6. Examples are- hardware stores, supply stores, home improvement stores.

Parcel #754322100007, as referenced in the survey attached to the Application as Parcel 2, it is our intent to sell or develop said parcel. We believe the highest and best uses for this parcel will vary from multiple flex-industrial type users who would want the ability for outside storage to mini-storage use. Given the size of this parcel, we expect multiple buildings that may require the parcel to be subdivided in the future.

We are in the process of creating concept plans to be added to both applications. Unfortunately, they will not be ready until sometime next week.

Please contact me with any questions or comments.

Sincerely,

A handwritten signature in black ink that reads "Michael P. Earl". The signature is written in a cursive style with a large, stylized "M" and "E".

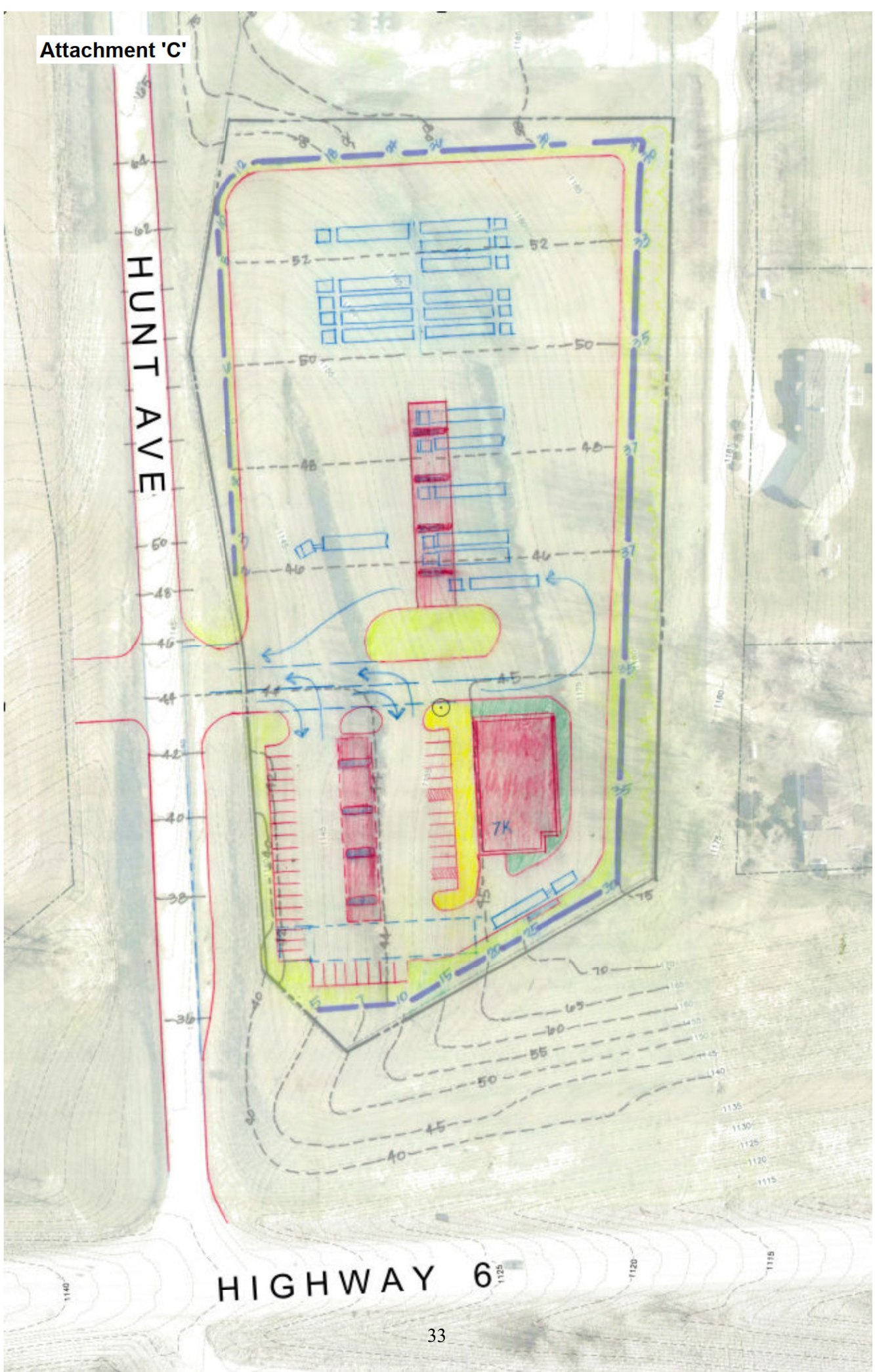
Michael P. Earl

LKM Investments ETAL

CC:

Moises Monrroy, Planner, Community Development Department-mmonrroy@councilbluffs-ia.gov

Greg Mahloch, d.b.a GAM4 Holdings LLC- Mahloch8@aol.com



NOTICE OF PUBLIC HEARING

You are hereby notified that the City Council of the City of Council Bluffs, Iowa, has scheduled a public hearing for June 23, 2025 at 7:00 p.m. in the City Council Chambers, 2nd Floor of City Hall, 209 Pearl Street, Council Bluffs at which time all persons interested in this matter will be given an opportunity to be heard on the request of LKM Investments LLC to rezone property legally described as a tract of land located in part of the NE ¼ SW ¼ and in part of the SE ¼ NW ¼, lying east of Hunt Avenue and north of Highway 6, all in Section 22-75-43, City of Council Bluffs, Pottawattamie County, Iowa from A-2/Parks, Estates and Agricultural District to I-1/Light Industrial District.

Jodi Quakenbush, City Clerk

ORDINANCE NO. 6650

AN ORDINANCE TO AMEND THE ZONING MAP OF THE CITY OF COUNCIL BLUFFS, IOWA, AS ADOPTED BY REFERENCE IN SECTION 15.27.020 OF THE 2025 MUNICIPAL CODE OF COUNCIL BLUFFS, IOWA, BY REZONING PROPERTY LEGALLY DESCRIBED AS A TRACT OF LAND LOCATED IN PART OF THE NE ¼ SW ¼ AND IN PART OF THE SE ¼ NW ¼, LYING EAST OF HUNT AVENUE AND NORTH OF HIGHWAY 6, ALL IN SECTION 22-75-43, CITY OF COUNCIL BLUFFS, POTTAWATTAMIE COUNTY, IOWA FROM A-2/PARKS, ESTATES AND AGRICULTURAL DISTRICT TO I-1/LIGHT INDUSTRIAL DISTRICT AND DEFINED IN CHAPTER 15.20 OF THE MUNICIPAL CODE OF COUNCIL BLUFFS, IOWA.

**BE IT ORDAINED
BY THE CITY COUNCIL
OF THE
CITY OF COUNCIL BLUFFS, IOWA**

SECTION 1. That the Zoning Map of the City of Council Bluffs, Iowa, as adopted by reference in Section 15.02.070 of the 2025 Municipal Code of the City of Council Bluffs, Iowa, be and the same is hereby amended by rezoning property legally described as a tract of land located in part of the legally described as a tract of land located in part of the NE ¼ SW ¼ and in part of the SE ¼ NW ¼, lying east of Hunt Avenue and north of Highway 6, all in Section 22-75-43, City of Council Bluffs, Pottawattamie County, Iowa from A-2/Parks, Estates and Agricultural District to I-1/Light Industrial District, as set forth and defined in Chapter 15.20 of the Municipal Code of Council Bluffs, Iowa.

SECTION 2. REPEALER. All ordinances or parts of ordinances in conflict with the provisions of this ordinance are hereby repealed.

SECTION 3. SEVERABILITY CLAUSE. If any of the provisions of this ordinance are for any reason declared illegal or void, then the lawful provisions of this ordinance which are severable from said unlawful provisions shall be and remain in full force and effect, the same as if the ordinance contained no illegal or void provisions.

SECTION 4. EFFECTIVE DATE. This ordinance shall be in full force and effect from and after its final passage and publication, as by law provided.

ADOPTED AND APPROVED

June 23, 2025.

MATTHEW J. WALSH

Mayor

Attest: _____

JODI QUAKENBUSH

City Clerk

First Consideration: 6-9-25

Second Consideration: 6-23-25

Public Hearing: 6-23-25

Third Consideration: _____

Council Communication

Department: Community Development
Case/Project No.: ZC-25-004
Submitted by: Moises Monrroy, Planner

Ordinance 6651
ITEM 3.E.

Council Action: 6/9/2025

Description Ordinance to amend the zoning map as adopted by reference in Section 15.27.020, and setting a public hearing for June 23, 2025 at 7:00 p.m., by rezoning part of Section 22-75-43, more specifically described in the Council packet, from A-2/Parks, Estates, and Agricultural District to I-1/Light Industrial District as defined in Chapter 15.20. Location: Undeveloped land lying north of 2025 Hunt Avenue. ZC-25-004
--

Background/Discussion See attached staff report.
--

Recommendation

ATTACHMENTS:

Description	Type	Upload Date
Staff Report	Staff Report	5/30/2025
Attachment A: Location/Zoning Map	Map	5/30/2025
Attachment B: Letter of Intent	Letter	5/30/2025
Attachment C: Conceptual Site Layout	Other	5/30/2025
Notice of Public Hearing	Notice	5/30/2025
Ordinance 6651	Ordinance	6/4/2025

City Council Communication

Department: Community Development CASE #ZC-25-004 Applicant/Property Owner: LKM Investments LLC Michael Earl 6214 California Street Omaha, NE 68132	Ordinance No. _____	<u>City Council</u> 1 st Consideration: 6/9/2025 2 nd Consideration: 6/23/2025 3 rd Consideration: Request to be waived by applicant Planning Commission: 5/13/2025
---	---------------------	--

Subject/Title

Request: Public hearing on the request of LKM Investments LLC, represented by Michael Earl, to rezone property legally described as a tract of land located in part of the SE ¼ NW ¼, except the southerly 344.75 feet thereof, lying east of Hunt Avenue, all in Section 22-75-43, City of Council Bluffs, Pottawattamie County, Iowa from A-2/Parks, Estates and Agricultural District to I-1/Light Industrial District.

Location: Undeveloped land lying north of 2025 Hunt Avenue

Background

The Community Development Department has received two applications from LKM Investments LLC, represented by Michael Earl, for the following requests:

- A. Case #ZC-25-003: Rezone undeveloped property legally described as a tract of land located in part of the NE ¼ SW ¼ and in part of the SE ¼ NW ¼, lying east of Hunt Avenue and north of Highway 6, all in Section 22-75-43, City of Council Bluffs, Pottawattamie County, Iowa from A-2/Parks, Estates and Agricultural District to I-1/Light Industrial District; and
- B. Case #ZC-25-004: Rezone undeveloped property legally described as a tract of land located in part of the SE ¼ NW ¼, except the southerly 344.75 feet thereof, lying east of Hunt Avenue, all in Section 22-75-43, City of Council Bluffs, Pottawattamie County, Iowa from A-2/Parks, Estates and Agricultural District to I-1/Light Industrial District.

The subject property is an undeveloped tract of land lying north of 2025 Hunt Avenue, located in the immediate vicinity of the I-80/U.S. Highway 6 interchange. As noted above, the applicant has also submitted a request to rezone property lying south of 2025 Hunt Avenue (see Case #ZC-25-003). The purpose of these requests is to allow the applicant to develop and/or market both properties for commercial and/or industrial uses. The applicant has not provided a specific development proposal for the subject property, but has indicated the subject property could be developed with multiple flex-industrial type users.

Land Use and Zoning – The following zoning and land uses surround the subject property:

Direction	Zoning District(s)	Land Uses
North	A-2/Parks, Estates and Agricultural District	Undeveloped land
South	A-2/Parks, Estates and Agricultural District	Iowa State Patrol
East	A-4/Loess Hills District (County)	Single-family homes
West	P-I/Planned Industrial District	Undeveloped land

The Future Land Use Plan of the Bluffs Tomorrow: 2030 Plan (Comprehensive Plan) designates the subject property as 'Office/Industrial.'

Property Owner Notification – Public notices were mailed to all property owners within 200 feet of the request. The following comment was received:

- A. Eneh Okoruwa, owner of 21524 Hunt Avenue, contacted the Community Development Department and asked how the proposed rezoning would affect her property. The Community Development Department informed Mrs. Okoruwa that her property was not included in the proposed rezoning. Mrs. Okoruwa stated she was concerned the proposed rezoning to an industrial zoning district would have an adverse impact on the character of the residential properties located outside City limits. Mrs. Okoruwa also expressed concern on the potential noise that could be generated by commercial and/or industrial development that occurs on the subject property.

City Departments and Utilities – All appropriate City departments and utility providers were notified of the proposed planned commercial development plan. The following comments were received:

- A. The Council Bluffs Public Works Department stated that they had no comments on the request.
- B. The Iowa Department of Transportation stated that they had no concerns with the request.
- C. Council Bluffs Water Works stated that there are no water mains to serve the subject property and thus a main extension would be required if the applicant wishes to establish water service to this site.
- D. MidAmerican Energy stated that they have no conflicts with the request. They also stated that the applicant or their agents should contact MidAmerican Energy directly to discuss development plans and project timelines, as well as identify costs and responsibilities associated with the extension of electric service.

Discussion

- A. The minimum lot area requirement in the I-1/Light Industrial District is 10,000 square feet. The subject property contains 7.06 acres (307,626 square feet), more or less, in land area, thus complies with the minimum lot size requirements in the I-1 District.
- B. If the proposed rezoning is approved, all future development that occurs on the subject property shall comply with the site development standards in Chapter 15.20, I-1/Light Industrial District, of the Council Bluffs Municipal Code (Zoning Ordinance).
- C. The applicant has not provided a specific development proposal for the subject property. The proposed rezoning would allow a variety of commercial and industrial uses on the subject property. The applicant has indicated the subject property could be developed with multiple flex-industrial type users. A conceptual site layout illustrating how the subject property could be developed with a 50,000-square foot warehouse building is shown on Attachment 'C.'
 - 1. If the proposed rezoning is approved, all future development that occurs on the subject property shall comply with the land use regulations in Chapter 15.20, I-1/Light Industrial District, of the Council Bluffs Municipal Code (Zoning Ordinance).
 - 2. Outdoor storage of materials and/or equipment is a component of land uses such as contractor yards and storage yards. Said land uses are not allowed in the I-1 District. If the proposed rezoning is approved, all materials and equipment associated with any of the business(es) that operate on the subject property shall be stored within an enclosed structure.
- D. The Bluffs Tomorrow: 2030 Plan (Comprehensive Plan) designates the subject property as 'Office/Industrial,' which includes uses related to low-impact assembly or distribution activities complemented by employment-intensive, administrative, or professional office functions. The proposed rezoning is generally consistent with the

‘Office/Industrial’ designation. The proposed rezoning would also enable additional development opportunities near the I-80/U.S. Highway 6 interchange.

- E. Adequate utilities (e.g., water, sanitary sewer, electric, etc.) are not readily available to service the subject property. The applicant shall coordinate the extension of utilities to service the subject property with each utility provider as needed.

Recommendation

The Community Development Department recommends approval of the request to rezone property legally described as a tract of land located in part of the SE ¼ NW ¼, except the southerly 344.75 feet thereof, lying east of Hunt Avenue, all in Section 22-75-43, City of Council Bluffs, Pottawattamie County, Iowa from A-2/Parks, Estates and Agricultural District to I-1/Light Industrial District, based to the reasons stated above.

Public Hearing

Staff speakers for the request:

1. Moises Monrroy, Planner, City of Council Bluffs, 209 Pearl Street, Council Bluffs IA, 51503

Speakers in favor:

1. Michael Earl, LKM Investments, LLC, 6214 California Street, Omaha, NE 68132

Speakers against: None

The City Planning Commission recommended approval of the request to rezone property legally described as a tract of land located in part of the SE ¼ NW ¼, except the southerly 344.75 feet thereof, lying east of Hunt Avenue, all in Section 22-75-43, City of Council Bluffs, Pottawattamie County, Iowa from A-2/Parks, Estates and Agricultural District to I-1/Light Industrial District, based to the reasons stated above.

VOTE: AYE – Freund, Knauss, Rater, Rew, Stroebele, VanHouten, and Watson. NAY – None. ABSTAIN – None. ABSENT – Hutcheson. VACANT - Three Motion: Carried.

Attachments

Attachment A: Location/Zoning Map
Attachment B: Letter of Intent
Attachment C: Conceptual Site Layout

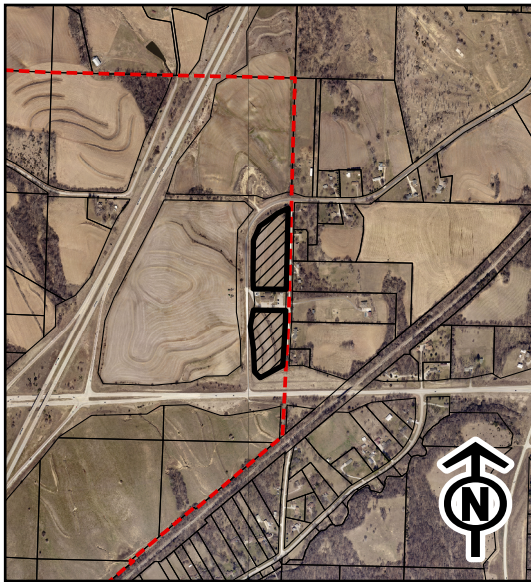
Prepared by: Moises Monrroy, Planner, Community Development Department

CITY OF COUNCIL BLUFFS - CITY PLANNING COMMISSION CASES #ZC-25-003 & #ZC-25-004 LOCATION/ZONING MAP

Legend

-  Subject Properties
-  Council Bluffs City Limits

0 195 390
1 inch = 292 feet



Last Amended: 4/17/25



Council Bluffs Community
Development Department
209 Pearl Street
Council Bluffs, IA 51503
Telephone: (712) 890-5350

DISCLAIMER
This map is prepared and compiled from City documents, plans and other public records data. Users of this map are hereby notified that the City expressly denies any and all responsibility for errors, if any, in the information contained on this map of the nature of the same by the user or anyone else. The user should verify the accuracy of information/data contained on this map before using it. The City assumes no legal responsibility for the information contained on this map.



Attachment 'B'

May 1, 2025

Sent- Via email-cgibbons@councilbluffs-ia.gov

Mr. Christopher N. Gibbons, AICP
Planning and Code Compliance Manger
Community Development Department
209 Pearl Street
Council Bluffs, IA 51503

**RE: Letter of Intent- use and purpose for rezoning
Parcel #754322326001 and Parcel #754322100007
Pottawattamie County, Council Bluffs, IA 51503**

Mr. Gibbons,

Thank you for your call last week. This Letter of Intent shall describe the purpose and reason for the Rezoning/Comprehensive Plan Amendment Applications submitted previously.

LKM Investments ETAL submitted said Applications with the intent of developing and/or selling the two parcels referenced above to various type users allowed within the Council Bluffs Light Industrial Zoning Code. More specifically, Parcel #754322326001, as referenced in the survey attached to the Application as Parcel 1, it is the applicant's intent to sell said parcel to one or two users that will benefit from exposure to Hwy 6. The users that are being targeted are C-store and Truckstop that would use the entire parcel. Alternatively, industrial type owner/users with a showroom or retail component who would benefit from the exposure to Hwy 6. Examples are- hardware stores, supply stores, home improvement stores.

Parcel #754322100007, as referenced in the survey attached to the Application as Parcel 2, it is our intent to sell or develop said parcel. We believe the highest and best uses for this parcel will vary from multiple flex-industrial type users who would want the ability for outside storage to mini-storage use. Given the size of this parcel, we expect multiple buildings that may require the parcel to be subdivided in the future.

We are in the process of creating concept plans to be added to both applications. Unfortunately, they will not be ready until sometime next week.

Please contact me with any questions or comments.

Sincerely,

A handwritten signature in black ink that reads "Michael P. Earl". The signature is written in a cursive style with a large, stylized "M" and "E".

Michael P. Earl

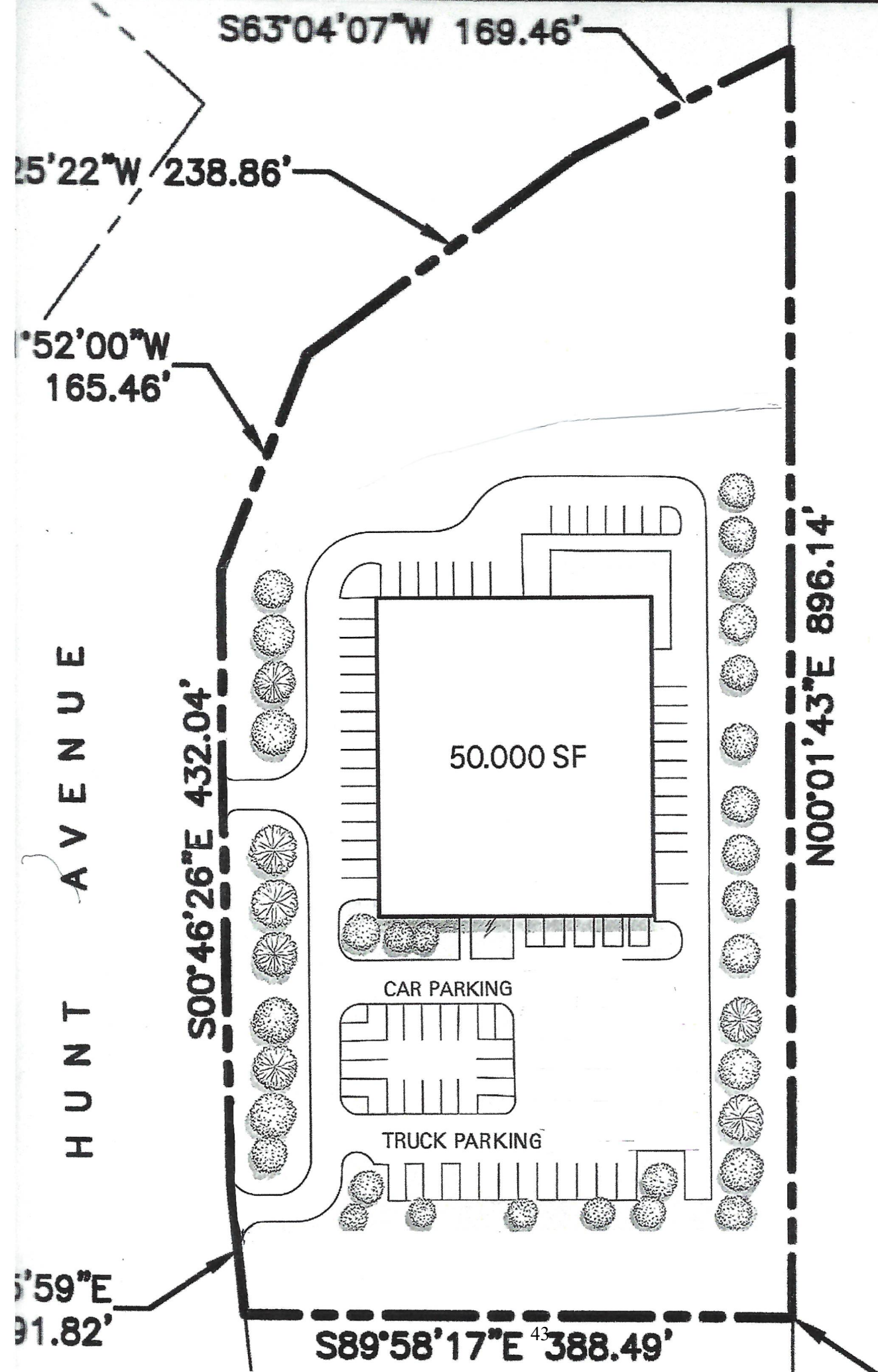
LKM Investments ETAL

CC:

Moises Monrroy, Planner, Community Development Department-mmonrroy@councilbluffs-ia.gov

Greg Mahloch, d.b.a GAM4 Holdings LLC- Mahloch8@aol.com

PART OF THE SW 1/4 OF THE NE 1/4 OF SECTION 22-75-43



NOTICE OF PUBLIC HEARING

You are hereby notified that the City Council of the City of Council Bluffs, Iowa, has scheduled a public hearing for June 23, 2025 at 7:00 p.m. in the City Council Chambers, 2nd Floor of City Hall, 209 Pearl Street, Council Bluffs at which time all persons interested in this matter will be given an opportunity to be heard on the request of LKM Investments LLC to rezone property legally described as a tract of land located in part of the SE ¼ NW ¼, except the southerly 344.75 feet thereof, lying east of Hunt Avenue, all in Section 22-75-43, City of Council Bluffs, Pottawattamie County, Iowa from A-2/Parks, Estates and Agricultural District to I-1/Light Industrial District.

Jodi Quakenbush, City Clerk

ORDINANCE NO. 6651

AN ORDINANCE TO AMEND THE ZONING MAP OF THE CITY OF COUNCIL BLUFFS, IOWA, AS ADOPTED BY REFERENCE IN SECTION 15.27.020 OF THE 2025 MUNICIPAL CODE OF COUNCIL BLUFFS, IOWA, BY REZONING PROPERTY LEGALLY DESCRIBED AS A TRACT OF LAND LOCATED IN PART OF THE SE ¼ NW ¼, EXCEPT THE SOUTHERLY 344.75 FEET THEREOF, LYING EAST OF HUNT AVENUE, ALL IN SECTION 22-75-43, CITY OF COUNCIL BLUFFS, POTTAWATTAMIE COUNTY, IOWA FROM A-2/PARKS, ESTATES AND AGRICULTURAL DISTRICT TO I-1/LIGHT INDUSTRIAL DISTRICT AND DEFINED IN CHAPTER 15.20 OF THE MUNICIPAL CODE OF COUNCIL BLUFFS, IOWA.

**BE IT ORDAINED
BY THE CITY COUNCIL
OF THE
CITY OF COUNCIL BLUFFS, IOWA**

SECTION 1. That the Zoning Map of the City of Council Bluffs, Iowa, as adopted by reference in Section 15.02.070 of the 2020 Municipal Code of the City of Council Bluffs, Iowa, be and the same is hereby amended by rezoning property legally described as a tract of land located in part of the SE ¼ NW ¼, except the southerly 344.75 feet thereof, lying east of Hunt Avenue, all in Section 22-75-43, City of Council Bluffs, Pottawattamie County, Iowa from A-2/Parks, Estates and Agricultural District to I-1/Light Industrial District, as set forth and defined in Chapter 15.20 of the Municipal Code of Council Bluffs, Iowa.

SECTION 2. REPEALER. All ordinances or parts of ordinances in conflict with the provisions of this ordinance are hereby repealed.

SECTION 3. SEVERABILITY CLAUSE. If any of the provisions of this ordinance are for any reason declared illegal or void, then the lawful provisions of this ordinance which are severable from said unlawful provisions shall be and remain in full force and effect, the same as if the ordinance contained no illegal or void provisions.

SECTION 4. EFFECTIVE DATE. This ordinance shall be in full force and effect from and after its final passage and publication, as by law provided.

ADOPTED AND APPROVED

June 23, 2025.

MATTHEW J. WALSH

Mayor

Attest: _____

JODI QUAKENBUSH

City Clerk

First Consideration: 6-9-25

Second Consideration: 6-23-25

Public Hearing: 6-23-25

Third Consideration: _____

Council Communication

Department: Legal
Case/Project No.:
Submitted by: Graham Jura on behalf of CD

Resolution 25-147
ITEM 3.F.

Council Action: 6/9/2025

Description

Resolution of intent to dispose of city property legally described as the North ½ of vacated 42nd Avenue right-of-way lying between Indian Creek and South 13th Street, abutting legally described as the west 200 feet of the east 1152.38 feet of the SE 1/4 SE 1/4 of Section 11-74-44 lying south of Highway 275 and north of 42nd Avenue.

Background/Discussion

The City originally vacated and disposed of city owned property legally described above to G.A.C.H. LLC pursuant to Resolution 20-224 amended on September 28, 2020. Prior to conveyance of the property, G.A.C.H. LLC sold their interest in an adjacent property to Jake Sulley, who now wishes to proceed with purchase of the parcel under the same terms.

Recommendation

Approval is recommended.

ATTACHMENTS:

Description

[Attachment](#)

[Public Hearing Notice](#)

[Resolution 25-147](#)

Type

Other

Notice

Resolution

Upload Date

5/28/2025

5/28/2025

6/4/2025



8 5 7 0 7 6 6

Tx:4992402

2020-15113

RECORDER MARK BRANDENBURG

POTTAWATTAMIE COUNTY, IA

FILE TIME: 10/14/2020 01:25:58 PM

RECORDING FEE	25.00
AUDITOR FEE	5.00
RMA FEE	1.00
ECM FEE	1.00

R FEES 25⁰⁰ RMA \$ 1⁰⁰
 A FEES 5⁰⁰ ECOM \$ 1⁰⁰
 T TAX\$ _____

Return to: City Clerk, 209 Pearl Street, Co. Bluffs, IA 51503 - Phone: (712) 890-5261
Prepared by: Community Development Dept., Co. Bluffs, IA 51503 - Phone: (712) 890-5350

RESOLUTION NO. 20-224 amended

A RESOLUTION TO VACATE AND DISPOSE OF 42ND AVENUE RIGHT-OF-WAY LYING BETWEEN INDIAN CREEK AND SOUTH 13TH STREET, CITY OF COUNCIL BLUFFS, POTTAWATTAMIE COUNTY, IOWA.

WHEREAS, The city-owned right-of-way described as follows: 42nd Avenue right-of-way lying between Indian Creek and South 13th Street, City of Council Bluffs, Pottawattamie County; and

WHEREAS, a public meeting was held on this matter on the 14th day of September, 2020; and

WHEREAS, pursuant to Iowa Code Section 354.23, the City Council declares its intent to dispose of this City right-of-way by conveying and quitclaiming all of its right, title, and interest in it to the abutting property owner(s); and

WHEREAS, this conveyance is subject to the reservation of a permanent and perpetual utilities easement of way in favor of the City of Council Bluffs, for the maintenance of any and all utilities equipment presently in place, and for such reconstruction, re-emplacement and repair thereof which said City and its licensees and/or franchise grantees may in the future deem necessary and proper, and for the removal of any improvements emplaced thereon by the grantees, or their successors or assigns, necessitated by the reconstruction, re-emplacement, or repair of such utilities, such removal to be at the sole expense of grantees or their successors or assigns and without cost to the City, its licensees and/or franchise grantees, and without obligation to repair or replace such improvements, and subject to any and all other easements and right-of-way of record and those not of record.

**NOW, THEREFORE, BE IT RESOLVED
 BY THE CITY COUNCIL
 OF THE
 CITY OF COUNCIL BLUFFS, IOWA**

That the above-described city right-of-way is hereby conveyed as follows:

North Shore Manawa Holdings LLC and all successors in interest: The South ½ of vacated 42nd Avenue right-of-way lying between Indian Creek and South 13th Street, abutting property legally described as that part of the NE ¼ NE ¼ of Section 14-74-44 lying south of 42nd Avenue and north of the State Park except the East 244.5 feet along with the northerly 1055.66 feet of the NW ¼ NE ¼ lying east of Indian Creek, for the total sum of \$20,124.62.

SML Management LLC and all successors in interest: The North ½ of vacated 42nd Avenue right-of-way lying between Indian Creek and South 13th Street, abutting legally described as part of the SE ¼ SE ¼ of Section 11-74-44 lying south of Highway 275 and north of 42nd Avenue being the west 400.75 feet of the east 952.38 feet, except the road for the total sum of \$3,417.88.

G.A.C.H. LLC and all successors in interest: The North ½ of vacated 42nd Avenue right-of-way lying between Indian Creek and South 13th Street, abutting legally described as the west 200 feet of the east 1152.38 feet of the SE ¼ SE ¼ of Section 11-74-44 lying south of Highway 275 and north of 42nd Avenue, for the total sum of \$1,475.00.

Leach Camper Sales, Inc. and all successors in interest: The North ½ of vacated 42nd Avenue right-of-way lying between Indian Creek and South 13th Street, abutting legally described as being part of the SW ¼ SE ¼ of Section 11-74-44 lying south of Highway 275, north of 42nd Avenue and east of Indian Creek along with that part of the SE ¼ SE ¼ of Section 11-74-44 lying south of Highway 275 and North of 42nd Avenue except the east 1152.38 feet, for the total sum of \$12,371.66.

BE IT FURTHER RESOLVED

That the Mayor and the City Clerk be and are hereby authorized, empowered and directed to execute a City deed conveying the City's interest in the above-described right-of-way; and

BE IT FURTHER RESOLVED

That the City Clerk is directed to deliver this resolution and attached documents to the County Recorder according to Iowa Code Section 354.23.


ADOPTED

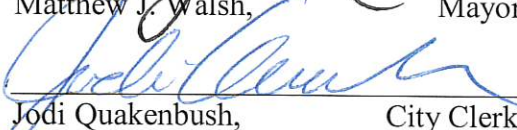
AND

APPROVED:

September 28, 2020.

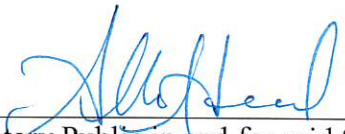
ATTEST:


Matthew J. Walsh, Mayor

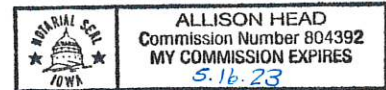

Jodi Quakenbush, City Clerk

STATE OF IOWA)
COUNTY OF)ss
POTTAWATTAMIE)

On this 29th day of September, 2020, before me the undersigned, a Notary Public in and for said County and said State, personally appeared Matthew J. Walsh and Jodi Quakenbush, to me personally known, who, being by me duly sworn, did say that they are the Mayor and City Clerk respectively, of the said City of Council Bluffs, Iowa, a Municipal Corporation, that the seal affixed hereto is the seal of said Municipal Corporation; that said instrument was signed and sealed on behalf of the said City of Council Bluffs, Iowa, by authority of its City Council; and that said Matthew J. Walsh and said Jodi Quakenbush, as such officers, acknowledged the execution of said instrument to be the voluntary act and deed of said City, by it and by them voluntarily executed.



Notary Public in and for said State



Council Communication

Department: City Clerk
Case/Project No.: SAV-20-005
Submitted by: Moises Monrroy, Planner

Resolutions 20-224 amended
ITEM 8.A.

Council Action: 9/28/2020

Description

Resolution 20-224 to vacate and dispose of 42nd Avenue right-of-way lying between Indian Creek and South 13th Street. Location: Immediately South of properties addressed as 1301, 1403, and 1629 Veterans Memorial Highway. SAV-20-005

Background/Discussion

It was discovered a wrong entity name was stated in Resolution No. 20-224 (approved 9-14-20) which vacated and dispose of 42nd Avenue right-of-way in association with K.C. Knudson's Lake Manawa redevelopment project. The entity name James L. Moss Jr. is incorrect. It should've read Leach Camper Sales, Inc. and all successors in interest.
Amended Resolution showing correct name is highlighted as only amendment to this Resolution.

Recommendation

ATTACHMENTS:

Description	Type	Upload Date
Resolution 20-224 amended	Resolution	9/22/2020

DISCLAIMER

This map is prepared and compiled from City documents, plans and other public records data. Users of this map are hereby notified that the City expressly denies any and all responsibilities for errors, if any, in the information contained on this map of the nature of the same by the user or anyone else. The user should verify the accuracy of information/data contained on this map before using it. The City assumes no legal responsibility for the information contained on this map.

Proof Of Publication

State of Iowa

Pottawattamie County

NOTICE OF PUBLIC HEARING ON INTENT TO VACATE CITY PROPERTY

TO WHOM IT MAY CONCERN:

You and each of you are hereby notified that the City Council of the City of Council Bluffs, Iowa, has scheduled a public hearing on the request of Knudson Companies to vacate and dispose of 42nd Avenue right-of-way lying between Indian Creek and South 13th Street, City of Council Bluffs, Pottawattamie County, Iowa.

You are further notified that the public hearing on said matter will be held by the City Council of the City of Council Bluffs, Iowa, at its regular meeting held at 7:00 p.m. on the 14th day of September, 2020 in the City Council Chambers, 2nd Floor of City Hall, 209 Pearl Street, Council Bluffs, Iowa at which time and place all persons interested in said matter will be given an opportunity to be heard.

Jodi Quakenbush, City Clerk
2020(9)6-1 Sunday


I, Tom Schmitt, on my oath do solemnly that I am Publisher of the COUNCIL BLUFFS DAILY NONPAREIL, a newspaper issued DAILY and printed in said county, COUNCIL BLUFFS, IOWA.

The attached notice was published in said newspaper 1 consecutive time(s) as follows:

The First publication thereof began on the 06th day of September, 2020.

Signed in my presence by the said Tom Schmitt and by her sworn to before me this 6th day of September, A.D. 2020.


Tom Schmitt
Daily Nonpareil Publisher


Jeannette Johnson
Notary Public

Filed this 6th day of September, A.D. 2020.

Publication Cost: \$15.60



JEANNETTE JOHNSON
Commission Number 144856
MY COMMISSION EXPIRES
OCTOBER 1, 2020

Customer Number: 1003258

Order Number: 0000170623

**NOTICE OF PUBLIC HEARING
ON INTENT TO DISPOSE AND CONVEY CITY PROPERTY**

TO WHOM IT MAY CONCERN:

You and each of you are hereby notified that the City Council of the City of Council Bluffs, Iowa, has scheduled a public hearing on the intent to dispose of property legally described as the North ½ of vacated 42nd Avenue right-of-way lying between Indian Creek and South 13th Street, abutting legally described as the west 200 feet of the east 1152.38 feet of the SE 1/4 SE 1/4 of Section 11-74-44 lying south of Highway 275 and north of 42nd Avenue, City of Council Bluffs, Pottawattamie County, Iowa.

You are further notified that a public hearing on said matter will be held by the City Council of the City of Council Bluffs, Iowa, at its regular meeting held at 7:00 p.m., on the 23rd day of June, 2025, in the City Council Chambers, 2nd Floor of City Hall, 209 Pearl Street, Council Bluffs, Iowa at which time and place all persons interested in said matter will be given an opportunity to be heard.

Jodi Quakenbush

City Clerk

CWM

RESOLUTION NO. 25-147

A RESOLUTION OF INTENT TO DISPOSE OF CITY PROPERTY LEGALLY DESCRIBED AS THE NORTH ½ OF VACATED 42ND AVENUE RIGHT-OF-WAY LYING BETWEEN INDIAN CREEK AND SOUTH 13TH STREET, ABUTTING LEGALLY DESCRIBED AS THE WEST 200 FEET OF THE EAST 1152.38 FEET OF THE SE ¼ SE ¼ OF SECTION 11-74-44 LYING SOUTH OF HIGHWAY 275 AND NORTH OF 42ND AVENUE, CITY OF COUNCIL BLUFFS, POTTAWATTAMIE COUNTY, IOWA.

WHEREAS, the City vacated the parcel bearing the legal description above pursuant to Resolution No. 20-224 amended on September 28, 2020, filed in Book 2020 Page 15113, on October 14, 2020, Pottawattamie County Recorder's Office, Pottawattamie County, Iowa; and

WHEREAS, such parcel bearing the legal description above was initially directed to be sold to G.A.C.H. LLC and all successors in interest, pursuant to Resolution No. 20-224 amended on September 28, 2020, as such party owned the adjacent land at that time; and

WHEREAS, prior to conveyance of the parcel bearing the legal description above by the City, G.A.C.H. LLC has since sold its adjacent property to Jake Sulley; and

WHEREAS, City hereby intends to dispose of the parcel bearing the legal description above to Jake Sulley as described herein and sets a public hearing on the intent to dispose on June 23, 2025 at 7:00 p.m.; and

**NOW, THEREFORE, BE IT RESOLVED
BY THE CITY COUNCIL
OF THE
CITY OF COUNCIL BLUFFS, IOWA**

That the City does hereby express its intent to dispose of City owned property legally described as the North ½ of vacated 42nd Avenue right-of-way lying between Indian Creek and South 13th Street, abutting legally described as the west 200 feet of the east 1152.38 feet of the SE 1/4 SE 1/4 of Section 11-74-44 lying south of Highway 275 and north of 42nd Avenue, to Jake Sulley for the total sum of \$1,475.00; and

BE IT FURTHER RESOLVED

That a public hearing be scheduled for June 23, 2025 at 7:00 p.m.

ADOPTED AND APPROVED

June 9, 2025

Matthew J. Walsh

Mayor

ATTEST:

Jodi Quakenbush

City Clerk

Council Communication

Department: Mayor
Case/Project No.: Boards/Commissions
Submitted by: Matt Walsh

Boards/Commissions
ITEM 3.G.

Council Action: 6/9/2025

Description

Storm Water Advisory Committee, Library Board of Trustees, & Board of Water Works Trustees

Background/Discussion

With City Council concurrence, I would like to make the following reappointments:

Reappoint the following to the Storm Water Advisory Committee with term expiring 06/30/2029:

Mary Anne Bragg
305 Buena Vista Cir.

Reappoint the following to the Library Board of Trustees with term expiring 07/01/2028:

Cindi Keithley
1025 Arbor Ridge Cir.

Jared Tripp
15 Scarlet Oaks

John Erixon
5004 Providence

Reappoint the following to the Board of Water Works Trustees with term expiring 06/30/2031:

Marty Brooks
1502 Oran Circle

Recommendation

Council Communication

Department: City Clerk
Case/Project No.:
Submitted by:

Right of Redemption
ITEM 3.H.

Council Action: 6/9/2025

Description

Background/Discussion

Recommendation

ATTACHMENTS:

Description	Type	Upload Date
Right of Redemption	Other	6/4/2025

NOTICE OF EXPIRATION OF RIGHT OF REDEMPTION

IAT 145, LLC c/o Stearns Bank NA as Custodian

CLERK ROOM
9 JUN 25
PM 4:02

TO: ANY AND ALL ENTITIES AND/OR PERSON(S) IN POSSESSION OF THE PARCEL
HEREIN DESCRIBED

Dustin Wayne Clark 1505 Cheyenne Ln Council Bluffs, IA 51501 - Owner
Person in Possession 1505 Cheyenne Ln Council Bluffs, IA 51501 - Person in Possession
First Premier Bank POB 1348 Sioux Falls, SD 57101 - EQCV121295
City of Council Bluffs c/o City Clerk 209 Pearl St. Council Bluffs, IA 51503 - City Clerk
The Grove at Council Bluffs 3200 Chippewa Ln Council Bluffs, IA 51501 - Mobile Home Park
The Grove @ Council Bluffs MHC LLC 2151 Priest Bridge Dr. Ste 7 Crofton, MD 21114 - MHP Owner
Pottawattamie Cty Treasurer 227 S 6th St. Council Bluffs, IA 51501 - County Treasurer
Pottawattamie Cty Auditor 227 S 6th St. Council Bluffs, IA 51501 - County Auditor
Pottawattamie Cty Attorney 227 S 6th St. Council Bluffs, IA 51501 - Judgments/Liens
Iowa Attorney General 1305 E. Walnut St. #102 Des Moines, IA 50319 - Judgments/Liens
ANY OTHER UNKNOWN PERSONS WITH INTEREST

All of the heirs, spouses, assignees, grantees, legatees, devisees, and successors in interest both known and unknown and all unknown claimants claiming to have any recorded or unrecorded right, title, or interest in and to the parcel hereinafter described.

In accordance with Iowa Code Section 447.9 you are hereby notified that on 6/19/2023, the following described parcel, situated in Pottawattamie County, Iowa, to-wit:

78-AF04201 1999 Superior VIN 059949403990AB a/k/a PARCEL # 059949403990AB a/k/a 1505 Cheyenne Ln Council Bluffs, IA 51501 a/k/a Cert No. 23-0125

Was sold at tax sale by the Treasurer of Pottawattamie County for the then delinquent and unpaid taxes and/or special assessments against the property, which a Certificate of Purchase was duly issued by the County Treasurer of Pottawattamie County to IAT 145, LLC c/o Stearns Bank NA as Custodian pursuant to said tax sale, which certificate is now lawfully held and owned by IAT 145, LLC c/o Stearns Bank NA as Custodian, and that the right of redemption will expire and a deed for the said property will be made unless redemption from said tax sale is made within ninety (90) days from the completed service of this Notice.

IAT 145, LLC c/o Stearns Bank NA as Custodian

By: _____

Mike Klemme (Member)

PO Box 506

Le Mars, Iowa 51031

Action by Council:

Receive & File:

Date: 6-9-25

NOTICE OF EXPIRATION OF RIGHT OF REDEMPTION

Horse Creek LLC c/o Stearns Bank NA as Custodian

CLERK
JUL 25
2023

TO: ANY AND ALL ENTITIES AND/OR PERSON(S) IN POSSESSION OF THE PARCEL
HEREIN DESCRIBED

Sheila B. Felix 3027 12th Ave Council Bluffs, IA 51501 - Owner
Person in Possession 3027 12th Ave Council Bluffs, IA 51501 - Person in Possession
Sheila B. Felix 4612 N 93rd St. Omaha, NE 68134 - Owner
City of Council Bluffs c/o City Clerk 209 Pearl St. Council Bluffs, IA 51503 - City Clerk
Overland Mobile Home Park 3003 12th Ave Council Bluffs, IA 51501 - Mobile Home Park
Overland Park LE 1 LLC 404 Edgewood Ave Clearwater, FL 33755 - Mobile Home Park Owner
Pottawattamie Cty Treasurer 227 S 6th St. Council Bluffs, IA 51501 - County Treasurer
Pottawattamie Cty Auditor 227 S 6th St. Council Bluffs, IA 51501 - County Auditor
Pottawattamie Cty Attorney 227 S 6th St. Council Bluffs, IA 51501 - Judgments/Liens
Iowa Attorney General 1305 E. Walnut St. #102 Des Moines, IA 50319 - Judgments/Liens
ANY OTHER UNKNOWN PERSONS WITH INTEREST

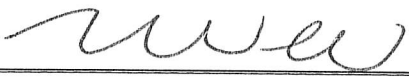
All of the heirs, spouses, assignees, grantees, legatees, devisees, and successors in interest both known and unknown and all unknown claimants claiming to have any recorded or unrecorded right, title, or interest in and to the parcel hereinafter described.

In accordance with Iowa Code Section 447.9 you are hereby notified that on 6/19/2023, the following described parcel, situated in Pottawattamie County, Iowa, to-wit:

78AF81838 2021 Clayton VIN WK2104032IN a/k/a PARCEL # WK2104032IN a/k/a 3027 12th Ave Council Bluffs, IA 50501 a/k/a Cert No. 23-0121

Was sold at tax sale by the Treasurer of Pottawattamie County for the then delinquent and unpaid taxes and/or special assessments against the property, which a Certificate of Purchase was duly issued by the County Treasurer of Pottawattamie County to Horse Creek LLC c/o Stearns Bank NA as Custodian pursuant to said tax sale, which certificate is now lawfully held and owned by Horse Creek LLC c/o Stearns Bank NA as Custodian, and that the right of redemption will expire and a deed for the said property will be made unless redemption from said tax sale is made within ninety (90) days from the completed service of this Notice.

Horse Creek LLC c/o Stearns Bank NA as Custodian

By: 
Mike Klemme (Member)
PO Box 506
Le Mars, Iowa 51031

Action by Council:

Receive & File:

Date: 6-9-25

B

59

NOTICE OF EXPIRATION OF RIGHT OF REDEMPTION

Jesup Holdings LLC c/o Stearns Bank NA as Custodian

CLERK RCD
8 JUL 23
PM 4:03

TO: ANY AND ALL ENTITIES AND/OR PERSON(S) IN POSSESSION OF THE PARCEL
HEREIN DESCRIBED

Romaldo Andres Lopez 1517 Winona Ln Council Bluffs, IA 51501 - Owner
Person in Possession 1517 Winona Ln Council Bluffs, IA 51501 - Person in Possession
City of Council Bluffs c/o City Clerk 209 Pearl St. Council Bluffs, IA 51503 - City Clerk
The Grove at Council Bluffs 3200 Chippewa Ln Council Bluffs, IA 51501 - Mobile Home Park
The Grove @ Council Bluffs MHC LLC 2151 Priest Bridge Dr. Ste 7 Crofton, MD 21114 - MHP Owner
Pottawattamie Cty Treasurer 227 S 6th St. Council Bluffs, IA 51501 - County Treasurer
Pottawattamie Cty Auditor 227 S 6th St. Council Bluffs, IA 51501 - County Auditor
Pottawattamie Cty Attorney 227 S 6th St. Council Bluffs, IA 51501 - Judgments/Liens
Iowa Attorney General 1305 E. Walnut St. #102 Des Moines, IA 50319 - Judgments/Liens
ANY OTHER UNKNOWN PERSONS WITH INTEREST


All of the heirs, spouses, assignees, grantees, legatees, devisees, and successors in interest both known and unknown and all unknown claimants claiming to have any recorded or unrecorded right, title, or interest in and to the parcel hereinafter described.

In accordance with Iowa Code Section 447.9 you are hereby notified that on 6/19/2023, the following described parcel, situated in Pottawattamie County, Iowa, to-wit:

78-AG22553 2000 Friendship VIN MY0021640V a/k/a PARCEL # MY0021640V a/k/a 1517 Winona Ln Council Bluffs, IA 51501 a/k/a Cert No. 23-0138

Was sold at tax sale by the Treasurer of Pottawattamie County for the then delinquent and unpaid taxes and/or special assessments against the property, which a Certificate of Purchase was duly issued by the County Treasurer of Pottawattamie County to Jesup Holdings LLC c/o Stearns Bank NA as Custodian pursuant to said tax sale, which certificate is now lawfully held and owned by Jesup Holdings LLC c/o Stearns Bank NA as Custodian, and that the right of redemption will expire and a deed for the said property will be made unless redemption from said tax sale is made within ninety (90) days from the completed service of this Notice.

Jesup Holdings LLC c/o Stearns Bank NA as Custodian

By: 
Mike Klemme (Member)
PO Box 506
Le Mars, Iowa 51031

Action by Council:
Receive & File:

Date: 6-9-25

Council Communication

Department: City Clerk

Case/Project No.:

Submitted by:

Claims
ITEM 3.I.

Council Action: 6/9/2025

Description

Background/Discussion

Recommendation

ATTACHMENTS:

Description	Type	Upload Date
Claims	Other	6/4/2025

RETURN TO: CITY OF COUNCIL BLUFFS, IOWA
ATTN: CITY LEGAL DEPARTMENT
OR CITY CLERK
209 PEARL STREET
COUNCIL BLUFFS, IA 51503

CITY CLAIM NO. 25-PW-2296

NOTICE OF CLAIM/LOSS

NAME OF CLAIMANT: American Family Insurance as Subrogee of Todd Thompson DAY PHONE: [REDACTED]

ADDRESS: [REDACTED] DOB: _____

DATE & TIME OF LOSS/ACCIDENT: 02/05/2025 around 10:00PM

LOCATION OF LOSS/ACCIDENT: 12 Oaks Dr Council Bluffs, IA

DESCRIPTION OF LOSS/ACCIDENT: _____
Our insured's vehicle was parked on the roadway. City of Council Bluffs Snow Plow slid into our vehicle.

(USE BACK OF FORM, IF NECESSARY)
TOTAL DAMAGES CLAIMED: \$ 8682.05

WITNESS(ES) (Name(s), Address(es), Phone No(s)) _____

WAS POLICE REPORT FILED ____ YES ☒ NO

IF MEDICAL ATTENTION WAS REQUIRED, PLEASE PROVIDE NAME, ADDRESS, AND TELEPHONE NO. OF TREATING PHYSICIAN AND FACILITY:

HAVE YOU RESUMED NORMAL ACTIVITIES? ☒ YES ____ NO

IF YOU INCURRED PROPERTY DAMAGE, PLEASE DESCRIBE AND PROVIDE COPIES OF ESTIMATES, INVOICES, PHOTOGRAPHS, AND ANY
OTHER RELEVANT INFORMATION: Attached

LIST INSURANCE PROVIDER AND COVERAGE [REDACTED]

I HEREBY CERTIFY UNDER PENALTY OF PERJURY THAT THE ABOVE INFORMATION IN SUPPORT OF MY
CLAIM IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE.

NOTE: IT IS A FRAUDULENT PRACTICE PUNISHABLE BY FINE OR IMPRISONMENT TO KNOWINGLY MAKE A
FALSE CLAIM (SECTION 714.8(3) CODE OF IOWA)

4/29/2025
DATE

Joshua Pecoraro
CLAIMANT'S SIGNATURE

CLERK RCVD

16 MAY '25

PM 12:34

Action by Council:
Receive & File:

Date: 6-9-25

CITY CLAIM NO. 85-PW-2297

RETURN TO: CITY OF COUNCIL BLUFFS, IOWA
ATTN: CITY LEGAL DEPARTMENT
OR CITY CLERK
209 PEARL STREET
COUNCIL BLUFFS, IA 51503

NOTICE OF CLAIM/LOSS

NAME OF CLAIMANT: Britney Nicole Moreland

ADDRESS: [REDACTED]

DOB: [REDACTED]

DAY PHONE: [REDACTED]

DATE & TIME OF LOSS/ACCIDENT: 5:30-5:40 AM 6-2-25

LOCATION OF LOSS/ACCIDENT: I 29 mile marker 51 1/2 to 52

DESCRIPTION OF LOSS/ACCIDENT: A police pursuit, I went to pull off on

the right side. As soon as I did I seen the

construction sign. I tried to lay in the grass.

I tried to swerve to miss it. But it... (USE BACK OF FORM, IF NECESSARY) ->

TOTAL DAMAGES CLAIMED: \$ Not sure Have not went to a body shop yet

WITNESS(ES) (Name(s), Address(es), Phone No(s))

I called the chief of the council bluffs

police department, as soon as I got to work.

WAS POLICE REPORT FILED YES NO

IF MEDICAL ATTENTION WAS REQUIRED, PLEASE PROVIDE NAME, ADDRESS, AND TELEPHONE NO. OF TREATING PHYSICIAN AND FACILITY:

IF YOU INCURRED PROPERTY DAMAGE, PLEASE DESCRIBE AND PROVIDE COPIES OF ESTIMATES, INVOICES, PHOTOGRAPHS, AND ANY

HAVE YOU RESUMED NORMAL ACTIVITIES? YES ☒ NO ☐

OTHER RELEVANT INFORMATION:

LIST INSURANCE PROVIDER AND COVERAGE:

State Farm. Full coverage

I HEREBY CERTIFY UNDER PENALTY OF PERJURY THAT THE ABOVE INFORMATION IN SUPPORT OF MY

CLAIM IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE.

NOTE: IT IS A FRAUDULENT PRACTICE PUNISHABLE BY FINE OR IMPRISONMENT TO KNOWINGLY MAKE A

DATE 6-2-25

CLAIMANT'S SIGNATURE

Action by Council:
Receive & File:

Britney Nicole Moreland



Date: 6-9-25

Council Communication

Department: Mayor
Case/Project No.:
Submitted by:

NeighborWorks Week
ITEM 4.A.

Council Action: 6/9/2025

Description

Background/Discussion

Recommendation

ATTACHMENTS:

Description	Type	Upload Date
NeighborWorks Week	Proclamation	5/22/2025

City of Council Bluffs Iowa

Office of the Mayor P R O C L A M A T I O N

- WHEREAS,** NeighborWorks® Week was initiated in 1984 by a United States congressional resolution cosponsored by more than 240 members of Congress; and
- WHEREAS,** the formal introduction of NeighborWorks® Week occurred in the spring of 1986 and began an annual, national celebration held the first through the second Saturday in June; and
- WHEREAS,** NeighborWorks® Week is a celebration of neighborhood pride and unity among nearly 250 organizations in all 50 states; and
- WHEREAS,** NeighborWorks® Week celebrates the efforts of local organizations working with partners and volunteers to create healthier communities; and
- WHEREAS,** NeighborWorks® Home Solutions, a NeighborWorks® organization, has worked in Council Bluffs for 16 years.

NOW, THEREFORE, I, Matthew J. Walsh, Mayor of the City of Council Bluffs, Iowa, do hereby proclaim June 7th – 14th, 2025 as

NeighborWorks® Week

in the City of Council Bluffs, Iowa, and honor of the invaluable contributions of NeighborWorks® Home Solutions and the entire NeighborWorks® network to our community and beyond.



IN WITNESS WHEREOF, I have hereunto set my hand and caused the official seal of the City of Council Bluffs, Iowa to be affixed this 9th day of June, in the year Two Thousand Twenty-Five.


Matthew J. Walsh, Mayor

Council Communication

Department: Community Development
Case/Project No.: URV-25-005
Submitted by: Marianne Collins, Housing &
Economic Development Planner

Resolution 25-148
ITEM 5.A.

Council Action: 6/9/2025

Description
Resolution approving the Amended and Restated Consolidated Urban Revitalization Plan Amendment 2.
Background/Discussion
See attached staff report.
Recommendation

ATTACHMENTS:

Description	Type	Upload Date
Staff Report	Staff Report	5/30/2025
Attachment A – Amended and Restated Consolidated Urban Revitalization Plan - Amendment 2	Other	5/30/2025
Attachment B – Boundary Map for Kanesville Subarea	Map	5/30/2025
Attachment C – Boundary Map for Valley View South Subarea	Map	5/30/2025
Resolution 25-148	Resolution	6/4/2025

Council Communication

Department: Community Development	Reso No:	Resolution of Intent: 05/05/2025
Case No.: URV-25-005	Ordinance No.:	Planning Commission: 05/13/2025
Submitted by: Housing & Economic Development		Public Hearing & First Reading: 06/09/2025
		Second Reading: 06/23/2025
		Third Reading: Request to Waive
Subject/Title		
Amendment to add two additional subareas, Kanesville Subarea and Valley View South Subarea to the Amended and Restated Consolidated Urban Revitalization Plan-Amendment 1.		
Background/Discussion		
<p><u>Background</u></p> <p>Chapter 404 of the Iowa Code authorizes a City to designate an area as an urban revitalization area. Improvements to qualified real estate within designated areas may then be eligible to receive a total or partial exemption from property taxes for a specified number of years. The exemptions are intended to stimulate private investment by reducing the tax increase that would normally result from making improvements to real estate property.</p> <p>Urban revitalization tax abatement incentives can apply to residential, commercial and industrial development. Both new construction on vacant or unimproved land and rehabilitation of existing structures are eligible for tax abatement.</p> <p>Staff has prepared an Amended and Restated Consolidated Urban Revitalization Plan-Amendment 2, including Kanesville Subarea and Valley View South Subarea, in accordance with Chapter 404.2 of the Iowa Code and has scheduled the matter for City Council consideration.</p> <p><u>Discussion</u></p> <p>Iowa Code permits the City to establish urban revitalization areas which satisfy one of the five conditions outlined in Section 404.1. Staff believes this project meets the criteria under 404.1.4. Section 404.1.4 discusses an area which is appropriate as an economic development area as defined in section 403.17. Section 403.17 states an economic development area means an area of a municipality designated by the local governing body as appropriate for commercial and industrial enterprises..</p> <p>City Council approved the Amended and Restated Consolidated Urban Revitalization Plan April 22, 2024 with Ordinance 6603. The Consolidated Plan included the 17 current Urban Revitalization Area Plans. City Council approved the Amended and Restated Consolidated Urban Revitalization Plan-Amendment 1 October 21, 2024 with Ordinance 6614. The Amendment added the 1st Avenue & 17th Street Subarea and extended the period of abatement for new construction multi-family housing developments. Community Development is proposing adding two additional Subareas.</p> <p>Two updates are included in the Amended and Restated Consolidated Urban Revitalization Plan - Amendment 2:</p> <ol style="list-style-type: none"> 1. Additional Area Added: The City is working with a developer that has plans of adding 		

Council Communication

commercial buildings. It is located east of interstate 80 and north of highway 6. The area is comprised of 57.43 acres, more or less, of land. If the Kanesville Subarea is approved, the project as proposed could be eligible for full exemption for 3 years or a sliding scale for 10 years from taxation.

2. Additional Area Added: The City is working with a developer that has plans of adding a commercial building. It is located east of Valley View Drive and west of interstate 80 between Franklin Avenue and McPherson Ave. The area is comprised of 2.73 acres, more or less, of land. If the Valley View South Subarea is approved, the project as proposed could be eligible for full exemption for 3 years or a sliding scale for 10 years from taxation.

On May 5, 2025, City Council approved Resolution 25-120, which directed staff to initiate the process of amending the Amended and Restated Consolidated Urban Revitalization Plan-Amendment 1 and Area. This resolution set June 9, 2025 as the date of the public hearing.

This matter was brought before the City Planning Commission at their May 13, 2025 meeting. The Commission found the following: 1) That the proposed Amended and Restated Consolidated Urban Revitalization Plan furthers the goals of the City's *Bluffs Tomorrow: 2030 Plan*, which is the general plan for the development of the City of Council Bluffs; and 2) That the Amended and Restated Consolidated Urban Revitalization Area is an area appropriate for economic development as specified in Section 403.17.

Property owners were notified and no written correspondence was received by the Community Development Department either in support or against the proposed plan. Concurrent with the adoption of an urban revitalization plan, an ordinance establishing the urban revitalization area can be considered. Upon adoption of the area and approval of an ordinance, the City is permitted to grant tax abatement to qualified projects.

Staff Recommendation

The Community Development Department recommends approval of the Amended and Restated Consolidated Urban Revitalization Plan-Amendment 2 and Area and 1st consideration of the ordinance.

Planning Commission Recommendation

The Planning Commission recommended approval of the Amended and Restated Consolidated Urban Revitalization Plan-Amendment 2 and Area.

Staff speakers for the request:

1. Courtney Harter, Director Planning & Community Development, City of Council Bluffs

Speakers in favor: None

Speakers in opposition: None

Vote: 6-0-1 (1 absent, 3 vacant)

AYE – Freund, Knauss, Rater, Stroebele, Van Houten and Watson

Council Communication

NAY – None
ABSTAIN – Rew
ABSENT – Hutcheson
Motion: Carried

Attachments

Attachment A – Amended and Restated Consolidated Urban Revitalization Plan - Amendment 2
Attachment B – Boundary Map for Kanesville Subarea
Attachment C – Boundary Map for Valley View South Subarea

Prepared by: Marianne Collins, Housing & Economic Development Planner, Community Development Department
Submitted by: Courtney Harter, Director Planning & Community Development, Community Development Department

**AMENDED AND RESTATED
CONSOLIDATED
URBAN REVITALIZATION PLAN
AMENDMENT #2**

FOR THE

CITY OF COUNCIL BLUFFS, IOWA

2024

**AMENDMENT NO. 2
TO THE
AMENDED AND RESTATED
CONSOLIDATED URBAN REVITALIZATION PLAN
FOR THE
CITY OF COUNCIL BLUFFS, IOWA**

INTRODUCTION AND HISTORY

The Urban Revitalization Act, Chapter 404 of the *Code of Iowa*, is intended to encourage development, redevelopment, and revitalization within a designated area of a city by authorizing property tax development incentives to the private sector. Qualified real estate within a designated area may be eligible to receive a total or partial exemption from property taxes on improvements for a specified number of years. The primary intent of this act is to provide communities with a long-term increase or stabilization in their tax base by encouraging rehabilitation or new construction which might not otherwise have occurred.

In October 2024, the City Council of the City of Council Bluffs, Iowa (the “City”) adopted the Amended and Restated Consolidated Urban Revitalization Plan (the “Amended and Restated Plan” or “Plan”) Amendment No. 1 to add the 1st Avenue and 17th Street area to the previously adopted Amended and Restated Consolidated Urban Revitalization Plan. The various revitalization areas that now comprise the subareas of the Revitalization Area, and their corresponding original designating ordinances, are:

- 1st Avenue Urban Revitalization Area – Ordinance No. 6177
- 5th and West Broadway Urban Revitalization Area – Ordinance No. 6411
- 14th Avenue Urban Revitalization Area – Ordinance No. 6412
- 16th Avenue Urban Revitalization Area – Ordinance No. 6479
- 21st Avenue Urban Revitalization Area – Ordinance No. 6495
- American Games Urban Revitalization Area – Ordinance No. 6476
- Black Squirrel Flats Urban Revitalization Area – Ordinance No. 6532
- Bluffs Northway Urban Revitalization Area – Ordinance No. 6281
- College Road Urban Revitalization Area – Ordinance No. 6310
- Council Pointe Road Urban Revitalization Area – Ordinance No. 6326
- Mid-America Urban Revitalization Area – Ordinance No. 6469
- River Road Urban Revitalization Area – Ordinance No. 6464
- South Pointe Urban Revitalization Area – Ordinance No. 6375
- Valley View Urban Revitalization Area – Ordinance No. 6289
- Veterans Memorial Highway Urban Revitalization Area – Ordinance No. 6409
- Whispering Oaks Urban Revitalization Area – Ordinance No. 6533
- South Expressway Subarea, designated in connection with adoption of the Amended and Restated Plan – Ordinance No. 6603
- 1st Avenue and 17th Street Subarea, designated in connection with adoption of the Amended and Restated Plan Amendment No. 1 – Ordinance No. 6614

The corresponding legal descriptions that now comprise the subareas of the Amended and Restated Consolidated Urban Revitalization Area are attached as Exhibit A.

AMENDMENT TO PLAN – NEW SUBAREA - KANESVILLE

With the adoption of this Amendment No. 2 to the Amended and Restated Consolidated Urban Revitalization Plan (the “Amendment”), the City is designating additional land as a new subarea of the Revitalization Area. The first new subarea is legally described and depicted in Exhibit B, attached hereto and incorporated by this reference. The new subarea will be known as the Kanesville Subarea of the Revitalization Area.

The City is designating the Kanesville Subarea of the Revitalization Area as a revitalization area meeting the criteria of Iowa Code Sections 404.1(4) and Section 404.1(5).

Existing zoning classifications of the property within the Kanesville Subarea is Agricultural. Existing land use within the subarea is consistent with these zoning classifications. New development that remains consistent with the City’s zoning ordinance is proposed for the subarea.

A listing of the names and addresses of the owners of record for the real estate within the Kanesville Subarea, as well as the assessed valuations stated separately for land and buildings for the real estate, as of the date of this Amendment is attached as Exhibit C.

AMENDMENT TO PLAN – NEW SUBAREA – VALLEY VIEW SOUTH

With the adoption of this Amendment No. 2 to the Amended and Restated Consolidated Urban Revitalization Plan (the “Amendment”), the City is designating additional land as a new subarea of the Revitalization Area. The second new subarea is legally described and depicted in Exhibit D, attached hereto and incorporated by this reference. The new subarea will be known as the Valley View South Subarea of the Revitalization Area.

The City is designating the Valley View South Subarea of the Revitalization Area as a revitalization area meeting the criteria of Iowa Code Sections 404.1(4) and Section 404.1(5).

Existing zoning classifications of the property within the Valley View South Subarea is Residential with a planned residential overlay. Existing land use within the subarea is consistent with these zoning classifications. New development that remains consistent with the City’s zoning ordinance is proposed for the subarea.

A listing of the names and addresses of the owners of record for the real estate within the Valley View South Subarea, as well as the assessed valuations stated separately for land and buildings for the real estate, as of the date of this Amendment is attached as Exhibit E.

EFFECTIVE DATE AND SEVERABILITY

This Amendment shall be effective upon the approval of a resolution by the City Council adopting the Amendment.

Applications submitted following the Amendment's effective date shall be eligible to apply only for those exemptions contained in the Amended and Restated Plan, as amended by this Amendment, subject to the terms of the Plan. All previously awarded exemptions shall continue until their expiration.

Except as modified by this Amendment, the provisions of the Amended and Restated Plan are hereby ratified, confirmed, and approved and shall remain in full force and effect as provided herein. In case of any conflict or uncertainty, the terms of this Amendment shall control. Any subsections of the Amended and Restated Plan not mentioned in this Amendment shall continue to apply to the Plan.

If any part of this Amendment is determined to be invalid or unconstitutional, such invalidity or unconstitutionality shall not affect the validity of the Amended and Restated Plan or the Amendment as a whole, or any part of Amended and Restated Plan or the Amendment not determined to be invalid or unconstitutional.

EXHIBIT A

SUBAREAS OF REVITALIZATION AREA – LEGAL DESCRIPTIONS

Whispering Oaks Urban Revitalization Area

A PART OF THE SW 1/4 OF THE NW 1/4 OF SECTION 4, TOWNSHIP 74 NORTH, RANGE 43 WEST OF THE 5TH PRINCIPAL MERIDIAN, AND ALSO TOGETHER WITH PART OF THE SE 1/4 OF THE NE 1/4 OF SECTION 5, SAID TOWNSHIP 74 NORTH, RANGE 43 WEST OF THE 5TH PRINCIPAL MERIDIAN; ALL LOCATED IN POTTAWATTAMIE COUNTY, COUNCIL BLUFFS, IOWA, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE EAST 1/4 CORNER OF SECTION 5, TOWNSHIP 74N, RANGE 43 WEST; THENCE N1°06'10"E (ASSUMED BEARING), 53.00 FEET TO THE POINT OF BEGINNING; THENCE N88°28'13"W A DISTANCE OF 351.12 FEET TO A POINT ON THE EAST RIGHT-OF-WAY LINE OF FOREST GLEN DRIVE; THENCE NORTHERLY ALONG SAID EAST RIGHT-OF-WAY LINE OF FOREST GLEN DRIVE ON THE FOLLOWING DESCRIBED COURSES: THENCE N1°20'57"E, A DISTANCE OF 433.34 FEET; THENCE N88°16'18"W, A DISTANCE OF 15.99 FEET;

THENCE N1°31'50"E, A DISTANCE OF 313.54 FEET TO THE SOUTHWEST CORNER OF LOT 106, WHISPERING OAKS; THENCE S88°34'04"E, A DISTANCE OF 56.87 FEET ALONG THE SOUTH LINE OF LOT 106, WHISPERING OAKS TO THE NORTHWEST CORNER OF A TRACT OF LAND DESCRIBED IN BOOK 2017 PAGE 2889; THENCE S88°28'13"E, A DISTANCE OF 306.04 FEET ALONG THE SOUTH LINE OF LOT 106 & SOUTH LINE OF OUTLOT A, WHISPERING OAKS TO A POINT AT THE INTERSECTION OF THE SOUTH LINE OF OUTLOT A & THE EAST LINE OF A TRACT OF LAND DESCRIBED IN BOOK 2017 PAGE 2889; THENCE S88°15'01"E, A DISTANCE OF 562.24 FEET ALONG THE SOUTH LINE OF OUTLOT A, & LOTS 87-90 WHISPERING OAKS TO THE SOUTHEAST CORNER OF LOT 87 WHISPERING OAKS; THENCE S88°15'01"E, A DISTANCE OF 714.76 FEET; THENCE S88°15'01"E, A DISTANCE OF 17.46, TO THE WEST RIGHT OF WAY LINE OF FRANKLIN AVENUE; THENCE S1°43'39"W, A DISTANCE OF 747.00 FEET ALONG SAID WEST RIGHT-OF-WAY LINE OF FRANKLIN AVENUE; THENCE N88°15'01"W DISTANCE OF 1,086.30 FEET TO THE EAST LINE OF A PARCEL BOOK 87, PAGE 22729; THENCE N01°06'10"E ALONG SAID EAST LINE OF SAID PARCEL BOOK 87, PAGE 22729, A DISTANCE OF 180.01 FEET TO THE NORTHEAST CORNER OF SAID PARCEL BOOK 87, PAGE 22729; THENCE N88°15'01"W ALONG THE NORTH LINE OF SAID PARCEL, BOOK 87, PAGE 22729 A DISTANCE OF 200.00 FEET; THENCE S1°06'10"W ALONG SAID PARCEL BOOK 87, PAGE 22729, A DISTANCE OF 180.01 FEET TO THE POINT OF BEGINNING. SAID TRACT OF LAND CONTAINS 1,193,878.13 SQ.FT. OR 27.40 ACRES MORE OR LESS

South Pointe Urban Revitalization Area

A PARCEL OF LAND BEING ALL OF ROGERS AUTO SUBDIVISION, SOUTH POINTE SUBDIVISION, SOUTH POINTE SUBDIVISION REPLAT 1, SOUTH POINTE SUBDIVISION REPLAT 2, SOUTH POINT SUBDIVISION PHASE 2, SOUTH 24TH AND HIGHWAY 275 INDUSTRIAL AND A PORTION OF THE SOUTHEAST QUARTER OF SECTION 10, THE WEST HALF OF THE SOUTHWEST QUARTER OF SECTION 11, SECTION 14, GOVERNMENT LOT 1 TO SAID SECTION 14 AND A PORTION OF THE EAST HALF OF SECTION 15, ALL IN TOWNSHIP 74 NORTH, RANGE 44 WEST OF THE 5TH PRINCIPAL MERIDIAN, CITY OF COUNCIL BLUFFS, POTTAWATTAMIE COUNTY, IOWA, BEING MORE FULLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE CENTER OF SAID SECTION 10, SAID CENTER BEING ON THE SOUTH RIGHT-OF-WAY LINE OF RICHARD DOWNING AVENUE; THENCE EASTERLY ON SAID SOUTH RIGHT-OF-WAY LINE, 2,730 FEET MORE OR LESS TO A POINT ON THE WESTERLY RIGHT-OF-WAY LINE OF SOUTH 24TH STREET;

THENCE SOUTHERLY ON SAID WESTERLY RIGHT-OF-WAY LINE, 2,329 FEET MORE OR LESS TO A POINT ON THE NORTHERLY RIGHT-OF-WAY LINE OF VETERANS MEMORIAL HIGHWAY; THENCE WESTERLY ON SAID NORTHERLY RIGHT-OF-WAY LINE, 197 FEET MORE OR LESS TO A POINT ON THE EASTERLY LINE OF SAID SECTION 10; THENCE SOUTHERLY ON SAID EASTERLY LINE AND ON IT'S SOUTHERLY PROLONGATION, 390 FEET MORE OR LESS TO A POINT ON THE SOUTHERLY RIGHT-OF-WAY LINE OF SAID VETERANS MEMORIAL HIGHWAY; THENCE EASTERLY ON SAID SOUTHERLY RIGHT-OF-WAY LINE, 2,760 FEET MORE OR LESS TO THE NORTHEAST CORNER OF SAID SOUTH POINTE SUBDIVISION REPLAT 2; THENCE SOUTHERLY ON THE EAST LINE OF SAID SOUTH POINTE SUBDIVISION REPLAT 2, 1,246 FEET MORE OR LESS TO THE NORTHEAST CORNER OF SAID SOUTH POINTE SUBDIVISION REPLAT 1; THENCE SOUTHERLY ON THE EAST LINE OF SAID SOUTH POINTE SUBDIVISION REPLAT 1, 533 FEET MORE OR LESS TO A POINT ON THE NORTH LINE OF SAID SOUTH POINTE SUBDIVISION PHASE 2; THENCE EASTERLY ON SAID NORTH LINE, 110 FEET MORE OR LESS TO THE NORTHEAST CORNER OF SAID SOUTH POINTE SUBDIVISION PHASE 2, SAID NORTHEAST CORNER ALSO BEING ON THE WESTERLY RIGHT-OF-WAY LINE OF INDIAN CREEK; THENCE SOUTHWESTERLY ON THE EAST LINE OF SAID SOUTH POINTE SUBDIVISION PHASE 2 AND ON SAID WESTERLY RIGHT-OF-WAY LINE, 2,742 FEET MORE OR LESS TO THE SOUTHEAST CORNER OF LOT 5 IN SAID SOUTH POINTE SUBDIVISION PHASE 2; THENCE WESTERLY ON THE SOUTH LINE OF SAID LOT 5, 149 FEET MORE OR LESS TO A POINT ON THE EASTERLY RIGHT-OF-WAY LINE OF GIFFORD ROAD; THENCE NORTHWESTERLY ON SAID EASTERLY RIGHT-OF-WAY LINE, 1,420 FEET MORE OR LESS TO A POINT ON THE NORTHERLY RIGHT-OF-WAY LINE OF GIFFORD ROAD; THENCE WESTERLY ON SAID NORTHERLY RIGHT-OF-WAY LINE, 1,209 FEET MORE OR LESS; THENCE SOUTHWESTERLY, 1,883 FEET MORE OR LESS TO A POINT ON THE MISSOURI RIVER MEANDER LINE; THENCE SOUTHWESTERLY ON SAID MISSOURI RIVER MEANDER LINE, 1,174 FEET MORE OR LESS TO A POINT ON THE EAST LINE OF SAID SECTION 15; THENCE NORTHERLY ON SAID EAST LINE, 802 FEET MORE OR LESS; THENCE WESTERLY, 631 FEET MORE OR LESS; THENCE NORTHWESTERLY, 2,019 FEET MORE OR LESS TO A POINT ON THE EAST-WEST CENTERLINE OF SAID SECTION 15; THENCE WESTERLY ON SAID EAST-WEST CENTERLINE, 1,322 FEET MORE OR LESS TO A POINT ON THE EAST LINE OF GATEWAY SUBDIVISION IN SAID CITY OF COUNCIL BLUFFS; THENCE NORTHERLY ON SAID EAST LINE, 1,256 FEET MORE OR LESS TO A POINT ON THE SOUTHERLY RIGHT-OF-WAY LINE OF SAID VETERANS MEMORIAL HIGHWAY; THENCE NORTHEASTERLY ON SAID SOUTH RIGHT-OF-WAY LINE, 1,355 FEET MORE OR LESS TO A POINT ON THE SOUTHERLY PROLONGATION OF THE NORTH-SOUTH CENTERLINE OF SAID SOUTHEAST QUARTER OF SECTION 10; THENCE NORTHERLY ON SAID SOUTHERLY PROLONGATION AND ON SAID NORTH-SOUTH CENTER, 2,480 FEET MORE OR

LESS; THENCE WESTERLY, 1,315 FEET MORE OR LESS TO A POINT ON THE WEST LINE OF SAID SOUTHEAST QUARTER; THENCE NORTHERLY ON SAID WEST LINE, 998 FEET MORE OR LESS TO THE POINT OF BEGINNING.

SAID PARCEL CONTAINS AN AREA OF 500 ACRES, MORE OR LESS.

Valley View Urban Revitalization Area

Lot 3 of New Horizon Subdivision, City of Council Bluffs, Pottawattamie County, Iowa

Veterans Memorial Highway Urban Revitalization Area

The North 660 feet of the NE $\frac{1}{4}$ SW $\frac{1}{4}$ SW $\frac{1}{4}$ of Section 12-74-44, except the West 250 feet, and the West 16.5 feet of the South 20 feet north of the highway in the SE $\frac{1}{4}$ SW $\frac{1}{4}$ of Section 12-74-44 and commencing at a point 660 feet East of the NW corner of the SW $\frac{1}{4}$ of the SW quarter of section 12, thence South 660 feet, thence East 250 feet, thence North 660 feet, thence West 250 feet to the place of beginning, subject to right of ways of public highway City of Council Bluffs, Pottawattamie County, Iowa

College Road Urban Revitalization Area

Proposed Lots 1-4, New Horizon Subdivision, Replat Two, City of Council Bluffs, Pottawattamie County, Iowa

Council Pointe Road Urban Revitalization Area

Lot 1, Fox Run Landing, Replat Three, City of Council Bluffs, Pottawattamie County, Iowa.

Lot 116, Fox Run Landing, except the northwest corner dedicated to City right-of-way, along with northerly part of Lot 117 commencing at the southeast corner of said Lot 116, thence North 469.54 feet, thence Northeasterly 885.29 feet, thence South 787.74 feet, and thence West 806.06 feet back to the point of beginning, all in the City of Council Bluffs, Pottawattamie County, Iowa

Mid-America Urban Revitalization Area

A PARCEL OF LAND BEING ALL OF BASS PRO SUBDIVISION, BLUFFS VISION SUBDIVISION, BLUFFS VISION SUBDIVISION REPLAT 1, BLUFFS VISION 4 SUBDIVISION, BLUFFS VISION 4 SUBDIVISION REPLAT 1, HORSESHOE SUBDIVISION, HOTEL PLAZA AT THE MAC, HOTEL PLAZA AT THE MAC REPLAT 1, INRIP SUBDIVISION TRACT NO 1 1st ADDITION, MORRIS SUBDIVISION, MORRIS SUBDIVISION REPLAT 1, PLAZA AT MARCC, SAPP BROS TRAVEL CENTER, A PORTION OF RAILROAD ADDITION, A PORTION OF THE SOUTH HALF OF SECTION 03 AND A PORTION OF GOVERNMENT LOTS 2 AND 3 IN SECTION 04, ALL IN TOWNSHIP 74 NORTH, RANGE 44 WEST OF THE 5th PRINCIPAL MERIDIAN, CITY OF COUNCIL BLUFFS, POTTAWATTAMIE COUNTY, IOWA, BEING MORE FULLY DESCRIBED AS FOLLOW:

BEGINNING AT THE NORTHEAST CORNER OF SAID SAPP BROS TRAVEL CENTER, SAID NORTHEAST CORNER ALSO BEING ON THE WEST RIGHT-OF-WAY LINE OF SOUTH 24th STREET;

THENCE SOUTH ON SAID WEST RIGHT-OF-WAY LINE, 726 FEET MORE OR LESS TO A POINT ON THE NORTHERLY RIGHT-OF-WAY LINE OF MID-AMERICAN DRIVE;

THENCE ON SAID NORTHERLY RIGHT-OF-WAY LINE THE FOLLOWING THREE (3) COURSES:

- 1 WESTERLY, 352 FEET MORE OR LESS;
- 2 SOUTHWESTERLY, 1,272 FEET MORE OR LESS;
- 3 WESTERLY AND WESTERLY ON THE WESTERLY PROLONGATION, 2,382 FEET MORE OR LESS TO A POINT ON THE EASTERLY RIGHT-OF-WAY LINE OF INTERSTATE 29;

THENCE NORTHWESTERLY ON SAID EASTERLY RIGHT-OF-WAY LINE, 3,909 FEET MORE OR LESS TO A POINT ON THE SOUTHWESTERLY PROLONGATION OF THE NORTH LINE OF SAID INRIP SUBDIVISION TRACT NO 1 1st ADDITION;

THENCE NORTHEASTERLY ON SAID WESTERLY PROLONGATION AND ON SAID LINE, 942 FEET MORE OR LESS TO A POINT ON THE SOUTHWESTERLY RIGHT-OF-WAY LINE OF SOUTH 35th STREET;

THENCE SOUTHEASTERLY ON SAID SOUTHWESTERLY RIGHT-OF-WAY LINE AND SOUTHEASTERLY ON IT'S SOUTHEASTERLY PROLONGATION, 1,073 FEET MORE OR LESS TO A POINT ON THE SOUTHERLY RIGHT-OF-WAY LINE OF 23rd AVENUE;

THENCE EASTERLY ON SAID SOUTHERLY RIGHT-OF-WAY LINE, 4,982 FEET MORE OR LESS TO A POINT ON THE WESTERLY RIGHT-OF-WAY LINE OF SAID SOUTH 24th STREET;

THENCE SOUTH ON SAID WESTERLY RIGHT-OF-WAY, 610 FEET MORE OR LESS TO THE POINT OF BEGINNING.

SAID PARCEL CONTAINS AN AREA OF 285 ACRES, MORE OR LESS.

River Road Urban Revitalization Area

Lot 1, River Road Subdivision, City of Council Bluffs, Pottawattamie County, Iowa

American Games Urban Revitalization Area

Lot 3, Pollard Games Addition, City of Council Bluffs, Pottawattamie County, Iowa

Black Squirrel Flats Urban Revitalization Area

Lot 1, Black Squirrel Flats Subdivision, City of Council Bluffs, Pottawattamie County, Iowa

Bluffs Northway Urban Revitalization Area

Lots 2 and 3, Walmart Bluffs Northway Subdivision, City of Council Bluffs, Pottawattamie County, Iowa

Lots 10 through 18 and the east/west alley abutting Belmont Addition along with the Canadian National Railway right-of-way abutting on the north and Avenue P right-of-way abutting on the south; Lots 33 through 37 and the North ½ vacated alley abutting and Lots 56 through 61 and the South ½ vacated alley abutting Belmont Addition along with Avenue O right-of-way abutting on the south; Lots 79 through 83 and the North ½ vacated alley abutting and Lots 102 through 106 and the South ½ vacated alley abutting Belmont Addition, City of Council Bluffs, Pottawattamie County, Iowa

16th Avenue Urban Revitalization Area

A parcel of land situated in the North Half (N1/2) of Section 2, Township 74 North, Range 44 West and the Southeast Quarter of the Southwest Quarter (SE1/4 SW1/4) of Section 35, Township 75 North, Range 44 West of the Fifth Principal Meridian, City of Council Bluffs, Pottawattamie County, State of Iowa, according to an official plat of said land filed in the District Land Office, bounded and described as follows: Beginning at a point on the North-South centerline of said Section 2, from which point the center of said section bears South, 264.98 feet; thence North 89 degrees 50 minutes 17 seconds East, 200.00 feet; thence North 00 degrees 00 minutes 17 sections East, 2150.79 feet to the south line of 16th Avenue; thence along said south line South 89 degrees 30 minutes 12 seconds West, 200.0 feet to a point on said North-South centerline of said Section 2; thence along said North-South centerline North 20.90 feet to the north quarter corner of said Section 2; thence along the North-South centerline of said Section 35, North 00 degrees 21 minutes 09 seconds West, 60.0 feet to a point on the north line of 16th Avenue, said point also being the southwest corner of Lot 12, Block 36, Fleming and Davis addition; thence South 89 degrees 38 minutes 51 seconds West, 16.0 feet; thence North 00 degrees 21 minutes 09 seconds West, 646.37 feet to a point on the south line of 14th Avenue prolonged, said point being South 89 degrees 38 minutes 53 seconds West, 16.0 feet from the northwest corner of Lot 1, Block 29, Fleming and Davis Addition; thence South 89 degrees 38 minutes 53 seconds West, 379.00 feet; thence South 75 degrees 42 minutes 26 seconds West, 399.46 feet; thence South 82 degrees 12 minutes 26 seconds West, 126.58 feet; thence South 21 degrees 28 minutes 31 seconds East, 2490.70 feet to a point on the North-South centerline of said Section 2; thence along said North-South centerline, South 441.28 feet to the Point of Beginning. Containing an area of 1,548,471 square feet, more or less, or 35.548 acres, more or less.

AND

A parcel of land legally described as being the East 16 feet of the South 686 feet, except the South 178 feet of the North 323 feet, all in the SE1/4 SW1/4 of Section 35-75-44, City of Council Bluffs, Pottawattamie County, Iowa. Said parcel of land contains an area of 8,276 square feet more or less, or .19 acres, more or less.

21st Avenue Urban Revitalization Area

Lots 9, 10, 18, 19, 20, 21 and 22, a portion of Lots 7, 8, 11, 12, 13, 16, 17, 23, 24 and 25 in Block 14, a portion of Lots 16, 17, 18 and 19 in Block 19, all of the vacated alley's in said Block 14 and all of vacated 22nd Avenue right-of-way lying within the following described parcel, all in Hughes and Doniphan's Addition, City of Council Bluffs, Pottawattamie County, Iowa

And

Lots 14 and 15 and that part of Lot 13 in Block 14, Hughes and Doniphan's Addition to the City of Council Bluffs, Pottawattamie County, Iowa, all lying Southwest of the former Wabash Railroad Right-of-Way (now Southside Trail Bike Trail Right-of-Way) AND That part of the vacated north/south alley lying north of the north right-of-way line of 22nd Avenue and south of the southerly right-of-way of the former Wabash Railroad (now Southside Trail Bike Trail) AND The North 1/2 of vacated 22nd Avenue lying between the east right-of-way line of South 6th Street and southwesterly right-of-way line of Southside Trail Bike Trail.

14th Avenue Urban Revitalization Area

Lots 16-30, Block 37, Brown's Subdivision, Council Bluffs, Pottawattamie County, Iowa

5th and West Broadway Urban Revitalization Area

The portion of Block 6, Mynster's Addition Southeast of the right-of-way of Kanesville Boulevard; The portion of Lots C and D, Auditor's Subdivision of Block 6 Mynster's Addition and Block 2 Bayliss 1st Addition located Southeast of the right-of-way of Kanesville Boulevard, and the entirety of the alleyway adjacent to Lot D; Lots E-P, Auditor's Subdivision of Block 6 Mynster's Addition and Block 2 Bayliss 1st Addition, and the vacated alley adjacent to Lot N; Lot 5, Block 2, Bayliss Addition to Council Bluffs, Pottawattamie County, Iowa;

And:

Lots 1-13, Auditor's Subdivision of Lot 5, Block 5 Mynster's Addition and Block 1, Bayliss 1st Addition, and the alleyway adjacent; Lot 2 excluding City right-of-way, Lots 3 and 4, and Lots 6-10, Mynster's Addition, all in the City of Council Bluffs, Pottawattamie County, Iowa.

1st Avenue Urban Revitalization Area

Lots 1-5 and 9-16, Block 6, Bayliss First Addition, City of Council Bluffs, Pottawattamie County, Iowa

South Expressway Subarea of Revitalization Area

Lots 5, 6, 7, 8, 16, 17 and all of Lot 4 except the North 3.5 feet, Country Club Acres, City of Council Bluffs, Pottawattamie County, Iowa.

1st Avenue & 17th Street Subarea of Revitalization Area

Lots 1-8, Block 4, Everetts Addition along with Lots 1-8, Block 26, Beer's Subdivision and the vacated east/west alley adjacent, City of Council Bluffs, Pottawattamie County, Iowa.

EXHIBIT B

LEGAL DESCRIPTION AND MAP OF NEW SUBAREA

A tract of land located in part of Lot 1, Auditor's Subdivision of the SW $\frac{1}{4}$ NW $\frac{1}{4}$; part of the SE $\frac{1}{4}$ NW $\frac{1}{4}$; part of Lots 1, 2 and 3, Auditor's Subdivision of the NW $\frac{1}{4}$ SW $\frac{1}{4}$; and part of the NE $\frac{1}{4}$ SW $\frac{1}{4}$, all located in Section 22, Township 75 North, Range 43 West of the 5th Principal Meridian, City of Council Bluffs, Pottawattamie County, Iowa.



EXHIBIT C
INFORMATION CONCERNING KANESVILLE SUBAREA

Current Tax Parcel Number	Name of Property Owner	Address of Record for Property Owner	Current Assessed Value – Land Value	Current Assessed Value – Improvement Value
754322100006	KCI Council Bluffs Land LLC	14747 N. Northsight Blvd, Ste # 111-431 Scottsdale, AZ 85260	\$135,700.00	\$0

EXHIBIT D

LEGAL DESCRIPTION AND MAP OF NEW SUBAREA

Lots 2-4, Jilla Subdivision, City of Council Bluffs, Pottawattamie County, Iowa.

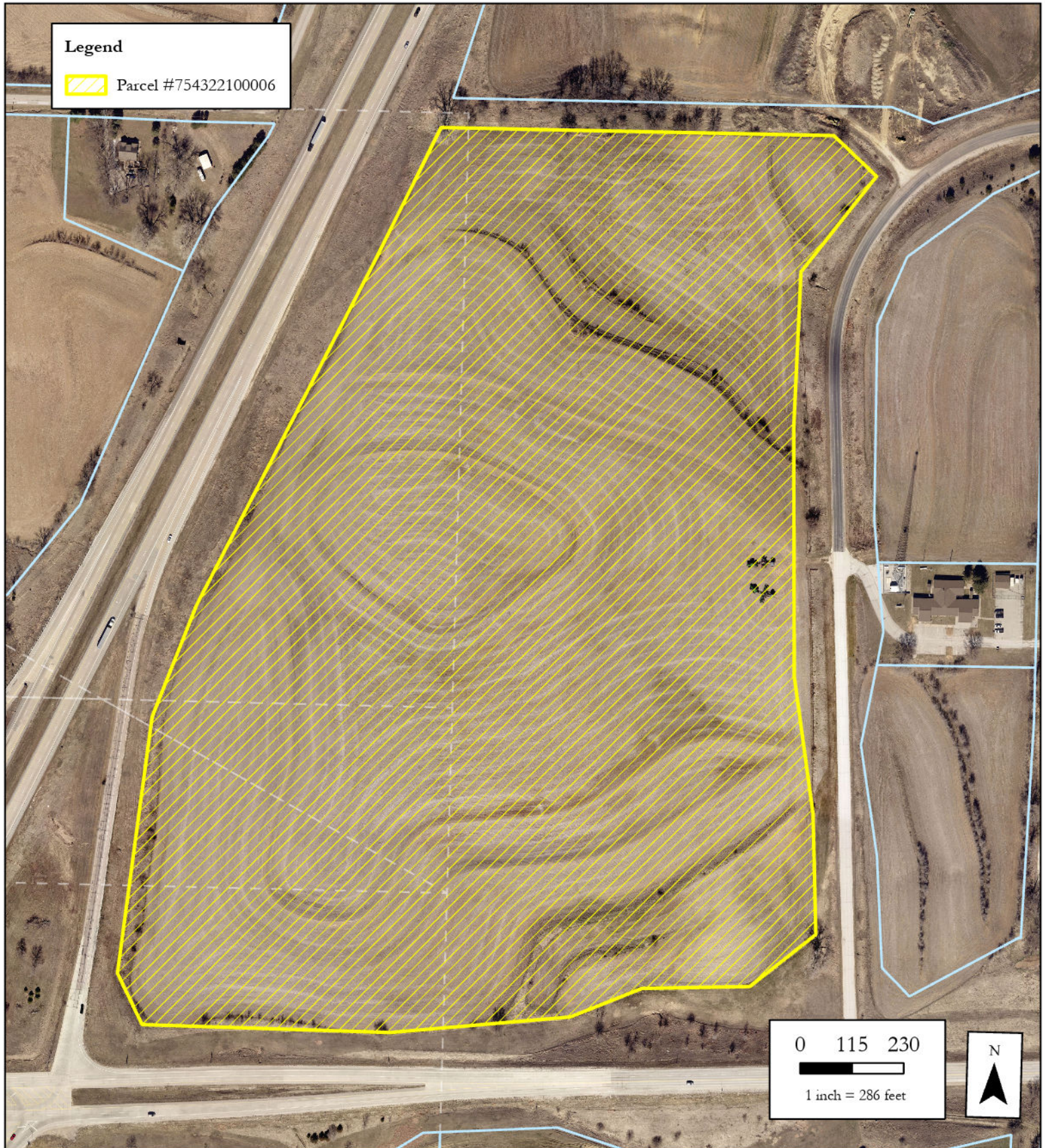


EXHIBIT E

INFORMATION CONCERNING VALLEY VIEW SOUTH SUBAREA

Current Tax Parcel Number	Name of Property Owner	Address of Record for Property Owner	Current Assessed Value – Land Value	Current Assessed Value – Improvement Value
754332256002	Hunt Ventures LLC	23699 Murphy Ln Council Bluffs, IA 51503	\$104,100.00	\$0
754332256003	R-J Capital LLC	PO Box 33 Council Bluffs, IA 51502	\$119,500.00	\$0
754332256004	R-J Capital LLC	PO Box 33 Council Bluffs, IA 51502	\$127,200.00	\$0

CONSOLIDATED REVITALIZATION PLAN AMENDMENT #2 (PARCEL #754322100006)



CONSOLIDATED REVITALIZATION PLAN AMENDMENT #2 (VALLEY VIEW DRIVE PARCELS)



RESOLUTION NO. 25-148

A RESOLUTION APPROVING THE AMENDED AND RESTATED CONSOLIDATED URBAN REVITALIZATION PLAN AMENDMENT 2.

WHEREAS, the City of Council Bluffs has the authority under Chapter 404 of the Iowa Code to declare an area to be an urban revitalization area; and

WHEREAS, on May 5, 2025, the City Council adopted Resolution 25-120, which directed staff to prepare a plan for the Amended and Restated Consolidated Urban Revitalization Plan Amendment 2 and set a public hearing for June 9, 2025; and

WHEREAS, on May 13, 2025, the City Planning Commission reviewed the Amended and Restated Consolidated Urban Revitalization Plan Amendment 2 and found it consistent with the goals and objectives of the City's *Bluffs Tomorrow: 2030 Plan*, which is the general plan for the development of the City of Council Bluffs; and

WHEREAS, after careful study and consideration, this City Council finds that the development of the area is necessary in the interest of the public health, safety and/or welfare of the residents of the City.

**NOW, THEREFORE, BE IT RESOLVED
BY THE CITY COUNCIL
OF THE
CITY OF COUNCIL BLUFFS, IOWA**

That the City Council hereby approves the Amended and Restated Consolidated Urban Revitalization Plan Amendment 2.

ADOPTED
AND
APPROVED

June 9, 2025

Matthew J. Walsh

Mayor

ATTEST:

Jodi Quakenbush

City Clerk

Council Communication

Department: Finance
Case/Project No.:
Submitted by: Finance Department / Danielle Bemis

Resolution 25-149
ITEM 5.B.

Council Action: 6/9/2025

Description
Resolution to approve the proposed amendment to the current city budget for the fiscal year ending June 30, 2025.

Background/Discussion
<p>The City of Council Bluffs is proposing an amendment to the budget for the fiscal year ending June 30, 2025.</p> <p>General fund expenditures exceed revenues by \$2.8M, reflective of the following:</p> <ul style="list-style-type: none">• Increased costs for technology, costs related to third-party permit inspections, third-party billing collections, additional public safety personnel costs, and operating costs related to the Mid-American Center.• Timing of project spend and use of general fund dollars as the funding mechanism.• Decreased revenues related to franchise fees of \$1.2m and property taxes of 426k due to the decrease inactive projects and anticipated collections, respectively. <p>Additional highlights for the proposed budget amendment are contained in the FY25 Amended Budget packet.</p>

Recommendation
Per the State of Iowa, municipalities are required to submit an amended budget if/when expenditures are projected to be over budget. In order to comply with this requirement, staff recommends approval of the FY25 proposed budget amendment. Upon approval, the amended budget will be filed with the State of Iowa and Pottawattamie County.

ATTACHMENTS:

Description	Type	Upload Date
FY25 Amended Budget Packet	Other	6/2/2025
Resolution 25-149	Resolution	6/4/2025

City of Council Bluffs

FY25 Amended Operating Budget

Public Hearing June 9, 2025



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FY25 Amended Budget

Highlights of the FY25 Amended Budget

- General fund expenditures exceed revenues by \$2.8M, reflective of the following:
 - Increased costs for technology, costs related to third-party permit inspections, third-party billing collections, additional public safety personnel costs, and operating costs related to the Mid-American Center.
 - The increases to expenditures were partially offset by increased revenues for ambulance, reimbursements for permit inspection costs, and operating revenue related to the Mid-American Center.
 - Timing of project spend and use of general fund dollars as the funding mechanism.
 - Decreased revenues related to licenses and permits of \$1.2M and property taxes of \$426K due to the decrease in active projects and anticipated collections, respectively.
- Budget expenditures exceed revenues by \$13.4M, reflective of the following:
 - Timing of project spend and use of funds previously received or receipt of reimbursable grant revenue not anticipated during FY25.
 - Issued FY25 CIP General Obligation bonds in FY24, therefore no offsetting revenue reflected in the budget for the issuance of debt.
 - Increased expenditures for projected spending of American Rescue Plan (ARPA) funds.
- Budgeted revenue, excluding transfers, increased by \$18.8M
 - Revenues increased across various revenue streams. Primary drivers of the increase were intergovernmental grant revenue (\$14.9M), interest earnings (\$3.5M), and third-party permit inspection reimbursements (\$1.7M); however, this is offset with a decrease in permits and license revenues of \$968K due to a reduction in construction projects and in property tax revenues of \$796K due to delays in collection.

FY25 Amended Budget General Fund

	FY25 Original Budget	Budget Amendment	FY25 Amended Budget
REVENUE & OTHER FINANCING SOURCES			
Property Taxes	\$ 32,324,578	\$ (425,821)	\$ 31,898,757
Other City Taxes	9,748,773	587,254	10,336,027
Licenses & Permits	2,687,250	(1,246,179)	1,441,071
Use of Money & Property	1,104,250	183,540	1,287,790
Intergovernmental	2,499,577	518,660	3,018,237
Nongovernmental	-	287,036	287,036
Charges for Fees & Services	10,616,282	1,844,820	12,461,102
Miscellaneous	1,652,200	1,575,555	3,227,755
Transfers In	19,873,861	1,695,177	21,569,039
TOTAL REVENUE & OTHER FINANCING SOURCES	<u>\$ 80,506,772</u>	<u>\$ 5,020,042</u>	<u>\$ 85,526,813</u>
EXPENDITURES & OTHER FINANCING USES			
Public Safety	\$ 43,761,518	\$ 2,468,305	\$ 46,229,823
Public Works	2,915,967	(384,526)	2,531,441
Health & Social Services	316,479	69,254	385,733
Culture & Recreation	13,669,484	1,051,328	14,720,812
Community & Economic Development	1,072,902	1,252,716	2,325,618
General Government	20,361,334	492,115	20,853,449
Transfers Out	985,000	248,167	1,233,167
TOTAL EXPENDITURES & OTHER FINANCING USES	<u>\$ 83,082,684</u>	<u>\$ 5,197,359</u>	<u>\$ 88,280,043</u>
NET REVENUE (EXPENDITURES)	<u>\$ (2,575,912)</u>	<u>\$ (177,317)</u>	<u>\$ (2,753,230)</u>

FY25 Amended Budget Summary All Funds

	FY25 Original	Budget Amendment	FY25 Amended Budget
REVENUE & OTHER FINANCING SOURCES			
Property Taxes	\$ 60,110,208	\$ (795,703)	\$ 59,314,505
TIF Revenues	3,190,030	(29,200)	3,160,830
Other City Taxes	23,291,418	1,716,225	25,007,643
Licenses & Permits	2,745,250	(967,840)	1,777,410
Use of Money & Property	1,744,550	3,513,765	5,258,315
Intergovernmental	18,619,988	14,899,805	33,519,793
Nongovernmental	3,136,369	1,497,230	4,633,599
Charges for Fees & Services	31,846,258	2,311,247	34,157,505
Special Assessments	166,000	12,149	178,149
Miscellaneous	1,757,765	2,612,396	4,370,161
Other Financing Sources	6,059,240	(5,996,640)	62,600
Transfers In	42,301,472	19,411,939	61,713,411
TOTAL REVENUE & OTHER FINANCING SOURCES	\$ 194,968,549	\$ 38,185,373	\$ 233,153,921
EXPENDITURES & OTHER FINANCING USES			
Public Safety	\$ 43,946,287	\$ 2,443,635	\$ 46,389,923
Public Works	13,270,407	(254,992)	13,015,415
Health & Social Services	316,479	69,254	385,733
Culture & Recreation	13,986,484	1,090,378	15,076,862
Community & Economic Development	6,502,256	2,149,417	8,651,672
General Government	21,003,434	3,771,993	24,775,427
Debt Service	13,513,061	4,229	13,517,290
Capital Projects	27,145,240	15,275,989	42,421,229
Business Type Activities	20,172,563	479,914	20,652,477
Transfers Out	42,301,472	19,411,938	61,713,411
TOTAL EXPENDITURES & OTHER FINANCING USES	\$ 202,157,683	\$ 44,441,756	\$ 246,599,439
NET REVENUE (EXPENDITURES)	\$ (7,189,135)	\$ (6,256,383)	\$ (13,445,518)
REVENUE, EXCL TRANSFERS	\$ 152,667,076	\$ 18,773,434	\$ 171,440,510
EXPENDITURES, EXCL TRANSFERS	\$ 159,856,211	\$ 25,029,818	\$ 184,886,028

Revenue Amended Budget Detail – All Funds

	FY25	Budget	FY25
REVENUE & OTHER FINANCING SOURCES	Original Budget	Amendment	Amended Budget
Property Taxes	\$ 60,110,208	\$ (795,703)	\$ 59,314,505
TIF Revenues	3,190,030	(29,200)	3,160,830
Other City Taxes			
Local Option Sales Tax	12,000,000	1,000,000	13,000,000
Franchise Tax	2,400,000	343,300	2,743,300
Utility Property Tax Replacement	3,361,418	276,925	3,638,343
Hotel/Motel Tax	3,000,000	100,000	3,100,000
Gaming Tax	2,530,000	(4,000)	2,526,000
Total Other City Taxes	23,291,418	1,716,225	25,007,643
Licenses & Permits	2,745,250	(967,840)	1,777,410
Use of Money & Property	1,744,550	3,513,765	5,258,315
Intergovernmental			
Federal Grants	4,990,220	14,750,062	19,740,282
State Grants	2,536,000	19,062	2,555,062
Road Use Tax	8,500,000	-	8,500,000
Commercial Rollback	2,205,412	130,681	2,336,093
County Contribution	388,356	-	388,356
Total Intergovernmental	18,619,988	14,899,805	33,519,793
Nongovernmental Grants	3,136,369	1,497,230	4,633,599
Charges for Fees & Services			
Sewer Services	14,762,500	95,706	14,858,206
Refuse Services	6,347,476	368,671	6,716,147
MidAmerica Center Services	4,012,380	740,118	4,752,498
Police and Fire Services	3,174,000	1,021,381	4,195,381
Park & Recreation Services	1,208,600	31,152	1,239,752
Other	2,341,302	54,219	2,395,521
Total Charges for Fees & Services	31,846,258	2,311,247	34,157,505
Special Assessments	166,000	12,149	178,149
Miscellaneous			
Red Light Enforcement Fines	860,000	380,000	1,240,000
Fines and Violations	421,900	-	421,900
Expense Reimbursements	304,425	1,714,616	2,019,041
Other	171,440	517,780	689,220
Total Miscellaneous	1,757,765	2,612,396	4,370,161
Financing Sources, GO Bonding,Capital Sales	6,059,240	(5,996,640)	62,600
TOTAL REVENUE & OTHER FINANCING SOURCES	152,667,076	18,773,434	171,440,510
Transfers In	42,301,472	19,411,939	61,713,411
TOTAL REVENUE AND TRANSFERS	\$ 194,968,549	\$ 38,185,373	\$ 233,153,921

FY25 Amended Budget State Form – Notice of Public Hearing

NOTICE OF PUBLIC HEARING - AMENDMENT OF CURRENT BUDGET				
City of COUNCIL BLUFFS				
Fiscal Year July 1, 2024 - June 30, 2025				
The City of COUNCIL BLUFFS will conduct a public hearing for the purpose of amending the current budget for fiscal year ending June 30, 2025				
Meeting Date/Time: 6/9/2025 07:00 PM	Contact: Danielle Bemis	Phone: (712) 890-5305		
Meeting Location: Council Chambers, City Hall, 209 Pearl St., Council Bluffs, IA 51503				
There will be no increase in taxes. Any residents or taxpayers will be heard for or against the proposed amendment at the time and place specified above. A detailed statement of: additional receipts, cash balances on hand at the close of the preceding fiscal year, and proposed disbursements, both past and anticipated, will be available at the hearing. Budget amendments are subject to protest. If protest petition requirements are met, the State Appeal Board will hold a local hearing. For more information, consult https://dom.iowa.gov/local-gov-appeals .				
REVENUES & OTHER FINANCING SOURCES		Total Budget as Certified or Last Amended	Current Amendment	Total Budget After Current Amendment
Taxes Levied on Property	1	60,110,245	-795,740	59,314,505
Less: Uncollected Delinquent Taxes - Levy Year	2	0	0	0
Net Current Property Tax	3	60,110,245	-795,740	59,314,505
Delinquent Property Tax Revenue	4	0	0	0
TIF Revenues	5	3,190,030	-29,200	3,160,830
Other City Taxes	6	23,291,382	1,716,261	25,007,643
Licenses & Permits	7	2,745,250	-967,840	1,777,410
Use of Money & Property	8	1,744,550	3,513,765	5,258,315
Intergovernmental	9	21,756,357	16,397,035	38,153,392
Charges for Service	10	31,846,258	2,311,247	34,157,505
Special Assessments	11	166,000	12,149	178,149
Miscellaneous	12	1,757,765	2,612,396	4,370,161
Other Financing Sources	13	6,059,240	-5,996,640	62,600
Transfers In	14	42,301,472	19,411,939	61,713,411
Total Revenues & Other Sources	15	194,968,549	38,185,372	233,153,921
EXPENDITURES & OTHER FINANCING USES				
Public Safety	16	43,946,287	2,443,636	46,389,923
Public Works	17	13,270,407	-254,992	13,015,415
Health and Social Services	18	316,479	69,254	385,733
Culture and Recreation	19	13,986,484	1,090,378	15,076,862
Community and Economic Development	20	6,502,256	2,149,416	8,651,672
General Government	21	21,003,434	3,771,993	24,775,427
Debt Service	22	13,513,061	4,229	13,517,290
Capital Projects	23	27,145,240	15,275,989	42,421,229
Total Government Activities Expenditures	24	139,683,648	24,549,903	164,233,551
Business Type/Enterprise	25	20,172,564	479,913	20,652,477
Total Gov Activities & Business Expenditures	26	159,856,212	25,029,816	184,886,028
Transfers Out	27	42,301,472	19,411,939	61,713,411
Total Expenditures/Transfers Out	28	202,157,684	44,441,755	246,599,439
Excess Revenues & Other Sources Over (Under) Expenditures/Transfers Out	29	-7,189,135	-6,256,383	-13,445,518
Beginning Fund Balance July 1, 2024	30	285,678,200	52,760,558	338,438,758
Ending Fund Balance June 30, 2025	31	278,489,065	46,504,175	324,993,240
Explanation of Changes: Revenue increased overall primarily due to increases in grant revenues related to capital projects and local option sales tax. Interest earnings are also a key driver due to market trends. Expenses primarily increased due to the timing of capital project expenditures, in which funding either took place in the prior fiscal year or has a reimbursable grant to be received after expenses are incurred. The City issued GO Bonds in FY24 for FY25 projects, therefore no additional bonding was completed during FY25. Continuous recruitment, retention of personnel, and technology costs continue to cause increases year-over-year.				

RESOLUTION NO. 25-149

A RESOLUTION AMENDING THE CITY BUDGET FOR THE FISCAL YEAR ENING JUNE 30, 2025

- WHEREAS, the city of Council Bluffs proposed an amendment to the City of Council Bluff's budget for the fiscal year ending June 30, 2025; and
- WHEREAS, the city obtained public comment on the proposed amendment at the required public hearing held in the City Council Chambers on Monday, June 9, 2025 at 7:00 PM; and
- WHEREAS, notice of the proposed budget amendment was published in the Council Bluffs Daily Nonpareil on May 29, 2025 with notice sufficiently in advance of the public hearing; and

NOW, THEREFORE, BE IT RESOLVED BY THE
CITY COUNCIL
OF THE
CITY OF COUNCIL BLUFFS, IOWA

That the City of Council Bluffs hereby approves an amendment to the budget for the fiscal year ending June 30, 2025 as detailed in the published Public Notice and directs the Finance Department to make the proper filings with State and County officials.

ADOPTED
AND
APPROVED:

June 9, 2025

Matthew J. Walsh,

Mayor

Jodi Quakenbush,

City Clerk

STATE OF IOWA)
COUNTY OF) ss
POTTAWATTAMIE)

On this _____ day of _____, 2025, before me the undersigned, a Notary Public in and for said County and said State, personally appeared Matthew J. Walsh and Jodi Quakenbush, to me personally known, who, being by me duly sworn, did say that they are the Mayor and City Clerk respectively, of the said City of Council Bluffs, Iowa, a Municipal Corporation, that the seal affixed hereto is the seal of said Municipal Corporation; that said instrument was signed and sealed on behalf of the said City of Council Bluffs, Iowa, by authority of its City Council; and that said Matthew J. Walsh and said Jodi Quakenbush, as such officers, acknowledged the execution of said instrument to be the voluntary act and deed of said City, by it and by them voluntarily executed.

Notary Public in and for the said State

Council Communication

Department: Community Development
Case/Project No.: URV-25-005
Submitted by: Marianne Collins, Housing &
Economic Development Planner

Ordinance 6652
ITEM 6.A.

Council Action: 6/9/2025

Description
Ordinance amending the Amended and Restated Consolidated Urban Revitalization Area – Amendment 1 within the City of Council Bluffs.
Background/Discussion
See attached staff report.
Recommendation

ATTACHMENTS:

Description	Type	Upload Date
Staff Report	Staff Report	5/30/2025
Attachment A – Amended and Restated Consolidated Urban Revitalization Plan - Amendment 2	Other	5/30/2025
Attachment B – Boundary Map for Kanesville Subarea	Map	5/30/2025
Attachment C – Boundary Map for Valley View South Subarea	Map	5/30/2025
Ordinance 6652	Ordinance	6/4/2025

Council Communication

<p>Department: Community Development</p> <p>Case No.: URV-25-005</p> <p>Submitted by: Housing & Economic Development</p>	<p>Reso No:</p> <p>Ordinance No.:</p>	<p>Resolution of Intent: 05/05/2025</p> <p>Planning Commission: 05/13/2025</p> <p>Public Hearing & First Reading: 06/09/2025</p> <p>Second Reading: 06/23/2025</p> <p>Third Reading: Request to Waive</p>
<p style="text-align: center;">Subject/Title</p> <p>Amendment to add two additional subareas, Kanessville Subarea and Valley View South Subarea to the Amended and Restated Consolidated Urban Revitalization Plan-Amendment 1.</p>		
<p style="text-align: center;">Background/Discussion</p> <p><u>Background</u></p> <p>Chapter 404 of the Iowa Code authorizes a City to designate an area as an urban revitalization area. Improvements to qualified real estate within designated areas may then be eligible to receive a total or partial exemption from property taxes for a specified number of years. The exemptions are intended to stimulate private investment by reducing the tax increase that would normally result from making improvements to real estate property.</p> <p>Urban revitalization tax abatement incentives can apply to residential, commercial and industrial development. Both new construction on vacant or unimproved land and rehabilitation of existing structures are eligible for tax abatement.</p> <p>Staff has prepared an Amended and Restated Consolidated Urban Revitalization Plan-Amendment 2, including Kanessville Subarea and Valley View South Subarea, in accordance with Chapter 404.2 of the Iowa Code and has scheduled the matter for City Council consideration.</p> <p><u>Discussion</u></p> <p>Iowa Code permits the City to establish urban revitalization areas which satisfy one of the five conditions outlined in Section 404.1. Staff believes this project meets the criteria under 404.1.4. Section 404.1.4 discusses an area which is appropriate as an economic development area as defined in section 403.17. Section 403.17 states an economic development area means an area of a municipality designated by the local governing body as appropriate for commercial and industrial enterprises..</p> <p>City Council approved the Amended and Restated Consolidated Urban Revitalization Plan April 22, 2024 with Ordinance 6603. The Consolidated Plan included the 17 current Urban Revitalization Area Plans. City Council approved the Amended and Restated Consolidated Urban Revitalization Plan-Amendment 1 October 21, 2024 with Ordinance 6614. The Amendment added the 1st Avenue & 17th Street Subarea and extended the period of abatement for new construction multi-family housing developments. Community Development is proposing adding two additional Subareas.</p> <p>Two updates are included in the Amended and Restated Consolidated Urban Revitalization Plan - Amendment 2:</p> <ol style="list-style-type: none"> 1. Additional Area Added: The City is working with a developer that has plans of adding 		

Council Communication

commercial buildings. It is located east of interstate 80 and north of highway 6. The area is comprised of 57.43 acres, more or less, of land. If the Kanessville Subarea is approved, the project as proposed could be eligible for full exemption for 3 years or a sliding scale for 10 years from taxation.

2. Additional Area Added: The City is working with a developer that has plans of adding a commercial building. It is located east of Valley View Drive and west of interstate 80 between Franklin Avenue and McPherson Ave. The area is comprised of 2.73 acres, more or less, of land. If the Valley View South Subarea is approved, the project as proposed could be eligible for full exemption for 3 years or a sliding scale for 10 years from taxation.

On May 5, 2025, City Council approved Resolution 25-120, which directed staff to initiate the process of amending the Amended and Restated Consolidated Urban Revitalization Plan-Amendment 1 and Area. This resolution set June 9, 2025 as the date of the public hearing.

This matter was brought before the City Planning Commission at their May 13, 2025 meeting. The Commission found the following: 1) That the proposed Amended and Restated Consolidated Urban Revitalization Plan furthers the goals of the City's *Bluffs Tomorrow: 2030 Plan*, which is the general plan for the development of the City of Council Bluffs; and 2) That the Amended and Restated Consolidated Urban Revitalization Area is an area appropriate for economic development as specified in Section 403.17.

Property owners were notified and no written correspondence was received by the Community Development Department either in support or against the proposed plan. Concurrent with the adoption of an urban revitalization plan, an ordinance establishing the urban revitalization area can be considered. Upon adoption of the area and approval of an ordinance, the City is permitted to grant tax abatement to qualified projects.

Staff Recommendation

The Community Development Department recommends approval of the Amended and Restated Consolidated Urban Revitalization Plan-Amendment 2 and Area and 1st consideration of the ordinance.

Planning Commission Recommendation

The Planning Commission recommended approval of the Amended and Restated Consolidated Urban Revitalization Plan-Amendment 2 and Area.

Staff speakers for the request:

1. Courtney Harter, Director Planning & Community Development, City of Council Bluffs

Speakers in favor: None

Speakers in opposition: None

Vote: 6-0-1 (1 absent, 3 vacant)

AYE – Freund, Knauss, Rater, Stroebele, Van Houten and Watson

Council Communication

NAY – None
ABSTAIN – Rew
ABSENT – Hutcheson
Motion: Carried

Attachments

Attachment A – Amended and Restated Consolidated Urban Revitalization Plan - Amendment 2
Attachment B – Boundary Map for Kanesville Subarea
Attachment C – Boundary Map for Valley View South Subarea

Prepared by: Marianne Collins, Housing & Economic Development Planner, Community Development Department
Submitted by: Courtney Harter, Director Planning & Community Development, Community Development Department

**AMENDED AND RESTATED
CONSOLIDATED
URBAN REVITALIZATION PLAN
AMENDMENT #2**

FOR THE

CITY OF COUNCIL BLUFFS, IOWA

2024

**AMENDMENT NO. 2
TO THE
AMENDED AND RESTATED
CONSOLIDATED URBAN REVITALIZATION PLAN
FOR THE
CITY OF COUNCIL BLUFFS, IOWA**

INTRODUCTION AND HISTORY

The Urban Revitalization Act, Chapter 404 of the *Code of Iowa*, is intended to encourage development, redevelopment, and revitalization within a designated area of a city by authorizing property tax development incentives to the private sector. Qualified real estate within a designated area may be eligible to receive a total or partial exemption from property taxes on improvements for a specified number of years. The primary intent of this act is to provide communities with a long-term increase or stabilization in their tax base by encouraging rehabilitation or new construction which might not otherwise have occurred.

In October 2024, the City Council of the City of Council Bluffs, Iowa (the “City”) adopted the Amended and Restated Consolidated Urban Revitalization Plan (the “Amended and Restated Plan” or “Plan”) Amendment No. 1 to add the 1st Avenue and 17th Street area to the previously adopted Amended and Restated Consolidated Urban Revitalization Plan. The various revitalization areas that now comprise the subareas of the Revitalization Area, and their corresponding original designating ordinances, are:

- 1st Avenue Urban Revitalization Area – Ordinance No. 6177
- 5th and West Broadway Urban Revitalization Area – Ordinance No. 6411
- 14th Avenue Urban Revitalization Area – Ordinance No. 6412
- 16th Avenue Urban Revitalization Area – Ordinance No. 6479
- 21st Avenue Urban Revitalization Area – Ordinance No. 6495
- American Games Urban Revitalization Area – Ordinance No. 6476
- Black Squirrel Flats Urban Revitalization Area – Ordinance No. 6532
- Bluffs Northway Urban Revitalization Area – Ordinance No. 6281
- College Road Urban Revitalization Area – Ordinance No. 6310
- Council Pointe Road Urban Revitalization Area – Ordinance No. 6326
- Mid-America Urban Revitalization Area – Ordinance No. 6469
- River Road Urban Revitalization Area – Ordinance No. 6464
- South Pointe Urban Revitalization Area – Ordinance No. 6375
- Valley View Urban Revitalization Area – Ordinance No. 6289
- Veterans Memorial Highway Urban Revitalization Area – Ordinance No. 6409
- Whispering Oaks Urban Revitalization Area – Ordinance No. 6533
- South Expressway Subarea, designated in connection with adoption of the Amended and Restated Plan – Ordinance No. 6603
- 1st Avenue and 17th Street Subarea, designated in connection with adoption of the Amended and Restated Plan Amendment No. 1 – Ordinance No. 6614

The corresponding legal descriptions that now comprise the subareas of the Amended and Restated Consolidated Urban Revitalization Area are attached as Exhibit A.

AMENDMENT TO PLAN – NEW SUBAREA - KANESVILLE

With the adoption of this Amendment No. 2 to the Amended and Restated Consolidated Urban Revitalization Plan (the “Amendment”), the City is designating additional land as a new subarea of the Revitalization Area. The first new subarea is legally described and depicted in Exhibit B, attached hereto and incorporated by this reference. The new subarea will be known as the Kanesville Subarea of the Revitalization Area.

The City is designating the Kanesville Subarea of the Revitalization Area as a revitalization area meeting the criteria of Iowa Code Sections 404.1(4) and Section 404.1(5).

Existing zoning classifications of the property within the Kanesville Subarea is Agricultural. Existing land use within the subarea is consistent with these zoning classifications. New development that remains consistent with the City’s zoning ordinance is proposed for the subarea.

A listing of the names and addresses of the owners of record for the real estate within the Kanesville Subarea, as well as the assessed valuations stated separately for land and buildings for the real estate, as of the date of this Amendment is attached as Exhibit C.

AMENDMENT TO PLAN – NEW SUBAREA – VALLEY VIEW SOUTH

With the adoption of this Amendment No. 2 to the Amended and Restated Consolidated Urban Revitalization Plan (the “Amendment”), the City is designating additional land as a new subarea of the Revitalization Area. The second new subarea is legally described and depicted in Exhibit D, attached hereto and incorporated by this reference. The new subarea will be known as the Valley View South Subarea of the Revitalization Area.

The City is designating the Valley View South Subarea of the Revitalization Area as a revitalization area meeting the criteria of Iowa Code Sections 404.1(4) and Section 404.1(5).

Existing zoning classifications of the property within the Valley View South Subarea is Residential with a planned residential overlay. Existing land use within the subarea is consistent with these zoning classifications. New development that remains consistent with the City’s zoning ordinance is proposed for the subarea.

A listing of the names and addresses of the owners of record for the real estate within the Valley View South Subarea, as well as the assessed valuations stated separately for land and buildings for the real estate, as of the date of this Amendment is attached as Exhibit E.

EFFECTIVE DATE AND SEVERABILITY

This Amendment shall be effective upon the approval of a resolution by the City Council adopting the Amendment.

Applications submitted following the Amendment's effective date shall be eligible to apply only for those exemptions contained in the Amended and Restated Plan, as amended by this Amendment, subject to the terms of the Plan. All previously awarded exemptions shall continue until their expiration.

Except as modified by this Amendment, the provisions of the Amended and Restated Plan are hereby ratified, confirmed, and approved and shall remain in full force and effect as provided herein. In case of any conflict or uncertainty, the terms of this Amendment shall control. Any subsections of the Amended and Restated Plan not mentioned in this Amendment shall continue to apply to the Plan.

If any part of this Amendment is determined to be invalid or unconstitutional, such invalidity or unconstitutionality shall not affect the validity of the Amended and Restated Plan or the Amendment as a whole, or any part of Amended and Restated Plan or the Amendment not determined to be invalid or unconstitutional.

EXHIBIT A

SUBAREAS OF REVITALIZATION AREA – LEGAL DESCRIPTIONS

Whispering Oaks Urban Revitalization Area

A PART OF THE SW 1/4 OF THE NW 1/4 OF SECTION 4, TOWNSHIP 74 NORTH, RANGE 43 WEST OF THE 5TH PRINCIPAL MERIDIAN, AND ALSO TOGETHER WITH PART OF THE SE 1/4 OF THE NE 1/4 OF SECTION 5, SAID TOWNSHIP 74 NORTH, RANGE 43 WEST OF THE 5TH PRINCIPAL MERIDIAN; ALL LOCATED IN POTTAWATTAMIE COUNTY, COUNCIL BLUFFS, IOWA, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE EAST 1/4 CORNER OF SECTION 5, TOWNSHIP 74N, RANGE 43 WEST; THENCE N1°06'10"E (ASSUMED BEARING), 53.00 FEET TO THE POINT OF BEGINNING; THENCE N88°28'13"W A DISTANCE OF 351.12 FEET TO A POINT ON THE EAST RIGHT-OF-WAY LINE OF FOREST GLEN DRIVE; THENCE NORTHERLY ALONG SAID EAST RIGHT-OF-WAY LINE OF FOREST GLEN DRIVE ON THE FOLLOWING DESCRIBED COURSES: THENCE N1°20'57"E, A DISTANCE OF 433.34 FEET; THENCE N88°16'18"W, A DISTANCE OF 15.99 FEET;

THENCE N1°31'50"E, A DISTANCE OF 313.54 FEET TO THE SOUTHWEST CORNER OF LOT 106, WHISPERING OAKS; THENCE S88°34'04"E, A DISTANCE OF 56.87 FEET ALONG THE SOUTH LINE OF LOT 106, WHISPERING OAKS TO THE NORTHWEST CORNER OF A TRACT OF LAND DESCRIBED IN BOOK 2017 PAGE 2889; THENCE S88°28'13"E, A DISTANCE OF 306.04 FEET ALONG THE SOUTH LINE OF LOT 106 & SOUTH LINE OF OUTLOT A, WHISPERING OAKS TO A POINT AT THE INTERSECTION OF THE SOUTH LINE OF OUTLOT A & THE EAST LINE OF A TRACT OF LAND DESCRIBED IN BOOK 2017 PAGE 2889; THENCE S88°15'01"E, A DISTANCE OF 562.24 FEET ALONG THE SOUTH LINE OF OUTLOT A, & LOTS 87-90 WHISPERING OAKS TO THE SOUTHEAST CORNER OF LOT 87 WHISPERING OAKS; THENCE S88°15'01"E, A DISTANCE OF 714.76 FEET; THENCE S88°15'01"E, A DISTANCE OF 17.46, TO THE WEST RIGHT OF WAY LINE OF FRANKLIN AVENUE; THENCE S1°43'39"W, A DISTANCE OF 747.00 FEET ALONG SAID WEST RIGHT-OF-WAY LINE OF FRANKLIN AVENUE; THENCE N88°15'01"W DISTANCE OF 1,086.30 FEET TO THE EAST LINE OF A PARCEL BOOK 87, PAGE 22729; THENCE N01°06'10"E ALONG SAID EAST LINE OF SAID PARCEL BOOK 87, PAGE 22729, A DISTANCE OF 180.01 FEET TO THE NORTHEAST CORNER OF SAID PARCEL BOOK 87, PAGE 22729; THENCE N88°15'01"W ALONG THE NORTH LINE OF SAID PARCEL, BOOK 87, PAGE 22729 A DISTANCE OF 200.00 FEET; THENCE S1°06'10"W ALONG SAID PARCEL BOOK 87, PAGE 22729, A DISTANCE OF 180.01 FEET TO THE POINT OF BEGINNING. SAID TRACT OF LAND CONTAINS 1,193,878.13 SQ.FT. OR 27.40 ACRES MORE OR LESS

South Pointe Urban Revitalization Area

A PARCEL OF LAND BEING ALL OF ROGERS AUTO SUBDIVISION, SOUTH POINTE SUBDIVISION, SOUTH POINTE SUBDIVISION REPLAT 1, SOUTH POINTE SUBDIVISION REPLAT 2, SOUTH POINT SUBDIVISION PHASE 2, SOUTH 24TH AND HIGHWAY 275 INDUSTRIAL AND A PORTION OF THE SOUTHEAST QUARTER OF SECTION 10, THE WEST HALF OF THE SOUTHWEST QUARTER OF SECTION 11, SECTION 14, GOVERNMENT LOT 1 TO SAID SECTION 14 AND A PORTION OF THE EAST HALF OF SECTION 15, ALL IN TOWNSHIP 74 NORTH, RANGE 44 WEST OF THE 5TH PRINCIPAL MERIDIAN, CITY OF COUNCIL BLUFFS, POTTAWATTAMIE COUNTY, IOWA, BEING MORE FULLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE CENTER OF SAID SECTION 10, SAID CENTER BEING ON THE SOUTH RIGHT-OF-WAY LINE OF RICHARD DOWNING AVENUE; THENCE EASTERLY ON SAID SOUTH RIGHT-OF-WAY LINE, 2,730 FEET MORE OR LESS TO A POINT ON THE WESTERLY RIGHT-OF-WAY LINE OF SOUTH 24TH STREET;

THENCE SOUTHERLY ON SAID WESTERLY RIGHT-OF-WAY LINE, 2,329 FEET MORE OR LESS TO A POINT ON THE NORTHERLY RIGHT-OF-WAY LINE OF VETERANS MEMORIAL HIGHWAY; THENCE WESTERLY ON SAID NORTHERLY RIGHT-OF-WAY LINE, 197 FEET MORE OR LESS TO A POINT ON THE EASTERLY LINE OF SAID SECTION 10; THENCE SOUTHERLY ON SAID EASTERLY LINE AND ON IT'S SOUTHERLY PROLONGATION, 390 FEET MORE OR LESS TO A POINT ON THE SOUTHERLY RIGHT-OF-WAY LINE OF SAID VETERANS MEMORIAL HIGHWAY; THENCE EASTERLY ON SAID SOUTHERLY RIGHT-OF-WAY LINE, 2,760 FEET MORE OR LESS TO THE NORTHEAST CORNER OF SAID SOUTH POINTE SUBDIVISION REPLAT 2; THENCE SOUTHERLY ON THE EAST LINE OF SAID SOUTH POINTE SUBDIVISION REPLAT 2, 1,246 FEET MORE OR LESS TO THE NORTHEAST CORNER OF SAID SOUTH POINTE SUBDIVISION REPLAT 1; THENCE SOUTHERLY ON THE EAST LINE OF SAID SOUTH POINTE SUBDIVISION REPLAT 1, 533 FEET MORE OR LESS TO A POINT ON THE NORTH LINE OF SAID SOUTH POINTE SUBDIVISION PHASE 2; THENCE EASTERLY ON SAID NORTH LINE, 110 FEET MORE OR LESS TO THE NORTHEAST CORNER OF SAID SOUTH POINTE SUBDIVISION PHASE 2, SAID NORTHEAST CORNER ALSO BEING ON THE WESTERLY RIGHT-OF-WAY LINE OF INDIAN CREEK; THENCE SOUTHWESTERLY ON THE EAST LINE OF SAID SOUTH POINTE SUBDIVISION PHASE 2 AND ON SAID WESTERLY RIGHT-OF-WAY LINE, 2,742 FEET MORE OR LESS TO THE SOUTHEAST CORNER OF LOT 5 IN SAID SOUTH POINTE SUBDIVISION PHASE 2; THENCE WESTERLY ON THE SOUTH LINE OF SAID LOT 5, 149 FEET MORE OR LESS TO A POINT ON THE EASTERLY RIGHT-OF-WAY LINE OF GIFFORD ROAD; THENCE NORTHWESTERLY ON SAID EASTERLY RIGHT-OF-WAY LINE, 1,420 FEET MORE OR LESS TO A POINT ON THE NORTHERLY RIGHT-OF-WAY LINE OF GIFFORD ROAD; THENCE WESTERLY ON SAID NORTHERLY RIGHT-OF-WAY LINE, 1,209 FEET MORE OR LESS; THENCE SOUTHWESTERLY, 1,883 FEET MORE OR LESS TO A POINT ON THE MISSOURI RIVER MEANDER LINE; THENCE SOUTHWESTERLY ON SAID MISSOURI RIVER MEANDER LINE, 1,174 FEET MORE OR LESS TO A POINT ON THE EAST LINE OF SAID SECTION 15; THENCE NORTHERLY ON SAID EAST LINE, 802 FEET MORE OR LESS; THENCE WESTERLY, 631 FEET MORE OR LESS; THENCE NORTHWESTERLY, 2,019 FEET MORE OR LESS TO A POINT ON THE EAST-WEST CENTERLINE OF SAID SECTION 15; THENCE WESTERLY ON SAID EAST-WEST CENTERLINE, 1,322 FEET MORE OR LESS TO A POINT ON THE EAST LINE OF GATEWAY SUBDIVISION IN SAID CITY OF COUNCIL BLUFFS; THENCE NORTHERLY ON SAID EAST LINE, 1,256 FEET MORE OR LESS TO A POINT ON THE SOUTHERLY RIGHT-OF-WAY LINE OF SAID VETERANS MEMORIAL HIGHWAY; THENCE NORTHEASTERLY ON SAID SOUTH RIGHT-OF-WAY LINE, 1,355 FEET MORE OR LESS TO A POINT ON THE SOUTHERLY PROLONGATION OF THE NORTH-SOUTH CENTERLINE OF SAID SOUTHEAST QUARTER OF SECTION 10; THENCE NORTHERLY ON SAID SOUTHERLY PROLONGATION AND ON SAID NORTH-SOUTH CENTER, 2,480 FEET MORE OR

LESS; THENCE WESTERLY, 1,315 FEET MORE OR LESS TO A POINT ON THE WEST LINE OF SAID SOUTHEAST QUARTER; THENCE NORTHERLY ON SAID WEST LINE, 998 FEET MORE OR LESS TO THE POINT OF BEGINNING.

SAID PARCEL CONTAINS AN AREA OF 500 ACRES, MORE OR LESS.

Valley View Urban Revitalization Area

Lot 3 of New Horizon Subdivision, City of Council Bluffs, Pottawattamie County, Iowa

Veterans Memorial Highway Urban Revitalization Area

The North 660 feet of the NE $\frac{1}{4}$ SW $\frac{1}{4}$ SW $\frac{1}{4}$ of Section 12-74-44, except the West 250 feet, and the West 16.5 feet of the South 20 feet north of the highway in the SE $\frac{1}{4}$ SW $\frac{1}{4}$ of Section 12-74-44 and commencing at a point 660 feet East of the NW corner of the SW $\frac{1}{4}$ of the SW quarter of section 12, thence South 660 feet, thence East 250 feet, thence North 660 feet, thence West 250 feet to the place of beginning, subject to right of ways of public highway City of Council Bluffs, Pottawattamie County, Iowa

College Road Urban Revitalization Area

Proposed Lots 1-4, New Horizon Subdivision, Replat Two, City of Council Bluffs, Pottawattamie County, Iowa

Council Pointe Road Urban Revitalization Area

Lot 1, Fox Run Landing, Replat Three, City of Council Bluffs, Pottawattamie County, Iowa.

Lot 116, Fox Run Landing, except the northwest corner dedicated to City right-of-way, along with northerly part of Lot 117 commencing at the southeast corner of said Lot 116, thence North 469.54 feet, thence Northeasterly 885.29 feet, thence South 787.74 feet, and thence West 806.06 feet back to the point of beginning, all in the City of Council Bluffs, Pottawattamie County, Iowa

Mid-America Urban Revitalization Area

A PARCEL OF LAND BEING ALL OF BASS PRO SUBDIVISION, BLUFFS VISION SUBDIVISION, BLUFFS VISION SUBDIVISION REPLAT 1, BLUFFS VISION 4 SUBDIVISION, BLUFFS VISION 4 SUBDIVISION REPLAT 1, HORSESHOE SUBDIVISION, HOTEL PLAZA AT THE MAC, HOTEL PLAZA AT THE MAC REPLAT 1, INRIP SUBDIVISION TRACT NO 1 1st ADDITION, MORRIS SUBDIVISION, MORRIS SUBDIVISION REPLAT 1, PLAZA AT MARCC, SAPP BROS TRAVEL CENTER, A PORTION OF RAILROAD ADDITION, A PORTION OF THE SOUTH HALF OF SECTION 03 AND A PORTION OF GOVERNMENT LOTS 2 AND 3 IN SECTION 04, ALL IN TOWNSHIP 74 NORTH, RANGE 44 WEST OF THE 5th PRINCIPAL MERIDIAN, CITY OF COUNCIL BLUFFS, POTTAWATTAMIE COUNTY, IOWA, BEING MORE FULLY DESCRIBED AS FOLLOW:

BEGINNING AT THE NORTHEAST CORNER OF SAID SAPP BROS TRAVEL CENTER, SAID NORTHEAST CORNER ALSO BEING ON THE WEST RIGHT-OF-WAY LINE OF SOUTH 24th STREET;

THENCE SOUTH ON SAID WEST RIGHT-OF-WAY LINE, 726 FEET MORE OR LESS TO A POINT ON THE NORTHERLY RIGHT-OF-WAY LINE OF MID-AMERICAN DRIVE;

THENCE ON SAID NORTHERLY RIGHT-OF-WAY LINE THE FOLLOWING THREE (3) COURSES:

- 1 WESTERLY, 352 FEET MORE OR LESS;
- 2 SOUTHWESTERLY, 1,272 FEET MORE OR LESS;
- 3 WESTERLY AND WESTERLY ON THE WESTERLY PROLONGATION, 2,382 FEET MORE OR LESS TO A POINT ON THE EASTERLY RIGHT-OF-WAY LINE OF INTERSTATE 29;

THENCE NORTHWESTERLY ON SAID EASTERLY RIGHT-OF-WAY LINE, 3,909 FEET MORE OR LESS TO A POINT ON THE SOUTHWESTERLY PROLONGATION OF THE NORTH LINE OF SAID INRIP SUBDIVISION TRACT NO 1 1st ADDITION;

THENCE NORTHEASTERLY ON SAID WESTERLY PROLONGATION AND ON SAID LINE, 942 FEET MORE OR LESS TO A POINT ON THE SOUTHWESTERLY RIGHT-OF-WAY LINE OF SOUTH 35th STREET;

THENCE SOUTHEASTERLY ON SAID SOUTHWESTERLY RIGHT-OF-WAY LINE AND SOUTHEASTERLY ON IT'S SOUTHEASTERLY PROLONGATION, 1,073 FEET MORE OR LESS TO A POINT ON THE SOUTHERLY RIGHT-OF-WAY LINE OF 23rd AVENUE;

THENCE EASTERLY ON SAID SOUTHERLY RIGHT-OF-WAY LINE, 4,982 FEET MORE OR LESS TO A POINT ON THE WESTERLY RIGHT-OF-WAY LINE OF SAID SOUTH 24th STREET;

THENCE SOUTH ON SAID WESTERLY RIGHT-OF-WAY, 610 FEET MORE OR LESS TO THE POINT OF BEGINNING.

SAID PARCEL CONTAINS AN AREA OF 285 ACRES, MORE OR LESS.

River Road Urban Revitalization Area

Lot 1, River Road Subdivision, City of Council Bluffs, Pottawattamie County, Iowa

American Games Urban Revitalization Area

Lot 3, Pollard Games Addition, City of Council Bluffs, Pottawattamie County, Iowa

Black Squirrel Flats Urban Revitalization Area

Lot 1, Black Squirrel Flats Subdivision, City of Council Bluffs, Pottawattamie County, Iowa

Bluffs Northway Urban Revitalization Area

Lots 2 and 3, Walmart Bluffs Northway Subdivision, City of Council Bluffs, Pottawattamie County, Iowa

Lots 10 through 18 and the east/west alley abutting Belmont Addition along with the Canadian National Railway right-of-way abutting on the north and Avenue P right-of-way abutting on the south; Lots 33 through 37 and the North ½ vacated alley abutting and Lots 56 through 61 and the South ½ vacated alley abutting Belmont Addition along with Avenue O right-of-way abutting on the south; Lots 79 through 83 and the North ½ vacated alley abutting and Lots 102 through 106 and the South ½ vacated alley abutting Belmont Addition, City of Council Bluffs, Pottawattamie County, Iowa

16th Avenue Urban Revitalization Area

A parcel of land situated in the North Half (N1/2) of Section 2, Township 74 North, Range 44 West and the Southeast Quarter of the Southwest Quarter (SE1/4 SW1/4) of Section 35, Township 75 North, Range 44 West of the Fifth Principal Meridian, City of Council Bluffs, Pottawattamie County, State of Iowa, according to an official plat of said land filed in the District Land Office, bounded and described as follows: Beginning at a point on the North-South centerline of said Section 2, from which point the center of said section bears South, 264.98 feet; thence North 89 degrees 50 minutes 17 seconds East, 200.00 feet; thence North 00 degrees 00 minutes 17 sections East, 2150.79 feet to the south line of 16th Avenue; thence along said south line South 89 degrees 30 minutes 12 seconds West, 200.0 feet to a point on said North-South centerline of said Section 2; thence along said North-South centerline North 20.90 feet to the north quarter corner of said Section 2; thence along the North-South centerline of said Section 35, North 00 degrees 21 minutes 09 seconds West, 60.0 feet to a point on the north line of 16th Avenue, said point also being the southwest corner of Lot 12, Block 36, Fleming and Davis addition; thence South 89 degrees 38 minutes 51 seconds West, 16.0 feet; thence North 00 degrees 21 minutes 09 seconds West, 646.37 feet to a point on the south line of 14th Avenue prolonged, said point being South 89 degrees 38 minutes 53 seconds West, 16.0 feet from the northwest corner of Lot 1, Block 29, Fleming and Davis Addition; thence South 89 degrees 38 minutes 53 seconds West, 379.00 feet; thence South 75 degrees 42 minutes 26 seconds West, 399.46 feet; thence South 82 degrees 12 minutes 26 seconds West, 126.58 feet; thence South 21 degrees 28 minutes 31 seconds East, 2490.70 feet to a point on the North-South centerline of said Section 2; thence along said North-South centerline, South 441.28 feet to the Point of Beginning. Containing an area of 1,548,471 square feet, more or less, or 35.548 acres, more or less.

AND

A parcel of land legally described as being the East 16 feet of the South 686 feet, except the South 178 feet of the North 323 feet, all in the SE1/4 SW1/4 of Section 35-75-44, City of Council Bluffs, Pottawattamie County, Iowa. Said parcel of land contains an area of 8,276 square feet more or less, or .19 acres, more or less.

21st Avenue Urban Revitalization Area

Lots 9, 10, 18, 19, 20, 21 and 22, a portion of Lots 7, 8, 11, 12, 13, 16, 17, 23, 24 and 25 in Block 14, a portion of Lots 16, 17, 18 and 19 in Block 19, all of the vacated alley's in said Block 14 and all of vacated 22nd Avenue right-of-way lying within the following described parcel, all in Hughes and Doniphan's Addition, City of Council Bluffs, Pottawattamie County, Iowa

And

Lots 14 and 15 and that part of Lot 13 in Block 14, Hughes and Doniphan's Addition to the City of Council Bluffs, Pottawattamie County, Iowa, all lying Southwest of the former Wabash Railroad Right-of-Way (now Southside Trail Bike Trail Right-of-Way) AND That part of the vacated north/south alley lying north of the north right-of-way line of 22nd Avenue and south of the southerly right-of-way of the former Wabash Railroad (now Southside Trail Bike Trail) AND The North 1/2 of vacated 22nd Avenue lying between the east right-of-way line of South 6th Street and southwesterly right-of-way line of Southside Trail Bike Trail.

14th Avenue Urban Revitalization Area

Lots 16-30, Block 37, Brown's Subdivision, Council Bluffs, Pottawattamie County, Iowa

5th and West Broadway Urban Revitalization Area

The portion of Block 6, Mynster's Addition Southeast of the right-of-way of Kaneshville Boulevard; The portion of Lots C and D, Auditor's Subdivision of Block 6 Mynster's Addition and Block 2 Bayliss 1st Addition located Southeast of the right-of-way of Kaneshville Boulevard, and the entirety of the alleyway adjacent to Lot D; Lots E-P, Auditor's Subdivision of Block 6 Mynster's Addition and Block 2 Bayliss 1st Addition, and the vacated alley adjacent to Lot N; Lot 5, Block 2, Bayliss Addition to Council Bluffs, Pottawattamie County, Iowa;

And:

Lots 1-13, Auditor's Subdivision of Lot 5, Block 5 Mynster's Addition and Block 1, Bayliss 1st Addition, and the alleyway adjacent; Lot 2 excluding City right-of-way, Lots 3 and 4, and Lots 6-10, Mynster's Addition, all in the City of Council Bluffs, Pottawattamie County, Iowa.

1st Avenue Urban Revitalization Area

Lots 1-5 and 9-16, Block 6, Bayliss First Addition, City of Council Bluffs, Pottawattamie County, Iowa

South Expressway Subarea of Revitalization Area

Lots 5, 6, 7, 8, 16, 17 and all of Lot 4 except the North 3.5 feet, Country Club Acres, City of Council Bluffs, Pottawattamie County, Iowa.

1st Avenue & 17th Street Subarea of Revitalization Area

Lots 1-8, Block 4, Everetts Addition along with Lots 1-8, Block 26, Beer's Subdivision and the vacated east/west alley adjacent, City of Council Bluffs, Pottawattamie County, Iowa.

EXHIBIT B

LEGAL DESCRIPTION AND MAP OF NEW SUBAREA

A tract of land located in part of Lot 1, Auditor's Subdivision of the SW $\frac{1}{4}$ NW $\frac{1}{4}$; part of the SE $\frac{1}{4}$ NW $\frac{1}{4}$; part of Lots 1, 2 and 3, Auditor's Subdivision of the NW $\frac{1}{4}$ SW $\frac{1}{4}$; and part of the NE $\frac{1}{4}$ SW $\frac{1}{4}$, all located in Section 22, Township 75 North, Range 43 West of the 5th Principal Meridian, City of Council Bluffs, Pottawattamie County, Iowa.



EXHIBIT C
INFORMATION CONCERNING KANESVILLE SUBAREA

Current Tax Parcel Number	Name of Property Owner	Address of Record for Property Owner	Current Assessed Value – Land Value	Current Assessed Value – Improvement Value
754322100006	KCI Council Bluffs Land LLC	14747 N. Northsight Blvd, Ste # 111-431 Scottsdale, AZ 85260	\$135,700.00	\$0

EXHIBIT D

LEGAL DESCRIPTION AND MAP OF NEW SUBAREA

Lots 2-4, Jilla Subdivision, City of Council Bluffs, Pottawattamie County, Iowa.

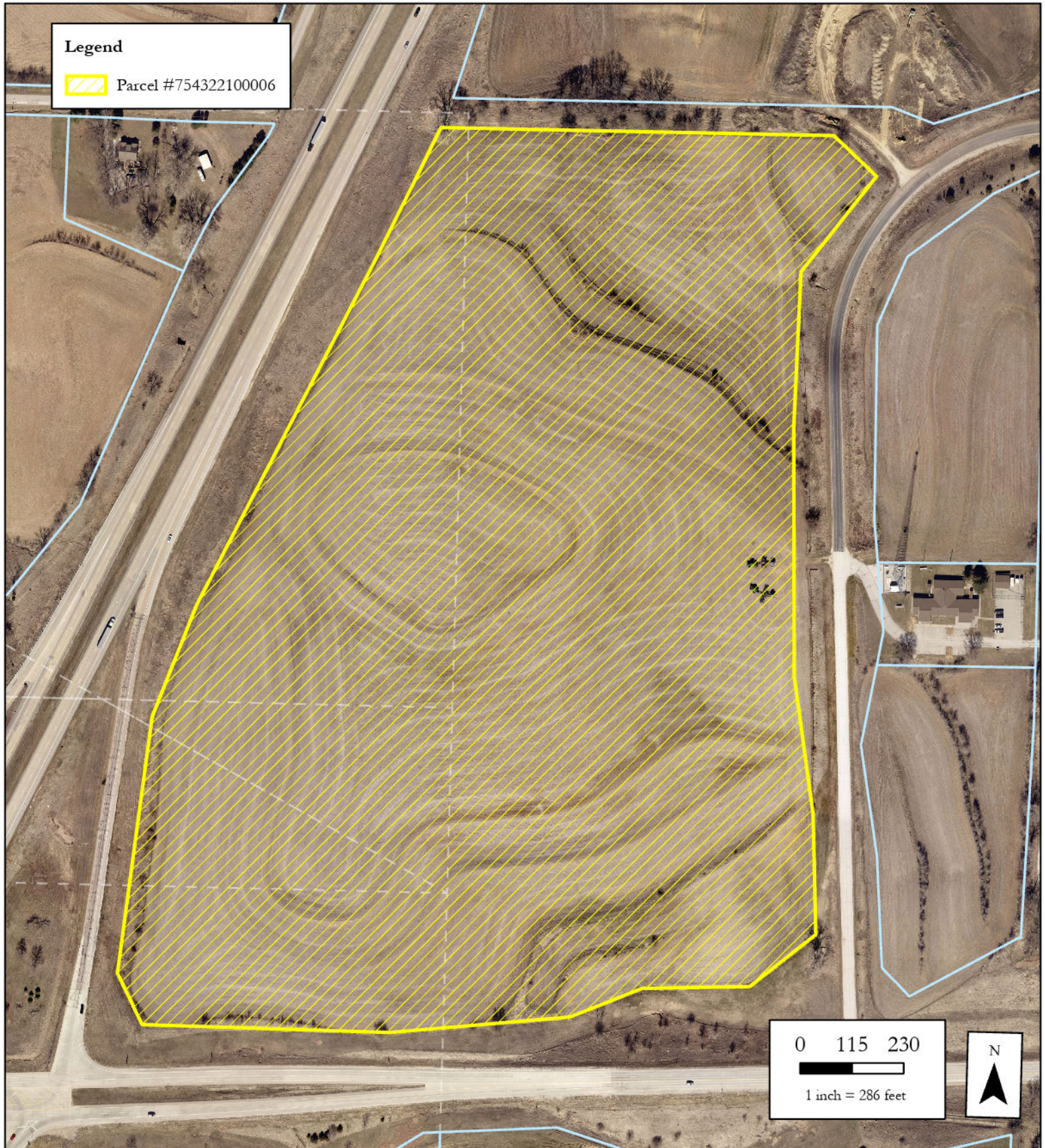


EXHIBIT E

INFORMATION CONCERNING VALLEY VIEW SOUTH SUBAREA

Current Tax Parcel Number	Name of Property Owner	Address of Record for Property Owner	Current Assessed Value – Land Value	Current Assessed Value – Improvement Value
754332256002	Hunt Ventures LLC	23699 Murphy Ln Council Bluffs, IA 51503	\$104,100.00	\$0
754332256003	R-J Capital LLC	PO Box 33 Council Bluffs, IA 51502	\$119,500.00	\$0
754332256004	R-J Capital LLC	PO Box 33 Council Bluffs, IA 51502	\$127,200.00	\$0

CONSOLIDATED REVITALIZATION PLAN AMENDMENT #2 (PARCEL #754322100006)



CONSOLIDATED REVITALIZATION PLAN AMENDMENT #2 (VALLEY VIEW DRIVE PARCELS)



ORDINANCE NO. 6652

AN ORDINANCE AMENDING THE AMENDED AND RESTATED CONSOLIDATED URBAN REVITALIZATION AREA – AMENDMENT 1 WITHIN THE CITY OF COUNCIL BLUFFS.

WHEREAS, the City of Council Bluffs has the authority under Chapter 404 of the Code of Iowa to declare areas as urban revitalization subareas to be known as the “Amended and Restated Consolidated Urban Revitalization Area – Amendment 2;” and

WHEREAS, the City of Council Bluffs is contemplating exercising said authority by adding two subareas designating the subareas legally described as urban revitalization subareas, thus allowing tax abatement for qualified projects, legal description of these subareas are attached as Exhibit A; and

WHEREAS, this City Council of the City of Council Bluffs, Iowa, finds that the subject areas are appropriate as urban revitalization subareas as outlined in Sections 404.1.4 of the Iowa Code; and

WHEREAS, on May 5, 2025, the City Council passed a Resolution of Necessity and Intent to amend the Amended and Restated Consolidated Urban Revitalization Area - Amendment 1 to include the Kaneshville and Valley View South subareas directing staff to prepare the required revitalization plan and a public hearing was set for June 9, 2025; and

WHEREAS, the Revitalization Plan has been written and packaged, notification sent to all the property owners and tenants affected and published notification has appeared in the daily newspaper; and

WHEREAS, at its May 13, 2025 meeting, the City Planning Commission reviewed the plan for the Amended and Restated Consolidated Urban Revitalization Area - Amendment 2 and has forwarded its recommendation to this City Council.

**NOW, THEREFORE, BE IT ORDAINED
BY THE CITY COUNCIL
OF THE
CITY OF COUNCIL BLUFFS, IOWA**

SECTION 1. That, consistent with the adoption of the Amendment and in accordance with the provisions of the Urban Revitalization Act, the areas legally described as follows are hereby designated as urban revitalization area, as a subarea of the Council Bluffs Amended and Restated Consolidated Urban Revitalization Area of the City of Council Bluffs, Iowa:

Kaneshville Subarea

A tract of land located in part of Lot 1, Auditor’s Subdivision of the SW ¼ NW ¼; part of the SE ¼ NW ¼; part of Lots 1, 2 and 3, Auditor’s Subdivision of the NW ¼ SW ¼; and part of the NE

¼ SW ¼, all located in Section 22, Township 75 North, Range 43 West of the 5th Principal Meridian, City of Council Bluffs, Pottawattamie County, Iowa.

Valley View South Subarea

Lots 2-4, Jilla Subdivision, City of Council Bluffs, Pottawattamie County, Iowa.

SECTION 2. That the proposed Amended and Restated Consolidated Urban Revitalization Area be and the same is hereby approved, pursuant to the proposed plan attached hereto and incorporated herein by this reference.

SECTION 3. That Ordinance No. 6614 is hereby amended to include the Kanesville and Valley View South Subareas.

SECTION 4. EFFECTIVE DATE. That this ordinance shall be in full force and effect from and after its final passage and publication, as by law provided.

APPROVED
AND
ADOPTED

June 9, 2025

Matthew J. Walsh

Mayor

ATTEST:

Jodi Quakenbush

City Clerk

PUBLIC HEARING: 06/09/2025

FIRST CONSIDERATION: 06/09/2025

SECOND CONSIDERATION: 06/23/2025

THIRD CONSIDERATION: REQUEST TO WAIVE

Council Communication

Department: Finance
Case/Project No.:
Submitted by: Finance Department / Danielle Bemis

Resolution 25-150
ITEM 7.A.

Council Action: 6/9/2025

Description
Resolution amending the list of authorities for execution of financial transactions between the City of Council Bluffs, Iowa and institutions to hold City funds (non-corporate resolution).

Background/Discussion
<p>Several financial institutions and investment broker dealers require proof of authorization for the staff who transact official business with them. This proof is provided in the form of a resolution authorizing specific individuals to transact business with those institutions. It is often referred to as a "non-corporate resolution".</p> <p>The City has reviewed the last resolution approved in October 2023 and has made revisions to the authorized individuals to transact business on behalf of the City. The amendment reflects changes to Finance staff, with Stephanie Harden and Andrea Collins, both Accounting Managers, replacing Grant Duin, previously the Sr. Accounting Manager.</p> <p>The "redline" version of the previous resolution is attached along with a clean version of the proposed amended resolution.</p>

Recommendation
During the three-year internal policy review of the City's Investment Policy, it is necessary to amend this resolution to reflect the staff changes within the Finance department and authority within.

ATTACHMENTS:

Description	Type	Upload Date
Resolution 25-150	Resolution	6/4/2025

Resolution 25-150

Resolution establishing authority for execution of business transactions between the City of Council Bluffs, Iowa and institutions authorized to hold City funds (non-corporate resolution)

WHEREAS, the City of Council Bluffs must designate by resolution those individuals authorized by the governing body to transact business on behalf of the city; and

WHEREAS, the following individuals holding the designated positions within the City organization are the appropriate individuals to transact business on behalf of the City of Council Bluffs.

Now, therefore, be it resolved by the City Council of the City of Council Bluffs, Iowa:

That the following individuals holding the following positions are hereby designated as those authorized to transact business on behalf of the City of Council Bluffs:

Matthew J. Walsh	Mayor
Danielle Bemis	Director of Finance
Stephanie Harden	Accounting Manager
Andrea Collins	Accounting Manager

Adopted and Approved: June 9, 2025

Matthew J. Walsh, Mayor

Jodi Quakenbush, City Clerk

Council Communication

Department: Legal
Case/Project No.:
Submitted by: Graham Jura on behalf of
Waterworks

Resolution 25-151
ITEM 7.B.

Council Action: 6/9/2025

Description

Resolution to accept property legally described as Lot Three (3), Block One (1) in Hillcrest Addition, that is being donated by the the Board of Waterworks Trustees of Council Bluffs, Iowa.

Background/Discussion

The City has been contacted by the Board of Waterworks Trustees of Council Bluffs, Iowa regarding a parcel adjacent to Hillcrest Ave. that is no longer of strategic value to their operation, and they would like to donate the parcel to the City. Hillcrest Avenue is a residential street with infrastructure that dates back to the 1970's and is in need of replacement. The pavement on Hillcrest Avenue has an asphalt surface approximately 16 feet wide with no curb and gutter, sidewalk, or storm sewer. The roadway surface is in poor condition and the width of the roadway is far below current standards.

A project has been programmed to rehabilitate the sanitary sewer and reconstruct the street.

The proposed land transfer will allow for a widened roadway with a turnaround area at the dead end of Hillcrest Avenue. This improvement will facilitate snow plow operations and emergency vehicles responding to calls for service.

Recommendation

Approval is recommended.

ATTACHMENTS:

Description	Type	Upload Date
Attachment	Other	5/21/2025
Attachment	Other	5/21/2025
Resolution 25-151	Resolution	6/4/2025

$\frac{1}{2}$

[Zoom Out](#) [Zoom In](#)



600ft x 600ft

[Click any parcel to go to its web page](#)

Spring 2024 aerial

See [more maps](#) at the [County GIS Department](#).

As of: On Web ▼

[Find Property](#) [Res Sales](#) [Comm/Ind Sales](#)

QUIT CLAIM DEED

In consideration of **ONE DOLLAR AND ZERO CENTS, (\$1.00) AND OTHER GOOD AND VALUABLE CONSIDERATION**, Board of Waterworks Trustees of Council Bluffs, Iowa, an Iowa utility board (Iowa Code 388.1(2)), does hereby release, demise, convey and quitclaim unto the City of Council Bluffs, a municipality incorporated under the laws of the state of Iowa, all our right, title and interest in and to the following real property in Pottawattamie County, Iowa:

Lot Three (3), Block One (1) in Hillcrest Addition to the City of Council Bluffs, Iowa.

*This deed hereby relinquishes any and all powers and authorities vested in the Grantor pursuant to Iowa Code 388.4(2).

Each of the undersigned hereby relinquishes all rights of dower, homestead and distributive share in and to the real estate. Words and phrases herein, including acknowledgment hereof, shall be construed as in the singular or plural number, and as masculine or feminine gender, according to the context.

Dated: _____

Keith Jones, Chairman
Board of Waterworks Trustees of Council Bluffs, Iowa (Grantor)

STATE OF IOWA)
COUNTY OF) ss.
POTTAWATTAMIE)

This record was acknowledged before me on this _____ day of _____, 2025, by Keith Jones, as Chairman, Board of Waterworks Trustees of Council Bluffs, Iowa.

Notary Public in and for said State

RESOLUTION NO. 25-151

A RESOLUTION TO ACCEPT PROPERTY LEGALLY DESCRIBED AS LOT THREE (3), BLOCK ONE (1) IN HILLCREST ADDITION TO THE CITY OF COUNCIL BLUFFS, IOWA, THAT IS BEING DONATED BY BOARD OF WATERWORKS TRUSTEES OF COUNCIL BLUFFS, IOWA.

WHEREAS, Board of Waterworks Trustees of Council Bluffs, Iowa, owns a parcel adjacent to Hillcrest Ave. that is no longer of strategic value to the Board and they wish to donate said parcel to the City; and

WHEREAS, A project has been programmed by the City to rehabilitate the sanitary sewer and reconstruct Hillcrest Avenue; and

WHEREAS, The proposed land transfer will allow for a widened roadway with a turnaround area at the dead-end of Hillcrest Avenue and this improvement will facilitate snow plow operations and emergency vehicles when responding to calls for service.

**NOW, THEREFORE, BE IT RESOLVED
BY THE CITY COUNCIL
OF THE
CITY OF COUNCIL BLUFFS, IOWA**

That the City does accept the donation of the parcel legally described as Lot Three (3), Block One (1) in Hillcrest Addition to the City of Council Bluffs, Iowa.

ADOPTED
AND
APPROVED:

June 9, 2025.

Matthew J. Walsh

Mayor

ATTEST:

Jodi Quakenbush

City Clerk

Council Communication

Department: Public Works Admin
Case/Project No.: PW24-21
Submitted by: Matthew Cox, Public Works
Director

Resolution 25-152
ITEM 7.C.

Council Action: 6/9/2025

Description

Resolution accepting the work of Western Iowa Utilities (Hildreth Landscape Inc.) as complete and authorizing the release of retainage after 30 days if no claims are files in connection with the Kanesville Sanitary Sewer Extension, Phase 1. Project # PW24-21

Background/Discussion

Future commercial developments near the I-80 Interchange at Kanesville Boulevard will require sanitary sewer improvements.

The constructed sewer ties into an existing sanitary sewer on the west side of the BNSF railroad tracks south of Kanesville Boulevard, and extends to the east just west of the I-80 westbound on-ramp. This project provides service to the open ground at the southwest quadrant of the I-80 Interchange.

The project was included in the FY24 CIP with ARPA identified as the funding source. ARPA Revenue Loss funds have been authorized for the engineering and construction costs of the project.

	Division I	Division IV	
	<u>General</u>	<u>Sanitary Sewer</u>	<u>Total</u>
Original Contract Amount	\$154,636.95	\$1,155,205.30	\$1,309,842.25
Change Orders (7.14%)	\$228,640.52	(\$135,123.63)	\$93,516.89
Final Contract Amount	\$383,277.47	\$1,020,081.67	\$1,403,359.14
Less Previous Payments	\$364,113.60	\$969,077.59	\$1,333,191.19
Retainage Due Contractor	\$19,163.87	\$51,004.08	\$70,167.95

The Contractor completed the project on time and did not receive any non-compliance notices.

A sewer tap-on fee is proposed for this improvement project. An ordinance will be submitted for consideration to allocate the sewer costs to the properties within the benefited area.

Recommendation

Approval of this resolution accepting the work of Western Iowa Utilities (Hildreth Landscape, Inc.) as complete and authorizing the release of retainage after 30 days.

ATTACHMENTS:

Description

[Map](#)

[Resolution 25-152](#)

Type

Map

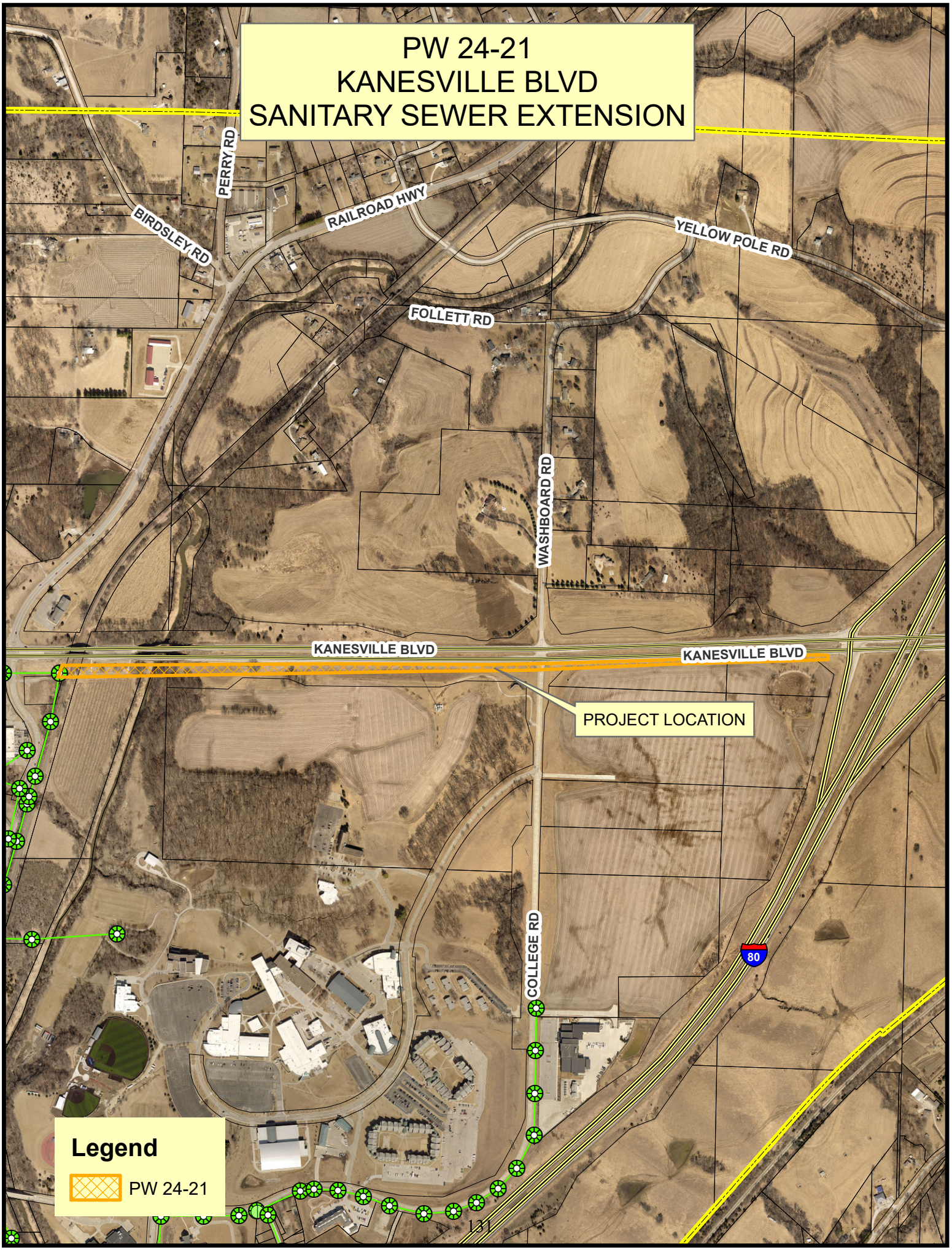
Resolution

Upload Date


5/28/2025

6/4/2025

PW 24-21
KANESVILLE BLVD
SANITARY SEWER EXTENSION



Legend

 PW 24-21

**RESOLUTION
NO 25-152**

**RESOLUTION ACCEPTING THE WORK OF
WESTERN IOWA UTILITIES (HILDRETH LANDSCAPE, INC.)
IN CONNECTION WITH
KANESVILLE SANITARY SEWER EXTENSION, PHASE 1
AND AUTHORIZING THE FINANCE DIRECTOR TO ISSUE
A CITY CHECK IN THE AMOUNT OF \$70,167.95
PROJECT #PW24-21**

- WHEREAS, the City of Council Bluffs, Iowa, entered into an agreement with Western Iowa Utilities (Hildreth Landscape, Inc.), Council Bluffs, IA for the Kanseville Sanitary Sewer Extension, Phase 1; and
- WHEREAS, said contractor has fully completed the construction of said improvements in accordance with the terms and conditions of said contract and plans and specifications filed with the city clerk; and
- WHEREAS, a request for final payment in the amount of \$70,167.95 to Western Iowa Utilities (Hildreth Landscape, Inc.) has been submitted to the city council for approval and payment; and
- WHEREAS, final payment is due 30 days after acceptance of the work; and
- WHEREAS, the city council of the City of Council Bluffs has been advised and does believe that said \$70,167.95 constitutes a valid obligation of the City and should in its best interest be paid.

NOW, THEREFORE, BE IT RESOLVED
BY THE CITY COUNCIL
OF THE
CITY OF COUNCIL BLUFFS, IOWA

Said improvements are hereby accepted as having been fully completed in accordance with plans and specifications.

AND BE IT FURTHER RESOLVED

That the finance director is hereby authorized and directed to issue a city check in the amount of \$70,167.95 payable to Western Iowa Utilities (Hildreth Landscape, Inc.), from budget codes Division I, S36000-676000; Division IV, S36000-676700; Project #2421X.

ADOPTED
AND
APPROVED

June 9, 2025

Matthew J. Walsh, Mayor

ATTEST:

Jodi Quakenbush, City Clerk

Council Communication

Department: Human Resources
Case/Project No.:
Submitted by: Natalie Bouchama

Resolution 25-153
ITEM 7.D.

Council Action: 6/9/2025

Description

Resolution establishing a Park Maintenance Worker III position to support Parks and Recreation operations.

Background/Discussion

The Parks and Recreation Director has conducted a thorough evaluation of existing resources and department needs and has determined there is a need to create one (1) Park Maintenance Worker III position.

This new position is necessary to support the department's expanding maintenance responsibilities and ensure continued high-quality service across several key park facilities. The individual in this role will handle the daily maintenance of the River's Edge Splash Pad, which requires consistent oversight and operation similar to that of a swimming pool facility.

In addition, the Park Maintenance Worker III will oversee maintenance and operations at Hanafan Park, including current facilities and new phases that are presently under construction. The position will also be responsible for the care and upkeep of the 1st Avenue Trail and Valley View Dog Park, both of which are heavily used and require regular attention.

Due to the scope and complexity of these responsibilities, a senior-level maintenance position is necessary to provide consistent, dedicated oversight. This role will enhance the department's ability to meet operational needs and maintain safe, accessible, and well-managed public spaces.

Recommendation

Approval of the resolution

ATTACHMENTS:

Description

[Job Description](#)

[Resolution 25-153](#)

Type

Job Description

Resolution

Upload Date

5/29/2025

6/4/2025



City of Council Bluffs
Job Description

Park Maintenance Worker III

Department: Parks & Recreation

Supervisor: Parks & Recreation Supervisor

Location: Park Maintenance Building and/or Recreation Complex

FLSA Status: Non-exempt

Prepared By: Natalie Bouchama, Talent Acquisition Coordinator

Prepared Date: May 2025

Union: AFSCME

Pay Grade: 19 (\$52,981.43 - \$65,662.64)

Summary: This position involves skilled maintenance and repair work in the care and upkeep of City parks and outdoor recreational facilities. It requires a solid understanding of grounds maintenance practices, as well as the ability to perform a variety of construction and repair tasks with minimal supervision. Employees in this classification may be assigned to one of three areas: Park Maintenance, Recreation Complex Maintenance, or Horticulture & Grounds Maintenance. Regardless of assignment, all employees are responsible for general maintenance duties across park facilities.

The work includes performing outdoor construction, maintenance, and repair projects, often involving the use of tools, equipment, and materials necessary for upkeep and improvements. Employees are responsible for ordering supplies, coordinating tasks with other departments, and ensuring that work is completed efficiently and safely. This role may involve working independently or leading a team of seasonal staff. It is common for employees in this position to be assigned specific parks or geographic areas within the City.

This is a physically active, outdoor role that requires work in a variety of weather conditions. The standard work schedule for this position is Wednesday through Sunday, from 7:00 AM to 3:00 PM.

Essential Duties and Responsibilities:

- Perform a range of park maintenance and light construction activities within designated parks or assigned areas.
- Work independently and demonstrate initiative in completing tasks without direct supervision.
- Operate power equipment including mowers, edgers, clippers, hedgers, and other landscaping tools.
- Collect, rake, and load grass and brush; mow lawns and clean park grounds.
- Plant, water, and assist in the care of shrubs, flowers, and grass.
- Empty trash receptacles and power wash site furnishings.
- Perform snow removal tasks as needed.
- Conduct outdoor maintenance such as repairing trails, sidewalks, and park facilities or assets.
- Estimate materials needed for projects and assist in ordering supplies.
- Maintain reports of daily activities.
- Paint park buildings and equipment.
- Make repairs and adjustments to playground equipment.

- Perform heavy manual labor including loading supplies and digging post holes.
- Plant and care for trees and shrubs.
- Spray, fertilize, and prune trees and shrubs.
- Weed, cultivate, plant, irrigate, and fertilize lawns and flower beds.
- Prune and trim hedges, bushes, and other shrubbery.
- Complete minor irrigation repairs.
- Install site furnishings.

Supervisor Responsibility:

Under the general supervision of the Park Maintenance Supervisor, the position performs outside construction and maintenance of City park facilities. Employees in this classification perform skilled construction and repair work. The position is responsible for ordering materials, performing outdoor construction or repairs, and coordinating with other departments or activities. Related work is performed as directed. The employee will typically work alone or lead a team of seasonal workers.

Qualifications:

To perform this job successfully, an individual must be able to demonstrate the necessary work history and capability to satisfactorily complete the essential duties and responsibilities. The requirements listed represent the knowledge, skills, and/or abilities required. Reasonable accommodations may be made to enable individuals with disabilities to perform the essential functions.

Education and/ or Experience:

- High school diploma or general education degree (GED)
- Associate's in related area of study, preferred
- Five (5) to seven (7) years of related experience
- Any equivalent combination of education and experience which provides the required knowledge, skills, and abilities

Certificates, Licenses, Registrations:

- Valid Driver's License
- Must obtain a Pesticide Applicator's License with the Turf and Ornamental Category and Right-of-Way Category issued by the State of Iowa within one-year of hire
- Pool Operators License within one year of hire

Physical Demands:

- While performing the duties of this job, the employee is frequently required to stand; walk; sit; use hands to finger, handle, or feel; reach with hands and arms; climb or balance; stoop, kneel, crouch, or crawl; and see, talk, and hear.
- The employee must be able to occasionally lift and work with up to seventy (70) pounds.
- The employee must be able to frequently lift and work with up to twenty (20) pounds.
- The employee must be able to continuously lift and work with up to ten (10) pounds.
- Must have the ability to work both in and out of doors in all weather conditions.
- Must have the ability to work both in and out of doors in all weather conditions.

Other Skills and Abilities:

- Good knowledge of methods, practices, tools, and equipment used in park maintenance and construction programs
- Skill in repairing equipment, buildings, and grounds
- Ability to supervise a small crew of laborers

- Ability to operate all equipment safely and in accordance with the equipment manual and City Safety Policy
- Ability to understand and follow simple oral and written directions
- Ability to develop and maintain good public relations

RESOLUTION
NO 25-153

Resolution Establishing a Park Maintenance Worker III Position to Support Parks and Recreation Operations

- WHEREAS, A thorough evaluation of existing resources and departmental needs has been conducted by the Director of Parks and Recreation; and
- WHEREAS, The evaluation identified the need to create one (1) new position within the Parks and Recreation Department; and
- WHEREAS, The position of Park Maintenance Worker III is necessary to support daily maintenance at the River's Edge Splash Pad, oversee operations at Hanafan Park (including new phases under construction), and maintain the 1st Avenue Trail and Valley View Dog Park; and
- WHEREAS, said change is deemed to be in the best interest of the City of Council Bluffs, Iowa;

NOW, THEREFORE, BE IT RESOLVED
BY THE CITY COUNCIL
OF THE
CITY OF COUNCIL BLUFFS, IOWA

That the following position changes are hereby adopted and approved:

Establish one (1) Park Maintenance Worker III position.

ADOPTED AND APPROVED June 9, 2025

Matthew J. Walsh, Mayor

ATTEST:

Jodi Quakenbush, City Clerk

Council Communication

Department: Public Works Admin
Case/Project No.:
Submitted by: Matthew Cox, Public Works
Director

Resolution 25-154
ITEM 7.E.

Council Action: 6/9/2025

Description
Resolution authorizing the Mayor to execute an agreement with Tidewater Transit LLC, a wholly owned subsidiary of Via Transportation, Inc., to provide paratransit services under the City's Special Transit Service.

Background/Discussion
<p>The City's Special Transit Service is a complementary paratransit service to the fixed route bus service mandated by the Americans with Disabilities Act ("ADA").</p> <p>The City has partnered with the Southwest Iowa Planning Council/Southwest Iowa Transit Agency (SWIPCO/SWITA) to provide paratransit services since 2017. After the last 28E agreement was executed with SWITA, representatives recommended an RFP process for future service contracts. Recently, SWITA notified the City of their intent to discontinue services at the end of the current agreement, and stated they would not be responding to the RFP.</p> <p>The City received one response to the RFP. Via is a provider of public mobility solutions and is partnered with more than 750 cities and agencies across the world. Their organization is staffed with transit experts, is technologically advanced, and has a proven track record of success. Utilizing industry-leading technology and operational expertise, Via has demonstrated an ability to deliver efficient paratransit services in many locations, including ADA-accessible services in Sioux Falls, SD; Green Bay, WI; and Toledo, OH.</p> <p>Via is currently assisting Metro with a microtransit pilot project to supplement bus services in Omaha. A presentation to the City Council discussing study results for fixed-route transit, paratransit, and microtransit options is anticipated in the next month. Via can assist the City with developing a future microtransit option if the City decides to incorporate on-demand services.</p> <p>The new agreement is for a five-year period, with an option to extend for additional terms, provided the total duration of the contract, including any renewals, shall not exceed eleven years and six months. The annual fee for paratransit service under this new agreement is estimated to be between \$400,000 and \$500,000.</p> <p>Via's proposal includes a rate of \$41.38 per vehicle hour for year 1. The average rate per vehicle hour for SWITA for FY25 is \$46.74.</p> <p>Paratransit riders will continue to pay \$2.50 per one-way trip. The current average operating cost per passenger is \$28.65 per one-way trip.</p>

Recommendation
Approval of this resolution authorizing the Mayor to execute an agreement with Tidewater Transit LLC, a wholly owned subsidiary of Via Transportation, Inc., to provide paratransit services for the City of Council Bluffs.

ATTACHMENTS:

Description	Type	Upload Date
Resolution 25-154	Resolution	6/4/2025

RESOLUTION
NO 25-154

**RESOLUTION AUTHORIZING THE MAYOR TO EXECUTE
AN AGREEMENT WITH TIDEWATER TRANSIT, LLC,
A WHOLLY OWNED SUBSIDIARY OF VIA TRANSPORTATION, LLC,
TO PROVIDE PARATRANSIT SERVICES UNDER
THE CITY’S SPECIAL TRANSIT SERVICE**

WHEREAS, as part of the City of Council Bluffs’ commitment to comprehensive public transit services, the City intends to provide a transportation alternative to residents who are disadvantaged in regard to transportation due to disability; and

WHEREAS, Via has submitted a proposal to provide efficient, accessible, and compliant paratransit services in accordance with Federal Transit Administration and Iowa Department of Transportation regulations; and

WHEREAS, the city council deems approval of said agreement to be in the best interest of the City of Council Bluffs.

NOW, THEREFORE, BE IT RESOLVED
BY THE CITY COUNCIL
OF THE
CITY OF COUNCIL BLUFFS, IOWA

That the Mayor is hereby authorized and directed to execute an agreement with Tidewater Transit LLC, a wholly owned subsidiary of Via Transportation, Inc., to provide paratransit service under the City’s Special Transit Service.

ADOPTED
AND
APPROVED

June 9, 2025

Matthew J. Walsh, Mayor

ATTEST:

Jodi Quakenbush, City Clerk

Council Communication

Department: Community Development
Case/Project No.: PI-24-001(M)
Submitted by: Moises Monrroy, Planner

Resolution 25-155
ITEM 7.F.

Council Action: 6/9/2025

Description Resolution to amend the adopted planned industrial development plan for a new ‘data center’ on property located in part of Section 21-75-43 and part of Section 28-75-43, more specifically described in the Council packet. Location: Undeveloped land at the southeast corner of the intersection of College Road and East Kanesville Boulevard (U.S. Highway 6.) PI-24-001(M)
Background/Discussion See attached staff report.
Recommendation

ATTACHMENTS:

Description	Type	Upload Date
Staff Report	Staff Report	5/30/2025
Attachment A: Location/Zoning Map	Map	5/30/2025
Attachment B: Project Lola/Edged Preliminary Plans – Original	Other	5/30/2025
Attachment C: Project Lola/Edged Preliminary Plans – Revised	Other	5/30/2025
Attachment D: Preliminary Plans Comparison Exhibit	Other	5/30/2025
Attachment E: Conceptual Street View Illustrations	Other	5/30/2025
Revised Resolution 25-155	Resolution	6/6/2025

City Council Communication

Department: Community Development CASE #PI-24-001(M) Applicant/Property Owner: EDC Omaha Landco LLC 30 Old Kings Highway South #1005 Darien, CT 06820 Representative: John Dolan 30 Old Kings Highway South #1005 Darien, CT 06820	Resolution No. _____	City Council: 6/9/2025 Planning Commission: 4/8/2024
<p style="text-align: center;">Subject/Title</p> <p>Request: Public hearing on the request of EDC Omaha Landco LLC, represented by John Dolan, to amend the adopted planned industrial development plan for a new ‘data center’ on property legally described as being a parcel of land located in part of the SE ¼ of Section 21-75-43 and part of the NE ¼ of Section 28-75-43, all lying south of East Kanesville Boulevard (U.S. Highway 6), City of Council Bluffs, Pottawattamie County, Iowa.</p> <p>Location: Undeveloped land at the southeast corner of the intersection of College Road and East Kanesville Boulevard (U.S. Highway 6)</p>		
<p style="text-align: center;">Background/Discussion</p> <p>The Community Development Department has received a request from EDC Omaha Landco LLC, represented by John Dolan, to amend the adopted planned industrial development plan for a new ‘data center’ on property legally described as being a parcel of land located in part of the SE ¼ of Section 21-75-43 and part of the NE ¼ of Section 28-75-43, all lying south of East Kanesville Boulevard (U.S. Highway 6), City of Council Bluffs, Pottawattamie County, Iowa.</p> <p>The subject property consists of several undeveloped parcels of land located east of the Iowa Western Community College campus. A planned industrial development plan was previously adopted at this site for a logistics park via Resolution No. 21-308 (resolution approved by City Council on October 25, 2021). The project did not move forward and the land remained undeveloped. The City of Council Bluffs received a new proposal in April 2024 from EDC Omaha LLC to develop the subject property as a data center. The proposal from EDC Omaha LLC consisted of two 80-foot tall buildings, each containing 450,000 square feet in ground floor area, and a MidAmerican Energy substation to service the proposed data center. On June 10, 2024, City Council passed Resolution No. 24-166 to adopt a planned industrial development plan for the proposed data center. The new development plan superseded and replaced the previous development plan adopted for the logistics park.</p> <p>The developer is proposing to alter the adopted development plan. The following components of the project will be modified:</p> <ol style="list-style-type: none"> (1) The ground floor area of each data center building (reduced from 450,000 square feet to 285,444 square feet); (2) The height of the data center buildings (reduced from 80 feet to 36 feet 3 inches); (3) The location of the proposed data center buildings on the subject property; 		

- (4) The configuration of the outdoor electrical/mechanical yards; and
- (5) The required landscaping along the perimeter of the site.

Additionally, the developer is proposing to: (1) construct a 24,310-square foot office/administrative building, (2) install two owner-operated substations (each substation will service one of the proposed data center buildings; the MidAmerican Energy substation shown on the original proposal has been replaced with a switchyard), and (3) install additional overhead electric facilities to service the proposed substations. The proposed modifications will substantially alter the design and layout of the proposed ‘data center’ and thus must be reviewed by the City Planning Commission and approved by City Council.

****UPDATE**** *This request was originally scheduled for public hearing by the City Planning Commission on April 8, 2025. However, the developer requested the Commission to continue the public hearing to the May 13, 2025 meeting after providing more information to the Community Development Department about the outdoor electrical/mechanical yards associated with the project. The schematics provided by the developer showed that the mechanical yards located east of the north data center building will consist of a row of modular cooling towers and two makeup water tanks that will measure 60 feet in height and thus exceed the height of the data center building. The Community Development Department and the developer subsequently met to discuss how to properly screen the outdoor electrical/mechanical yards from view and enhance the aesthetics of the project. Following those discussions, the developer submitted a revised site plan and new architectural renderings. New components incorporated into the project include a 35-foot tall decorative metal wall that will screen the proposed cooling towers and water tanks on the northeast corner of the north mechanical yard, a 35-foot tall decorative wall that will screen the southeast corner of the south mechanical yard, and an enhanced façade design on the north elevation of the north data center building.*

The developer intends to subdivide the subject property into at least two lots (one lot for the data center and one lot for the substation) at a later date. The proposed subdivision should be completed prior to the commencement of any construction associated with this project; however, the final plat may be executed after to the construction is completed provided the necessary access easements are conveyed during the platting process.

Land Use and Zoning – The subject property is currently zoned P-I/Planned Industrial District. The following zoning and land uses surround the subject property:

Direction	Zoning District(s)	Land Uses
North	C-2/Commercial District and R-3/Low-Density Multifamily Residential District	East Kanesville Boulevard (U.S. Highway 6) and undeveloped land
South	P-I/Planned Industrial District	An office building (Black Hills Energy)
East	A-2/Parks, Estates and Agricultural District	Interstate 80 and undeveloped land
West	A-2/Parks, Estates and Agricultural District and R-3/Low-Density Multifamily Residential District	A college campus (Iowa Western Community College) and student housing

The Future Land Use Plan of the Bluffs Tomorrow: 2030 Plan (Comprehensive Plan) designates the subject property as ‘Office/Industrial’ and ‘Local Commercial.’

City Departments and Utilities – All appropriate City departments and utilities were notified of the planned industrial development plan request. The following comments were received:

- A. The Council Bluffs Parks and Recreation Department stated that they have no comments on the request.
- B. The Council Bluffs Police Department stated that they have no comments or objections to the request.
- C. The Iowa Department of Transportation stated that they have no conflicts with the request.
- D. Council Bluffs Water Works stated that they have no comments on the request.

Development Plan

The developer is proposing to amend the adopted planned industrial development plan for the proposed 'data center.' Amendments to the adopted development plan reflecting the proposed modifications to this project are highlighted in gray or crossed out below. All other development standards outlined in the adopted development plan will remain in effect.

A. Site Development

1. All principal and accessory structures shall have a minimum perimeter setback of 25 feet.
2. The maximum height allowed for ~~principal~~ all structures, exclusive of any utility poles and associated equipment, shall be ~~80 feet~~ 40 feet, as measured from finished grade to the highest point of the parapet wall.
 - a. The revised architectural renderings (see page 2 of Sheet A200, Attachment 'C') show each proposed data center building will measure 36'-3" in height.
 - b. The revised architectural renderings (see page 1 of Sheet A200, Attachment 'C') show the proposed office/administrative building will measure 14'-4" in height.
 - c. The mechanical yards located east of the north data center building will consist of a row of modular cooling towers and two makeup water tanks that will measure 60 feet in height. The proposed cooling towers and water tanks shall be allowed to exceed the maximum building height allowed as per the adopted development plan as said equipment is necessary for the operation of the data center. The developer will also install a 35-foot tall decorative metal wall along the northeast corner of the north mechanical yard to lessen the visual impact of the proposed cooling towers and water tanks as viewed from East Kanessville Boulevard (U.S. Highway 6) and Interstate 80.
- ~~3. The maximum height allowed for accessory structures shall be 50 feet, as measured from finished grade to the peak of the roof.~~
3. The maximum combined lot coverage for all structures shall not exceed 60% of the lot area.
 - a. The combined area of all buildings proposed to be constructed at this site will be 595,198 square feet, which is approximately 15% of the lot area.
 - b. Including the outdoor mechanical/electrical yards, the total lot coverage for all structures at this site will amount to approximately 36.3% of the lot area.
4. All fences/walls shall be installed in accordance with Section 15.24.040, Fence Regulations, of the Council Bluffs Municipal Code (Zoning Ordinance).

- a. The submitted site plan (Attachment 'C') shows an anti-climb Ameristar fence will be installed around the perimeter of the data center. The maximum height allowed for the proposed fence shall be 10 feet, as measured from finished grade to the highest point of the fence structure.
 - b. The submitted site plan (Attachment 'C') shows a 20-foot tall masonry wall will be installed along the north and west sides of the MidAmerican Energy substation switchyard. ~~A 20-foot tall masonry wall shall also be installed~~ will extend along the northerly 20 feet of the east side of the substation in order to adequately screen all ground-mounted equipment from public view. The two owner-operated substations that will service the proposed data center will also be partially screened from view along College Road using a 20-foot tall masonry wall.
 - i. ~~The proposed masonry wall shall have a minimum height of 10 feet and a maximum height of 20 feet, as measured from finished grade to the highest point of the wall.~~
 - c. The submitted site plan (Attachment 'C') shows a 35-foot tall decorative metal wall will be installed to screen the northeast corner of the north mechanical yard. A 35-foot tall decorative metal wall will also be installed to screen the southeast corner of the south mechanical yard. The proposed walls feature the use of various colors in rectangular patterns that match the design of the north elevation of the north data center building (see Sheet A200, Attachment 'C').
 - i. The proposed decorative metal walls are intended to lessen the visual impact of the mechanical yards associated with this project as viewed from East Kanesville Boulevard (U.S. Highway 6) and Interstate 80. As such, the installation of the 35-foot tall decorative metal walls shall be allowed as proposed.
 - d. No barbed wire shall be allowed on the proposed fence or masonry wall.
5. Any solar energy conversion systems installed at this site shall be subject to Section 15.34.030, Solar Energy Conversion Systems, of the Council Bluffs Municipal Code (Zoning Ordinance).
 6. All exterior lighting shall conform to Section 15.24.050, Lighting Controls, of the Council Bluffs Municipal Code (Zoning Ordinance). All outdoor light poles shall be limited to a maximum height of 40 feet, as measured from finished grade to the highest point of the pole structure. All light poles shall be painted or finished aluminum or steel. Wood poles shall not be allowed.
 7. Outdoor storage of materials, products, equipment, or packaging shall not be permitted. This includes the semi-permanent and/or permanent placement of inter-modal storage/shipping containers.
 - a. Power generators, cooling towers, water tanks, and other mechanical/electrical equipment ~~installed to service~~ required for operation of the proposed data center shall be allowed to be stored outdoors.

B. Utilities

1. All utilities shall be installed underground. Any cost to remove, relocate, modify, and/or extend utilities to this site shall be at the sole cost of the developer and not the City.
 - a. Overhead facilities shall only be allowed to service the proposed MidAmerican substation switchyard and the owner-operated substations adjacent to each data center building. No other overhead facilities shall be allowed to be installed at this site.
 - i. According to MidAmerican Energy, the height of the power poles to service the proposed substations may range between 60 and 90 feet to meet clearance regulations. To ensure the proposed utility poles do not overwhelm the appearance of the data center, the height of the poles shall not exceed the minimum height required to meet clearance requirements. Additionally, said

utility poles shall be designed and/or painted in such manner as to lessen their visual impact on the aesthetics of the site. The applicant and/or MidAmerican Energy shall provide schematics and/or renderings of the proposed poles to the City prior to installation.

- As per an update provided by the developer on May 5, 2025, the power poles that will distribute power to the south substation will measure 60 feet in height. The developer also noted that the peak of all poles will be maintained at the same elevation.
- The developer is proposing to paint the proposed poles a bark color, but stated that they will continue to work with the City to find the right color to ensure the poles do not have an adverse impact on the aesthetics of the site as viewed from College Road and East Kanesville Boulevard (U.S. Highway 6). The Community Development Department recommends using a color that allows the proposed power poles to blend in with the surrounding environment.

2. All grading and drainage activity for this development shall be completed in accordance with Public Works standards.
3. Water, power, and gas service shall be coordinated with the appropriate utility provider.

C. Off-Street Parking

1. The minimum number of off-street parking spaces is typically calculated using the parking requirements in Section 15.23.060, Parking Spaces Required, of the Council Bluffs Municipal Code (Zoning Ordinance). For a data center, the number of required parking spaces would be calculated using Schedule A in Section 15.23.060 of the Council Bluffs Municipal Code (Zoning Ordinance). The warehousing component of the data center would require one (1) space per 5,000 square feet and the office/administrative activity component would require one (1) space per 300 square feet. ~~This would result in approximately 200 parking spaces being required for the proposed data center.~~ The submitted site plan (see Sheet CS100, Attachment 'C') shows ~~80~~ 201 parking spaces will be provided at this site. City staff and the developer have discussed establishing site-specific parking standards for this project to ensure the off-street parking needs for the proposed development are adequately satisfied while not requiring an excessive amount of parking to be provided. In this regard, the developer shall submit a parking demand memo prior to building plans being finalized for building permit review to verify the amount of parking provided for the proposed development will be sufficient. ~~Shared parking between the two lots that will contain the proposed data center buildings shall be allowed.~~
2. All off-street parking areas, driveways and drive aisles shall comply with the standards in Chapter 15.23, Off-Street Parking, Loading and Unloading, of the Council Bluffs Municipal Code (Zoning Ordinance), and Iowa's Statewide Urban Design and Specifications (SUDAS) manuals for public improvements.
 - a. The ground surface for the proposed MidAmerican Energy substation may be constructed out of gravel.
3. All off-street parking lots shall comply with Chapter 661-18, Parking for Persons with Disabilities, of the Iowa Administrative Code.
4. Bicycle parking shall be incorporated into the overall layout of each lot.
 - a. Designated bicycle parking areas shall be located within a reasonable distance of, and clearly visible from, the main entrance of each building. Bicycle parking may alternatively be provided in a publicly accessible indoor location within a convenient distance of the main building entrance.
 - b. Bicycle racks shall be secured to the pavement in a location that does not conflict with pedestrian or vehicular circulation routes.

- c. Bicycle parking shall be provided at a rate of one bicycle parking space per 45,000 square feet of ground floor area. Using this calculation, a minimum of 20 bicycle parking spaces shall be provided for this project. Bicycle parking shall be distributed evenly between the two lots containing the data center buildings.
 - d. Bicycle parking shall be installed prior to the issuance of the Certificate of Occupancy for the proposed project.
5. A parking lot permit shall be submitted with the building permit application for the proposed data center, and shall include the number, location, and dimension of all drive aisles and spaces, bicycle parking, pedestrian ways, islands, landscaped areas, loading areas and lighting.
6. The submitted site plan in Attachment 'C' shows the proposed data center will be accessed via two driveways on College Road, which includes the shared driveway with the Black Hills Energy facility at 2287 College Road. The developer shall be subject to the terms and conditions in the shared access easement agreement at all times.

D. Architecture

1. ~~Architectural renderings/elevations for the proposed data center are shown in Attachment 'J.'~~ Architectural renderings/elevations for the proposed data center buildings and the office/administrative building are shown in Sheet A200, Attachment 'C.' The submitted renderings show the exterior of all buildings being constructed primarily out of insulated precast concrete panels. This material is acceptable and shall be painted in a pattern generally consistent with the submitted renderings.
 - a. The north elevation of the north data center building features the use of various colors in rectangular patterns to enhance the aesthetic of the proposed development as motorists enter the city from the I-80/Highway 6 interchange. This design will extend and create a continuous façade with the decorative metal wall that will screen the proposed cooling towers and water tanks from view.
2. All rooftop mounted mechanical equipment that is visible from an adjacent public street right-of-way shall be screened from view using architectural design features.
 - a. The rooftop mounted mechanical equipment on the proposed office/administrative building shall be screened from public view along College Road, East Kaneshville Boulevard (U.S. Highway 6), and Interstate 80 using a parapet wall or individually using architectural features.
3. All ground-mounted mechanical equipment that is visible from an adjacent public street right-of-way shall be completely screened from view using architectural design features, fencing, masonry wall, landscaping, or a combination thereof.
 - a. The landscape buffer proposed to be planted along the perimeter of the project site shall be acceptable provided it is sized and planted to adequately screen all ground-mounted equipment from public view.
4. All trash receptacles visible from a public right-of-way shall be enclosed on three sides with a masonry, wood, or vinyl fence and shall have a lockable gate that, when closed, completely eliminates view of the dumpster.

E. Landscaping

1. A landscaping plan shall be part of every building permit application. The plan shall clearly identify plant materials, quantity, and size and shall show dimensions of all areas to be landscaped.

2. A minimum of one evergreen tree and/or deciduous shade tree shall be planted every 30 linear feet along the frontages abutting College Road, East Kaneshville Boulevard (U.S. Highway 6), and Interstate 80, exclusive of any area containing a utility easement granted to accommodate the overhead facilities that will service the proposed switchyard and/or substations.
 - a. ~~The submitted landscaping plan (Attachment 'G') shows a double row of deciduous and evergreen trees will be planted on a 3 to 4 foot tall landscape berm along the perimeter of the project site.~~ The revised landscaping plan (see Sheet CS900, Attachment 'C') shows a row of deciduous and evergreen trees will be planted on earthen berms along the frontages abutting East Kaneshville Boulevard (U.S. Highway 6) and Interstate 80. Trees will also be planted along the northerly and southerly ends of the frontage abutting College Road; however, a significant portion of said frontage will remain unplanted as to not encumber the easement granted to MidAmerican Energy to accommodate the overhead electrical facilities that will service the proposed development. Additionally, a row of shrubs will be planted along the northern edge of the MidAmerican Energy switchyard in lieu of trees to ensure power lines connecting into the switchyard are not obstructed. The Community Development Department finds the proposed amount of landscaping will sufficiently screen the data center from public view.
 - b. All tree species planted along the frontage of a public right-of-way shall comply with the Council Bluffs Street Tree Guide and shall be reviewed and approved by the City prior to installation.
3. Not more than 10% of the landscaped area shall be of inorganic material such as brick, stone, aggregate, river rock, metal or artificial turf. Organic mulch may be used around trees and/or shrubs.
4. A minimum five foot-wide strip of landscaping, planted with trees, shrubs, and/or grass, shall be installed between the edge of all parking lot areas and any abutting property line. The five-foot wide strips may be included in the 10% requirement.
5. All parking lot islands shall be planted with a minimum of one canopy shade tree and ground cover vegetation (e.g., shrubs, sod, mulch, or river rock, etc.). Trees planted on along parking lot islands shall consist of drought resistant species native to Iowa.
6. All disturbed areas without a specific landscape design shall be seeded with sod, turf, and/or prairie grass.
7. All trees shall have a minimum caliper width of two inches at the time of planting.
8. Landscaping shall not impede the vision of any pedestrian and/or automobile traffic entering/exiting or circulating on the subject property.
9. All landscaping shall be appropriately maintained and dead plant material replaced at a time appropriate to planting seasons but in all cases shall be replaced within one year.

F. Signage

1. The total maximum amount of signage allowed shall be based on a calculation of one and one-half (1 ½) square feet of signage per each lineal foot of street frontage along a public street right-of-way or private drive. The easterly property line abutting Interstate 80 right-of-way shall be excluded from the calculation to determine the maximum amount of signage allowed for this project.
2. The total amount of attached signage shall be limited to 15% of the building façade to which it is attached. Attached signage can be placed at any location on the building but shall not extend beyond any building wall or above the peak of the roof.

- a. One attached wall sign is proposed to be installed above the main entrance of each building. Sign dimensions were not provided at the time of application submittal.
3. A maximum of one ground/monument sign shall be allowed per street frontage and shall be limited to a maximum height of 10 feet, as measured from finished grade to the highest point of the sign structure. The entire monument sign shall be counted as signage as measured from finished grade to the highest point of the monument and from one side of the monument structure to the other. The maximum sign area shall not exceed 100 square feet of signage per face.
 - a. One 5' × 6' monument sign is proposed to be installed near the south driveway entrance along College Road. The proposed monument sign is acceptable.
4. On-site directional/wayfinding signage shall count toward the overall amount of signage permitted on the subject property. Each sign shall be limited to a maximum height of six feet, as measured from finished grade to the highest point of the sign structure. The maximum sign area shall not exceed six square feet of signage per face.
5. No sign listed in Section 15.33.070, Prohibited Signs, of the Council Bluffs Municipal Code (Zoning Ordinance) shall be permitted.
6. A sign permit shall be submitted with every building permit application for any attached, detached and/or on-premise directional signage proposed to be installed on the subject property.

Recommendation

The Community Development Department recommends approval of the request to amend the adopted planned industrial development plan for a new 'data center' on property legally described as being a parcel of land located in part of the SE ¼ of Section 21-75-43 and part of the NE ¼ of Section 28-75-43, all lying south of East Kanessville Boulevard (U.S. Highway 6), City of Council Bluffs, Pottawattamie County, Iowa, subject to the comments stated above and the following conditions:

- A. Any modifications to the approved development plan which substantially alter the design, layout, configuration, and/or appearance of the project shall be reviewed the City Planning Commission and approved by City Council prior to such changes being made. All minor modifications to the adopted development plan may be administratively approved by the Community Development Director.

Public Hearing

Staff speakers for the request:

1. Moises Monrroy, Planner, City of Council Bluffs, 209 Pearl Street, Council Bluffs IA, 51503

Speakers in favor:

1. None

Speakers against: None

The Planning Commission recommended approval of the request of the request to amend the adopted planned industrial development plan for a new 'data center' on property legally described as being a parcel of land located in part of the SE ¼ of Section 21-75-43 and part of the NE ¼ of Section 28-75-43, all lying south of East Kanessville Boulevard (U.S. Highway 6), City of Council Bluffs, Pottawattamie County, Iowa, subject to the comments stated above and the following conditions:

Any modifications to the approved development plan which substantially alter the design, layout, configuration, and/or appearance of the project shall be reviewed the City Planning Commission and approved by City Council prior to such changes being made. All minor modifications to the adopted development plan may be administratively approved by the Community Development Director.

VOTE: AYE – Freund, Knauss, Rater, Rew, Stroebele, VanHouten, and Watson. NAY – None.
ABSTAIN – None. ABSENT – Hutcheson. VACANT - Three Motion: Carried.

Attachments


Attachment A: Location/Zoning Map
Attachment B: Project Lola/Edged Preliminary Plans – Original
Attachment C: Project Lola/Edged Preliminary Plans – Revised
Attachment D: Preliminary Plans Comparison Exhibit
Attachment E: Conceptual Street View Illustrations

Prepared by: Moises Monrroy, Planner, Community Development Department

CITY OF COUNCIL BLUFFS - CITY PLANNING COMMISSION

CASE #PR-24-001(M) LOCATION/ZONING MAP

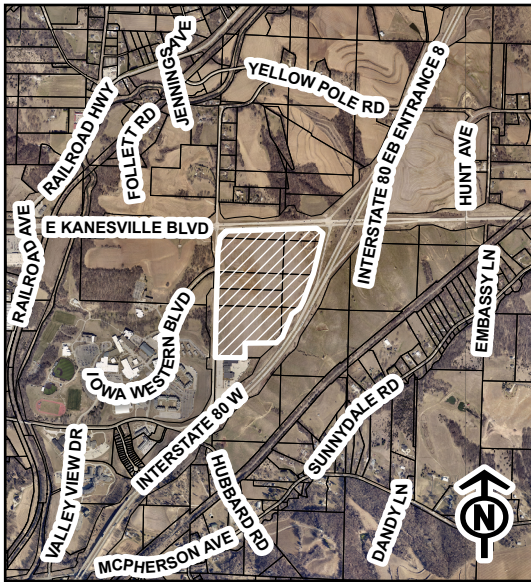
Legend

 Subject Property

0 310 620



1 inch = 458 feet



Last Amended: 3/20/25



Council Bluffs Community
Development Department
209 Pearl Street
Council Bluffs, IA 51503
Telephone: (712) 890-5350

DISCLAIMER
This map is prepared and compiled from City documents, plans and other public records data. Users of this map are hereby notified that the City expressly denies any and all responsibility for errors, if any, in the information contained on this map of the nature of the same by the user or anyone else. The user should verify the accuracy of information/data contained on this map before using it. The City assumes no legal responsibility for the information contained on this map.



Attachment 'B'

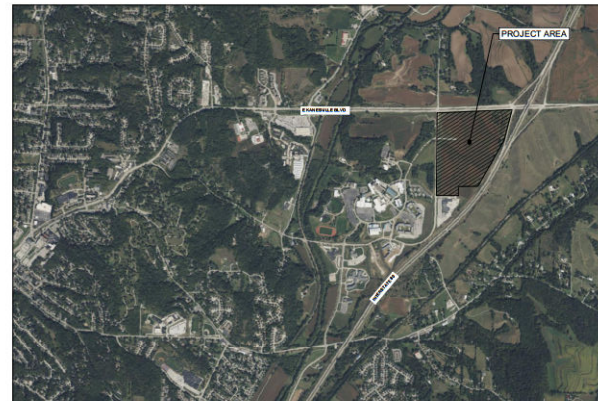
PROJECT LOLA

PRELIMINARY PLANS

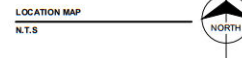
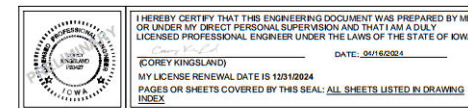
COUNCIL BLUFFS, IA

no.	date	by	chkd	description
A	04/16/2024	EWV	CAK	PLANNING SUBMITTAL

PROJECT INFORMATION:	
OWNER:	EDC OMAHA LANDCO LLC
ENGINEER:	BURNS & MCDONNELL ENGINEERING COMPANY, INC. 8400 WARD PARKWAY KANSAS CITY, MO. 64114
ZONING:	P-4/PLANNED INDUSTRIAL DISTRICT

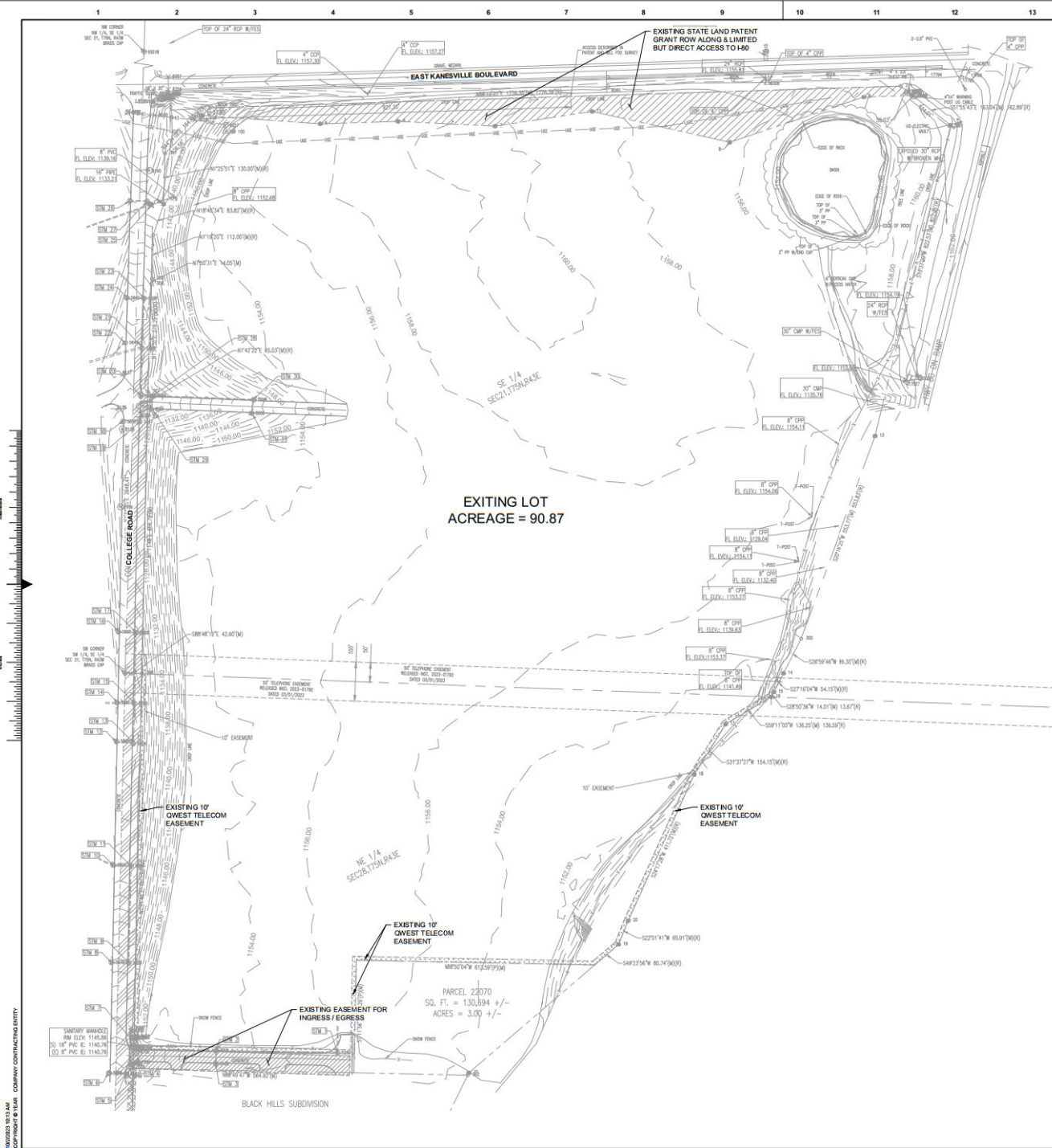


DRAWING INDEX	
C-100	PRELIMINARY PLANNING COVER SHEET
VF100	EXISTING CONDITION PLAN
CS100	OVERALL SITE PLAN
CS200	PROPOSED SUBDIVISION PLAN
CG100	OVERALL GRADING & DRAINAGE PLAN
CU100	OVERALL UTILITY PLAN
LS100	OVERALL LANDSCAPE PLAN



date	04.16.2024	detailed	AER
designed	EWV	checked	CAK
EDC Omaha Landco LLC COUNCIL BLUFFS, IA			
project 169987 - PROJECT LOLA			
drawing C-100			
sheet 1 of 7 sheets			
rev. A			



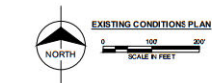


- LEGEND:**
- CORNERS FOUND (#5 REBAR UNLESS OTHERWISE NOTED)
 - CORNERS SET (#5 Rebar With Cap)
 - SURVEY CONTROL POINT
 - SECTION CORNER
 - EXISTING STORM SEWER MANHOLE
 - EXISTING SANITARY SEWER MANHOLE
 - EXISTING CABLE TV MANHOLE
 - EXISTING POWER POLE
 - EXISTING LIGHT POLE
 - EXISTING GUY WIRE / POLE
 - EXISTING SIGN
 - EXISTING FIRE HYDRANT
 - EXISTING ELECTRICAL TRANSFORMER
 - EXISTING STORM SEWER FLARED-END-SECTION
 - EXISTING PROPERTY LINE
 - EXISTING BARBED-WIRE FENCE
 - EXISTING WATER LINE
 - EXISTING GAS LINE
 - EXISTING SANITARY SEWER LINE
 - EXISTING STORM SEWER LINE
 - EXISTING ELECTRICAL UNDERGROUND LINE
 - EXISTING FIBER OPTIC LINE
 - MEASURED DISTANCE
 - RECORDED DISTANCE
 - EXISTING EASEMENT LINE
 - EXISTING OVERHEAD ELECTRICAL LINE
 - EXISTING MAJOR CONTOUR
 - EXISTING MINOR CONTOUR
 - EXISTING TELECOM EASEMENT

FEMA FLOODPLAIN INFO:
SUBJECT PROPERTY IS IN FLOODPLAIN ZONE X, AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAINS AS DETERMINED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA), FLOOD INSURANCE RATE MAP 191550418B, EFFECTIVE DATE APRIL 16, 2013.

LEGAL DESCRIPTION AS SURVEYED:
A PARCEL OF LAND LOCATED IN SECTIONS 21 AND 28 ALL LOCATED IN TOWNSHIP 75 NORTH, RANGE 43 WEST OF THE 5TH P.M., CITY OF COUNCIL BLUFFS, POTTAWATTAMIE COUNTY, IOWA, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTHWEST CORNER OF THE SOUTHWEST 1/4 OF THE SOUTHEAST 1/4 OF SAID SECTION 21; THENCE 88°48'12"E, A DISTANCE OF 42.60 FEET TO A POINT ON THE EAST RIGHT-OF-WAY LINE OF COLLEGE ROAD, SAID POINT ALSO BEING THE TRUE POINT OF BEGINNING; THENCE NORTHERLY ON THE EAST RIGHT-OF-WAY LINE OF SAID COLLEGE ROAD ALONG THE FOLLOWING DESCRIBED COURSES:
THENCE A BEARING OF N1°11'48"E, A DISTANCE OF 656.79 FEET;
THENCE A BEARING OF N1°42'22"E, A DISTANCE OF 65.03 FEET;
THENCE A BEARING OF N1°54'55"E, A DISTANCE OF 278.25 FEET;
THENCE A BEARING OF N7°50'31"E, A DISTANCE OF 14.05 FEET;
THENCE A BEARING OF N1°19'20"E, A DISTANCE OF 112.00 FEET;
THENCE A BEARING OF N1°40'34"E, A DISTANCE OF 63.82 FEET;
THENCE A BEARING OF N1°25'51"E, A DISTANCE OF 130.00 FEET;
THENCE A BEARING OF N4°24'02"E, A DISTANCE OF 164.46 FEET TO A POINT ON THE SOUTH RIGHT-OF-WAY LINE OF EAST KANESVILLE BOULEVARD; THENCE A BEARING OF N8°12'20"E, ALONG THE SAID SOUTH RIGHT-OF-WAY LINE OF EAST KANESVILLE BOULEVARD, A DISTANCE OF 1776.35 FEET, TO A POINT ON THE WEST RIGHT-OF-WAY LINE OF INTERSTATE 80; THENCE SOUTHERLY ON SAID WEST RIGHT-OF-WAY LINE OF INTERSTATE 80 ALONG THE FOLLOWING DESCRIBED COURSES:
THENCE A BEARING OF S51°55'43"E, A DISTANCE OF 163.04 FEET;
THENCE A BEARING OF S13°37'20"W, A DISTANCE OF 822.53 FEET;
THENCE A BEARING OF S20°15'25"W, A DISTANCE OF 553.77 FEET;
THENCE A BEARING OF S26°59'48"W, A DISTANCE OF 99.30 FEET;
THENCE A BEARING OF S27°16'04"W, A DISTANCE OF 54.15 FEET;
THENCE A BEARING OF S28°50'36"W, A DISTANCE OF 14.01 FEET;
THENCE A BEARING OF S59°11'00"W, A DISTANCE OF 136.25 FEET;
THENCE A BEARING OF S31°37'27"W, A DISTANCE OF 154.15 FEET;
THENCE A BEARING OF S24°17'28"W, A DISTANCE OF 411.72 FEET;
THENCE A BEARING OF S22°01'41"W, A DISTANCE OF 65.91 FEET;
THENCE A BEARING OF S49°23'50"W, A DISTANCE OF 80.74 FEET TO THE NORTHEAST CORNER OF PARCEL 22070;
THENCE A BEARING OF N8°50'04"W, ALONG THE NORTH LINE OF SAID PARCEL 22070 A DISTANCE OF 613.59 FEET, TO THE NORTHWEST CORNER OF SAID PARCEL 22070;
THENCE A BEARING OF S11°11'56"W, ALONG THE WEST LINE OF SAID PARCEL 22070, A DISTANCE OF 289.29 FEET TO THE SOUTHWEST CORNER OF SAID PARCEL 22070, SAID CORNER ALSO BEING A POINT ON THE NORTH LINE OF THE BLACK HILLS SUBDIVISION, A SUBDIVISION LOCATED IN SAID SECTION 28, POTTAWATTAMIE COUNTY, IOWA;
THENCE N8°49'47"W, ALONG THE NORTH LINE OF SAID BLACK HILLS SUBDIVISION, A DISTANCE OF 564.52 FEET TO THE NORTHWEST CORNER OF SAID BLACK HILLS SUBDIVISION, SAID POINT ALSO BEING ON SAID EAST RIGHT-OF-WAY LINE OF COLLEGE ROAD;
THENCE A BEARING OF N11°11'48"E, ALONG SAID EAST RIGHT-OF-WAY LINE OF COLLEGE ROAD, A DISTANCE OF 1,015.62 FEET, TO THE POINT OF BEGINNING.
SAID PARCEL CONTAINS 3,958,202 SQUARE FEET OR 90.87 ACRES MORE OR LESS.



no.	date	by	chkd	description
A	04/16/2024	EWV	CAK	PLANNING SUBMITAL

BURNS & MCDONNELL
8400 WARD PARKWAY
KANSAS CITY, MO 64114

date	checked	by	checked
04/16/2024		AER	
designed		checked	
EWV		CAK	

EDC Omaha
Landco LLC
COUNCIL BLUFFS, IA

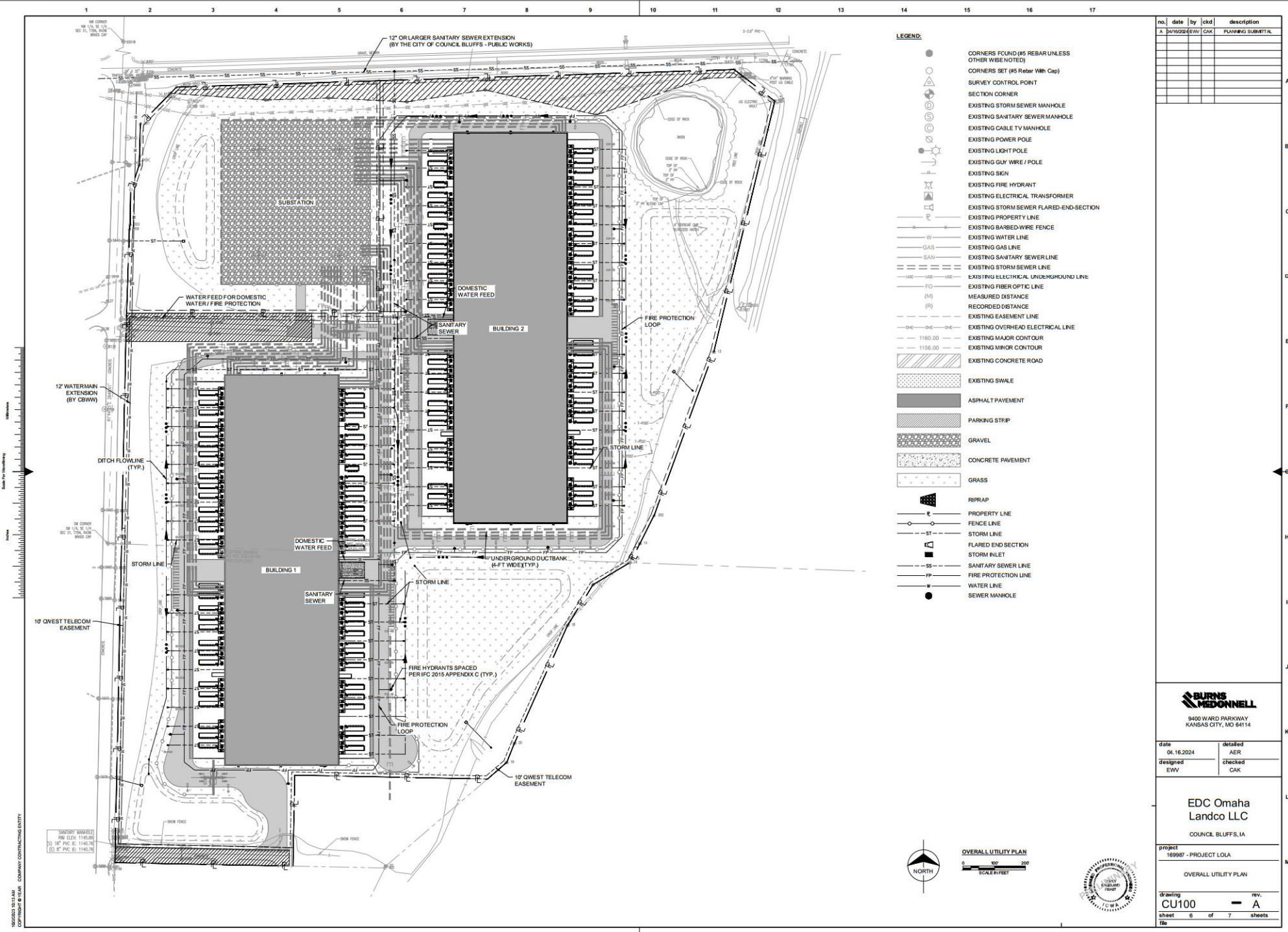
project
169987 - PROJECT LOIA

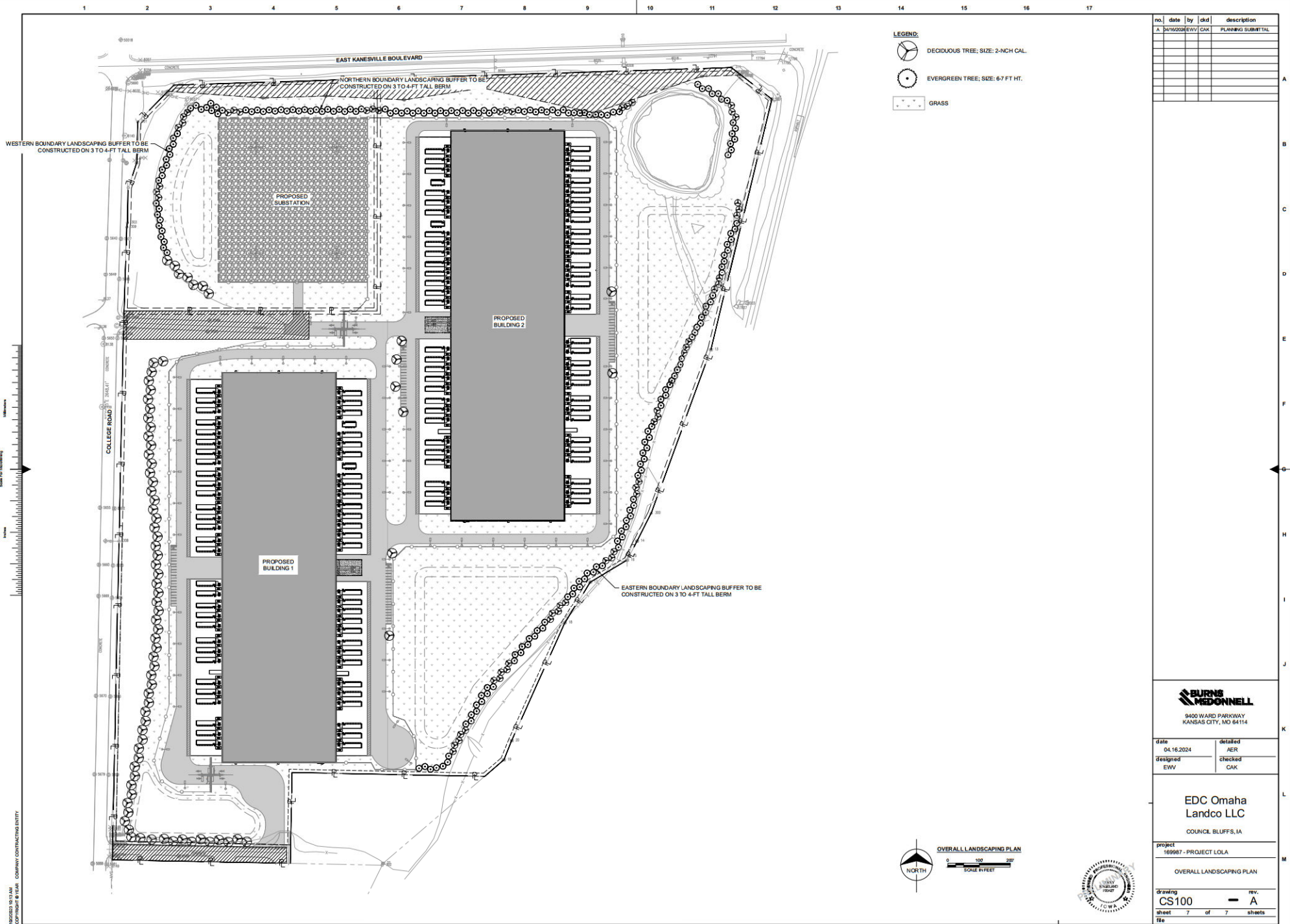
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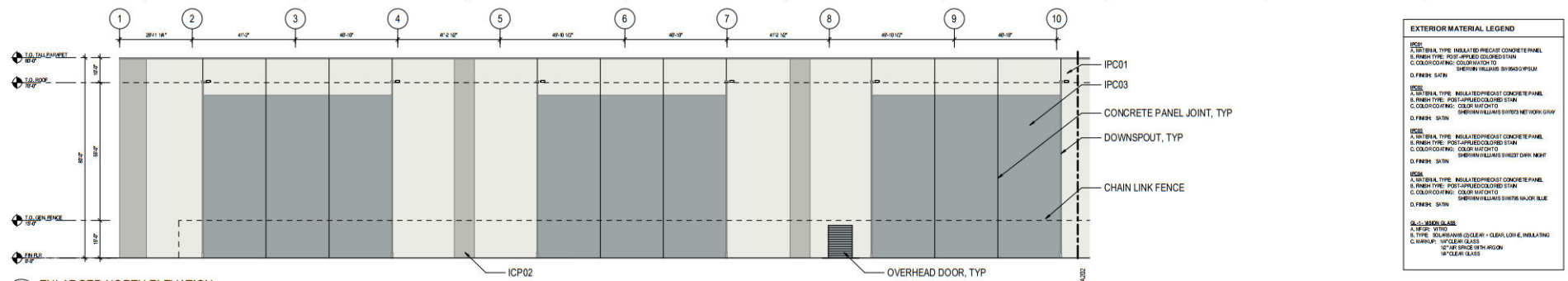
drawing
VF100

sheet
2 of 7 sheets

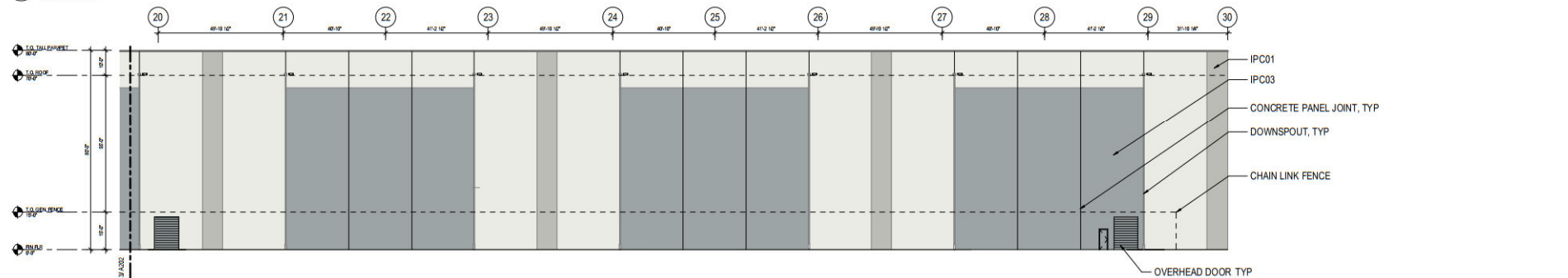
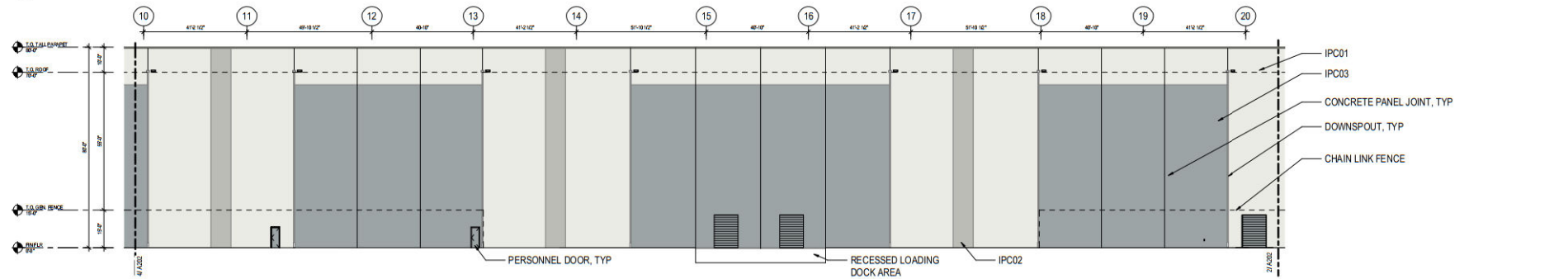
rev.
A







EXTERIOR MATERIAL LEGEND	
IPC01	A. 3/8" MIN. TYPE: INSULATED PRECAST CONCRETE PANEL
IPC03	B. FINISH TYPE: POST-APPLIED COLORED STAIN
C. COLOR COATING: COLOR MATCH TO	SHERWIN WILLIAMS SW6500 GUNNIE
D. FINISH: SATIN	
IPC02	A. 3/8" MIN. TYPE: INSULATED PRECAST CONCRETE PANEL
B. FINISH TYPE: POST-APPLIED COLORED STAIN	
C. COLOR COATING: COLOR MATCH TO	SHERWIN WILLIAMS SW6500 GUNNIE
D. FINISH: SATIN	
IPC03	A. 3/8" MIN. TYPE: INSULATED PRECAST CONCRETE PANEL
B. FINISH TYPE: POST-APPLIED COLORED STAIN	
C. COLOR COATING: COLOR MATCH TO	SHERWIN WILLIAMS SW6500 GUNNIE
D. FINISH: SATIN	
IPC02	A. 3/8" MIN. TYPE: INSULATED PRECAST CONCRETE PANEL
B. FINISH TYPE: POST-APPLIED COLORED STAIN	
C. COLOR COATING: COLOR MATCH TO	SHERWIN WILLIAMS SW6500 GUNNIE
D. FINISH: SATIN	
IPC03	A. 3/8" MIN. TYPE: INSULATED PRECAST CONCRETE PANEL
B. FINISH TYPE: POST-APPLIED COLORED STAIN	
C. COLOR COATING: COLOR MATCH TO	SHERWIN WILLIAMS SW6500 GUNNIE
D. FINISH: SATIN	



PRELIMINARY PLANS

COUNCIL BLUFFS, IA

PROJECT INFORMATION:	
OWNER:	EDC OMAHA LANDCO LLC
ENGINEER:	BURNS & MCDONNELL ENGINEERING COMPANY, INC. 9400 WARD PARKWAY KANSAS CITY, MO 64114
ZONING:	P-1 / PLANNED INDUSTRIAL DISTRICT



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LS100	OVERALL LANDSCAPE PLAN
CU100	OVERALL UTILITY PLAN
LS100	OVERALL LANDSCAPE PLAN

I HEREBY CERTIFY THAT THIS ENGINEERING DOCUMENT WAS PREPARED BY ME OR UNDER MY DIRECT PERSONAL SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF IOWA.

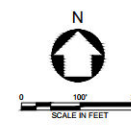
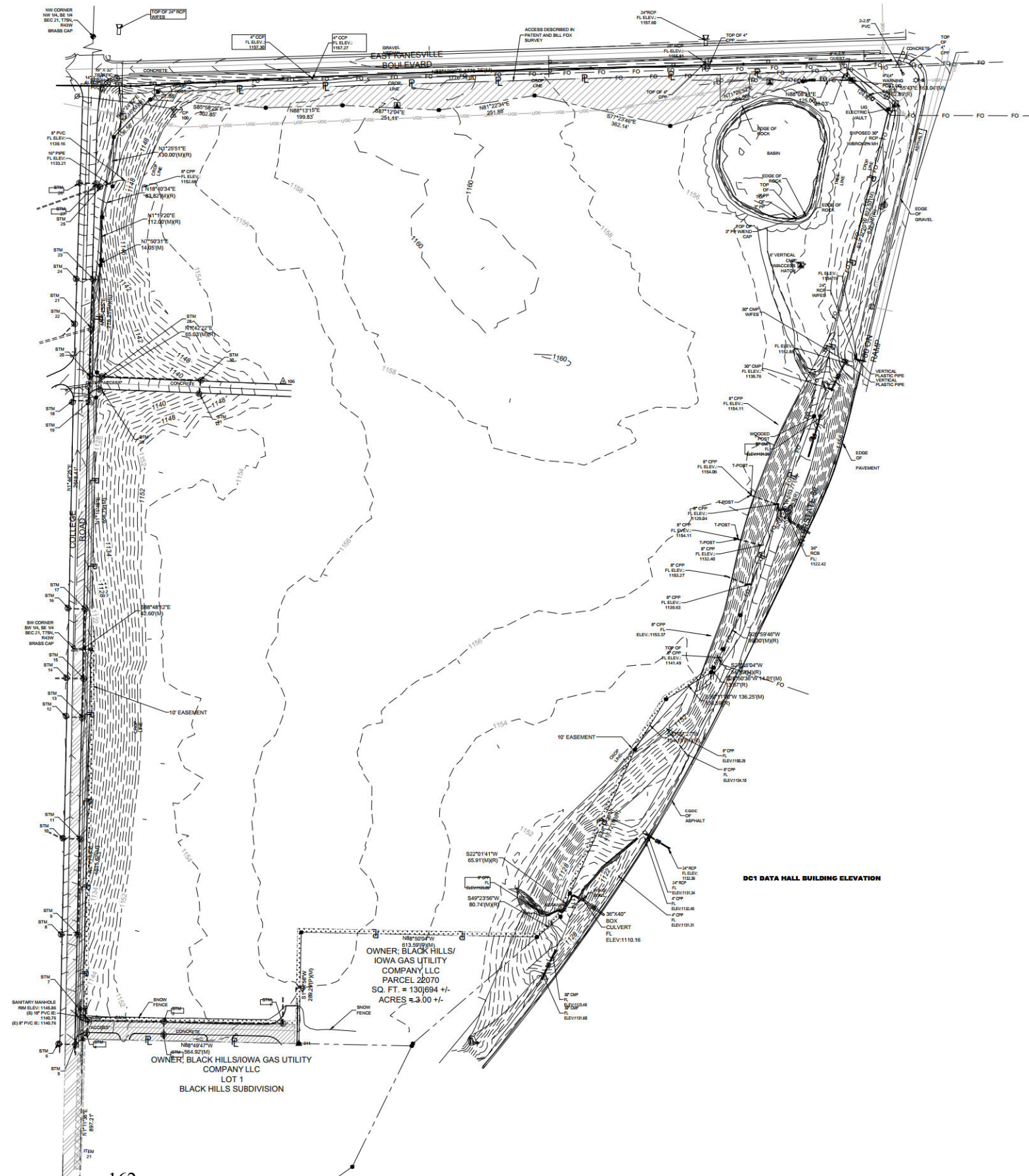
DATE: _____


(COREY KINGSLAND)

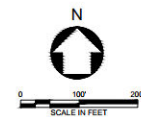
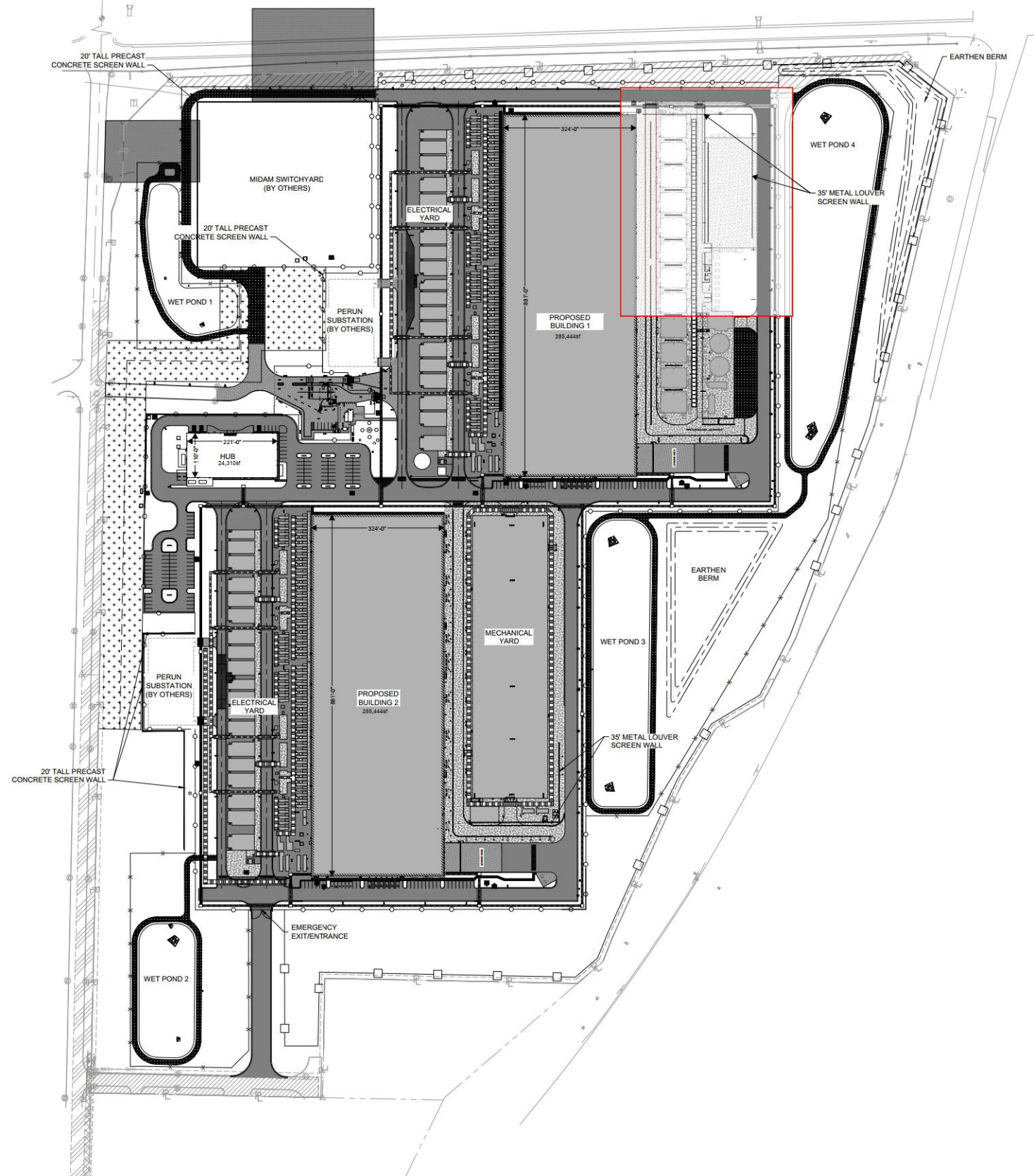
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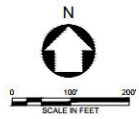
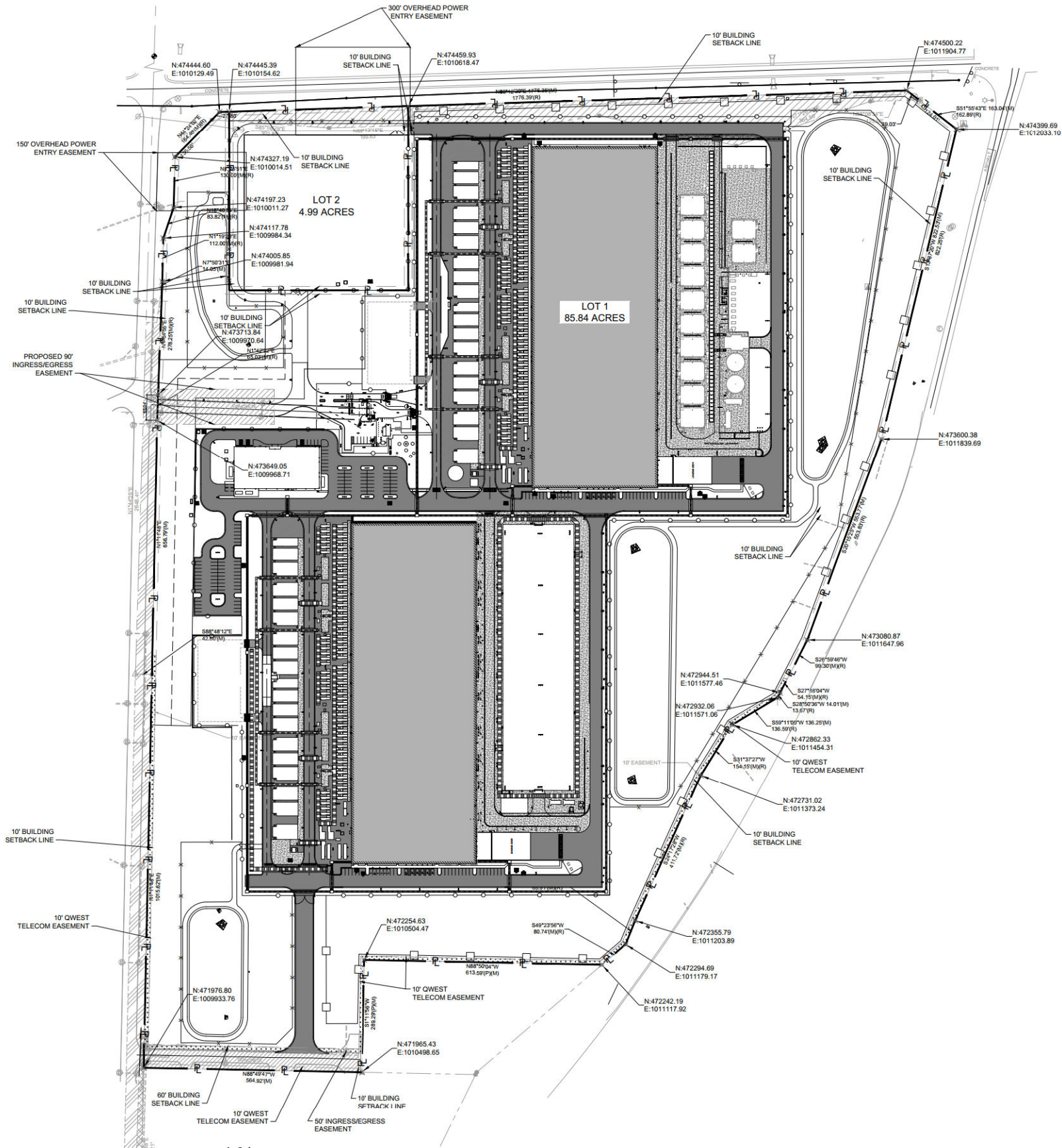
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GENERAL NOTES:	no.	date	by	ckd	description
	A	03/11/25	JJJ	CAK	PLANNING
	B	04/15/25	JJJ	CAK	PLANNING
KEY NOTES LEGEND (P)					
SHEET LEGEND	<div style="border: 1px solid black; padding: 10px; text-align: center;"> <p>PRELIMINARY - NOT FOR CONSTRUCTION</p>  <p>COREY A. KINGSLAND CIVIL PE</p> </div>				
BURNS MCDONNELL	Burns & McDonnell Engineering Company, Inc. 9400 WARD PARKWAY KANSAS CITY, MO 64114				
	date 02/17/25 designed C. KINGSLAND	detailed J. JENKINS checked C. KINGSLAND			
EDC Omaha Landco LLC COUNCIL BLUFFS, IA					
PROJECT 169987					
LOLA EXISTING CONDITIONS					
SITE CODE - BLDG # CBF-WSB-00					
drawing VF100					
rev. — B					
file					

[illegible]



GENERAL NOTES:

no.	date	by	chkd	description
A	03/11/25	JJJ	CAK	PLANNING
B	04/15/25	JJJ	CAK	PLANNING

KEY NOTES LEGEND

PRELIMINARY - NOT
FOR CONSTRUCTION



COREY A. KINGSLAND
CIVIL
PE

SHEET LEGEND



Burns & McDonnell Engineering Company, Inc.
9400 WARD PARKWAY
KANSAS CITY, MO 64114

date	03/04/25	detailed	J. JENKINS
designed	C. KINGSLAND	checked	C. KINGSLAND

EDC Omaha
Landco LLC

COUNCIL BLUFFS, IA

PROJECT

169987

LOLA

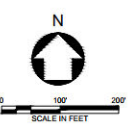
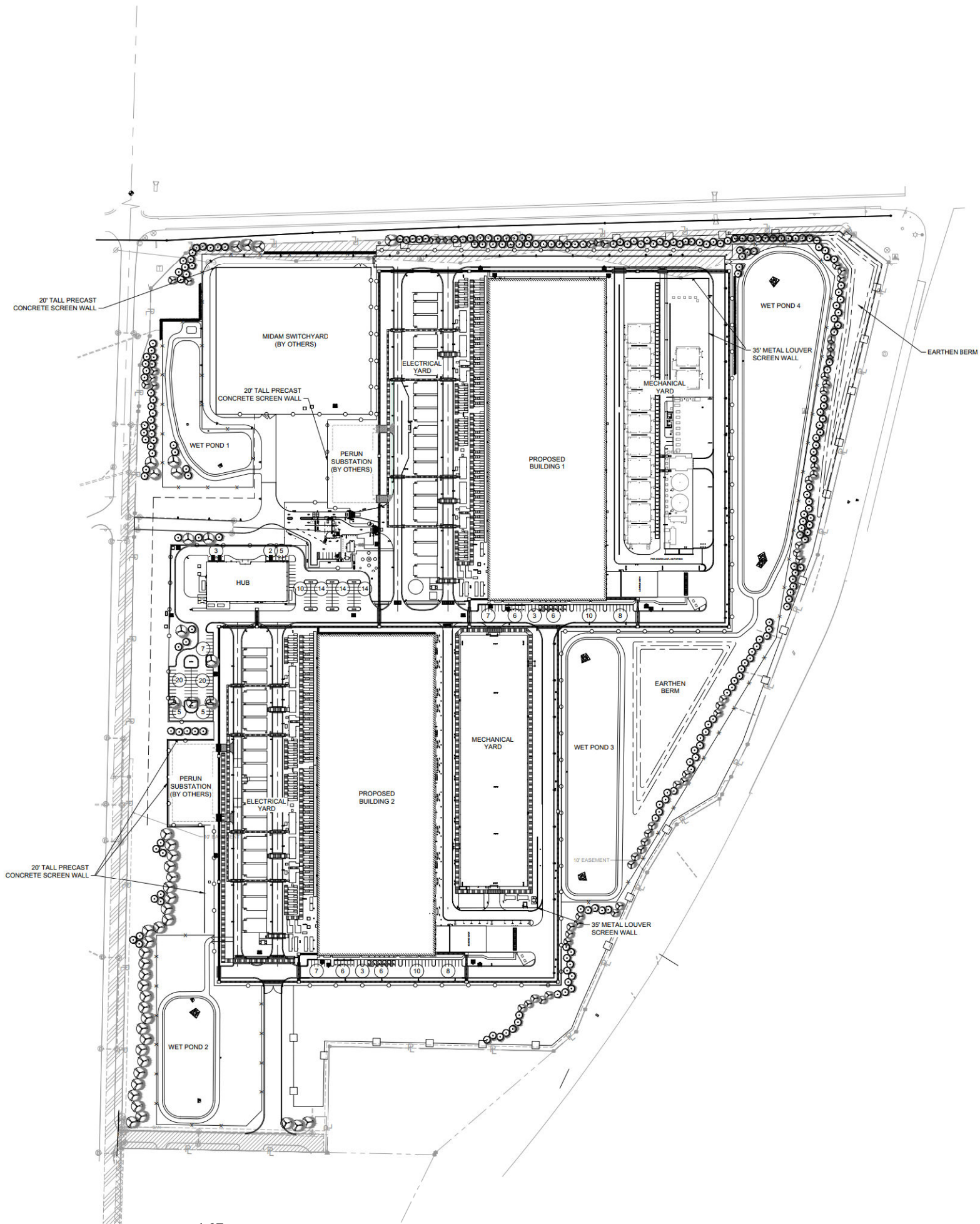
SUBDIVISION PLAN

SITE CODE - BLDG #

CBF-WSB-00

drawing	rev.
CS200	B

file



GENERAL NOTES:

no.	date	by	ckd	description
A	03/11/25	JJJ	CAK	PLANNING
B	04/15/25	JJJ	CAK	PLANNING

KEY NOTES LEGEND (B)

PRELIMINARY - NOT FOR CONSTRUCTION



COREY A. KINGSLAND
CIVIL
PE

SHEET LEGEND

- EVERGREEN TREE;
SIZE: 6-7 FT HEIGHT
- DECIDUOUS TREE;
SIZE: 2-IN CAL
- MEDIUM DECIDUOUS SHRUB;
SIZE: 4-8 FT HEIGHT



Burns & McDonnell Engineering Company, Inc.
9400 WARD PARKWAY
KANSAS CITY, MO 64114

date	02/19/25	detailed	J. JENKINS
designed	C. KINGSLAND	checked	C. KINGSLAND

EDC Omaha
Landco LLC

COUNCIL BLUFFS, IA

PROJECT

169967

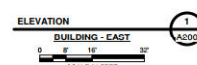
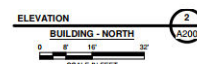
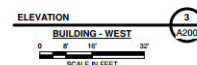
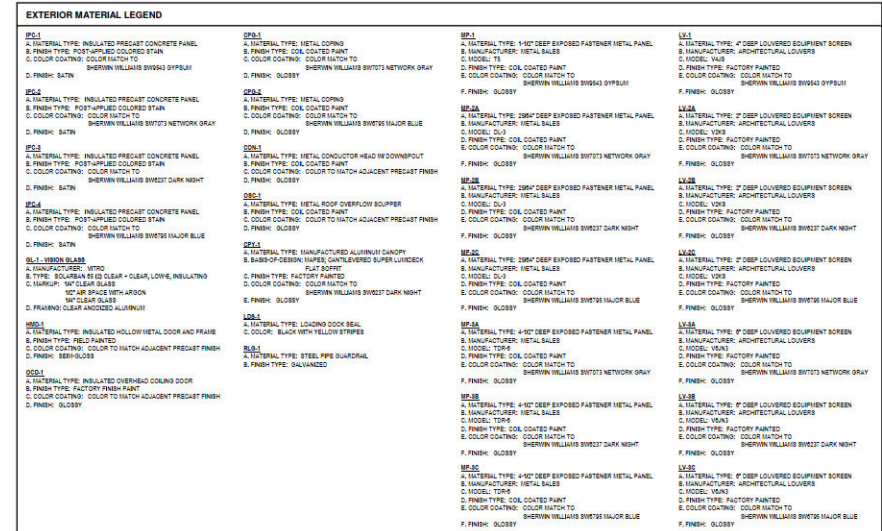
LOLA

OVERALL LANDSCAPING PLAN

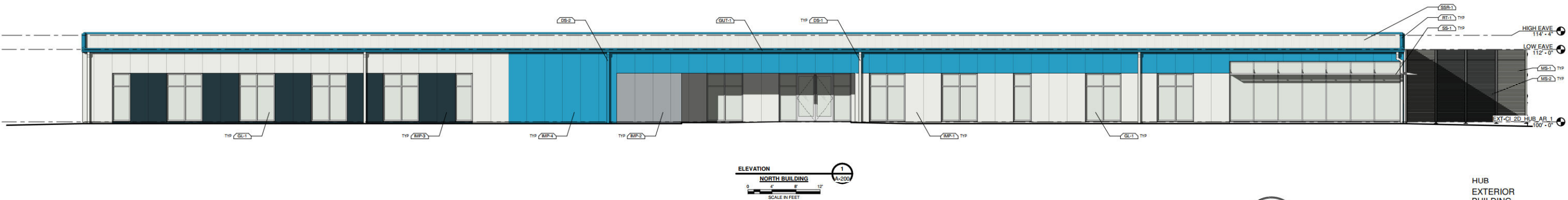
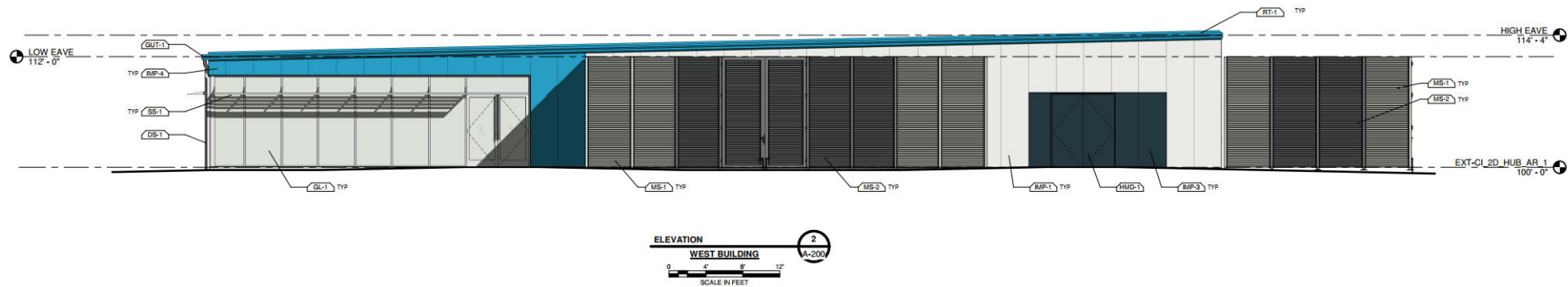
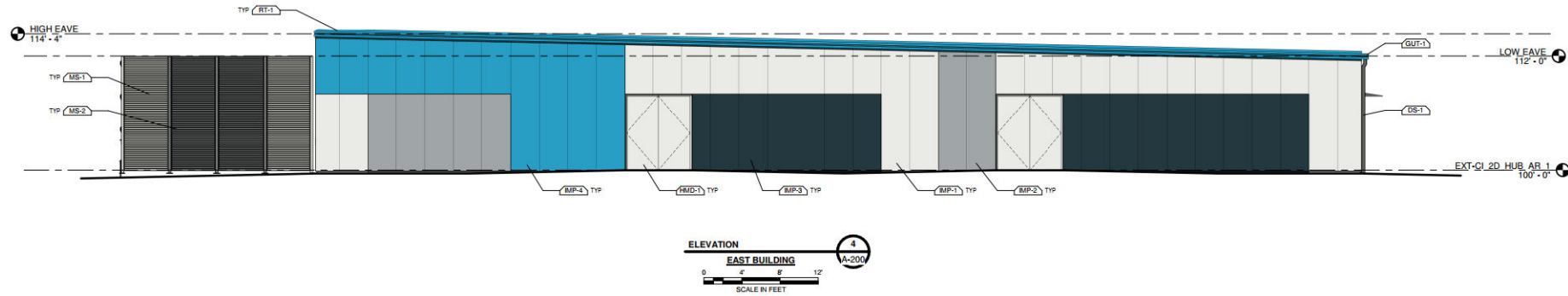
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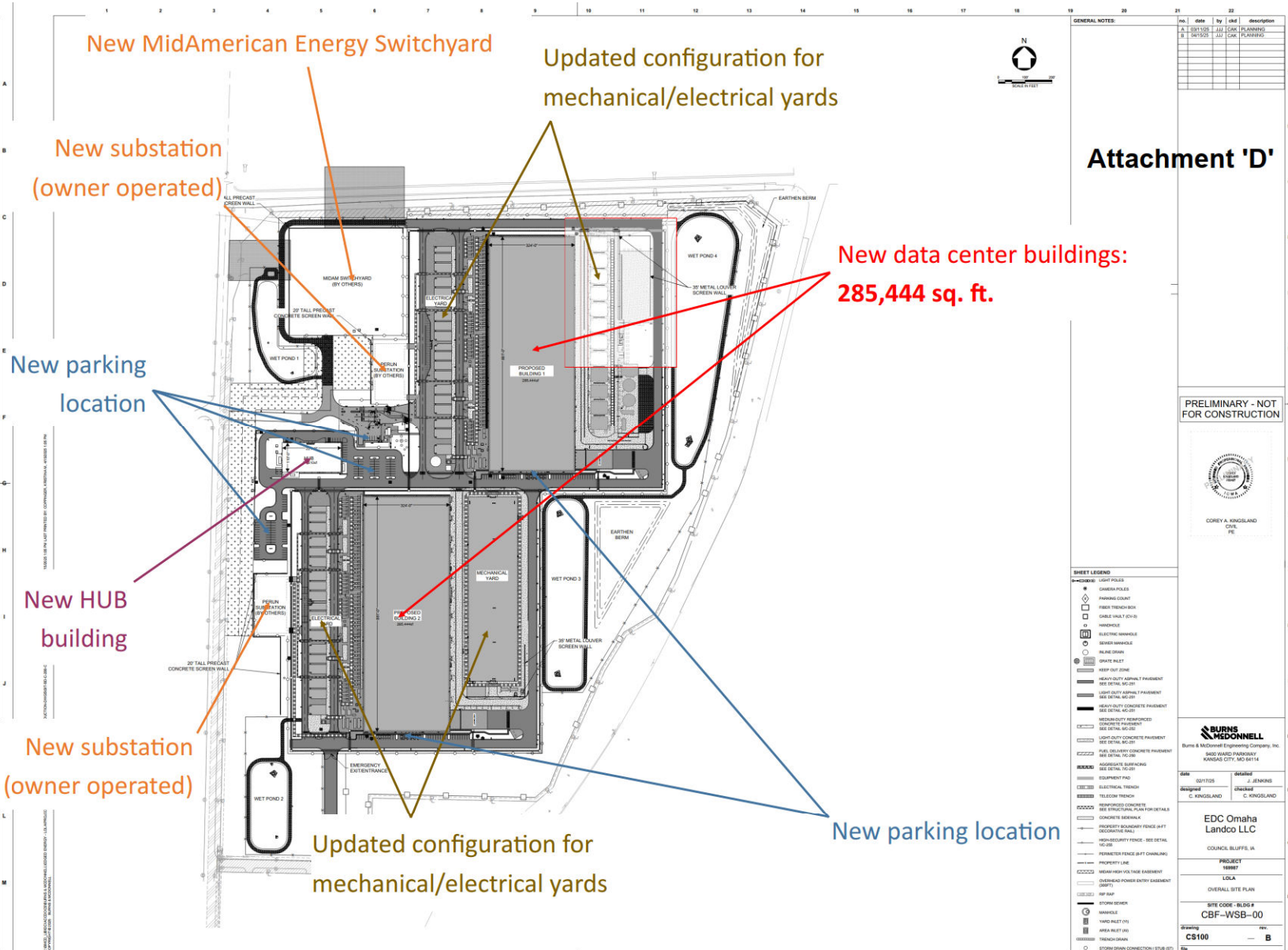
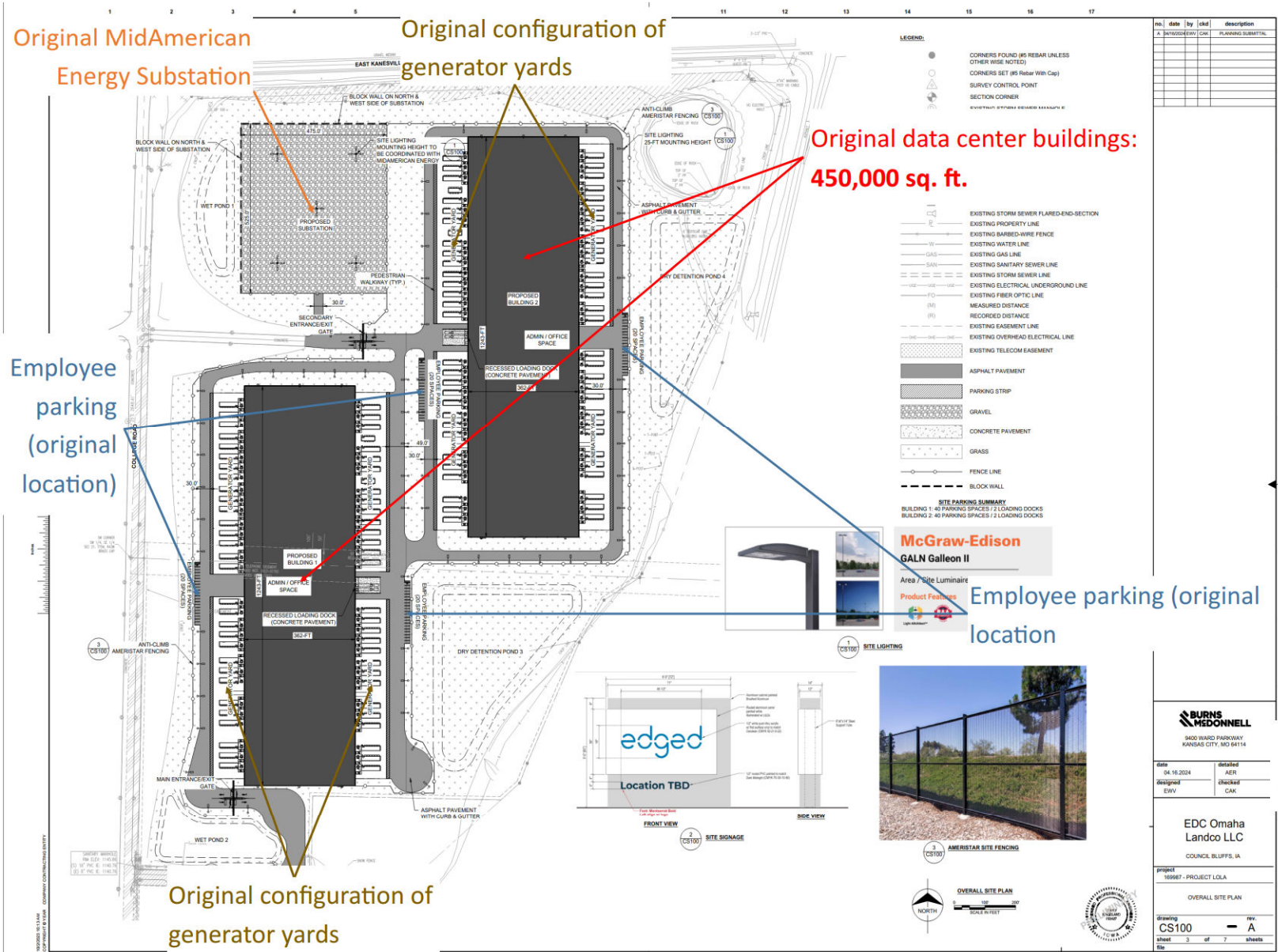
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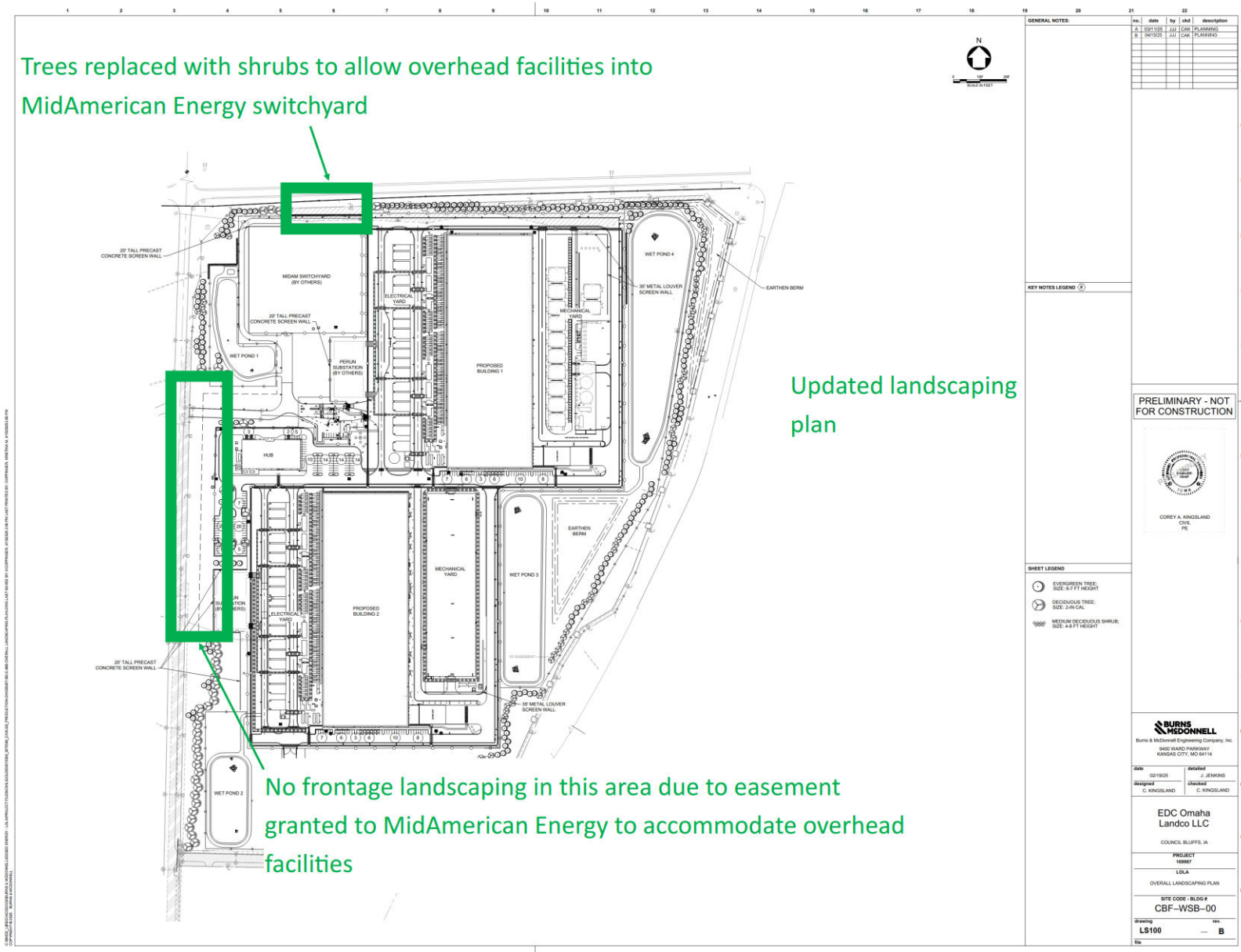
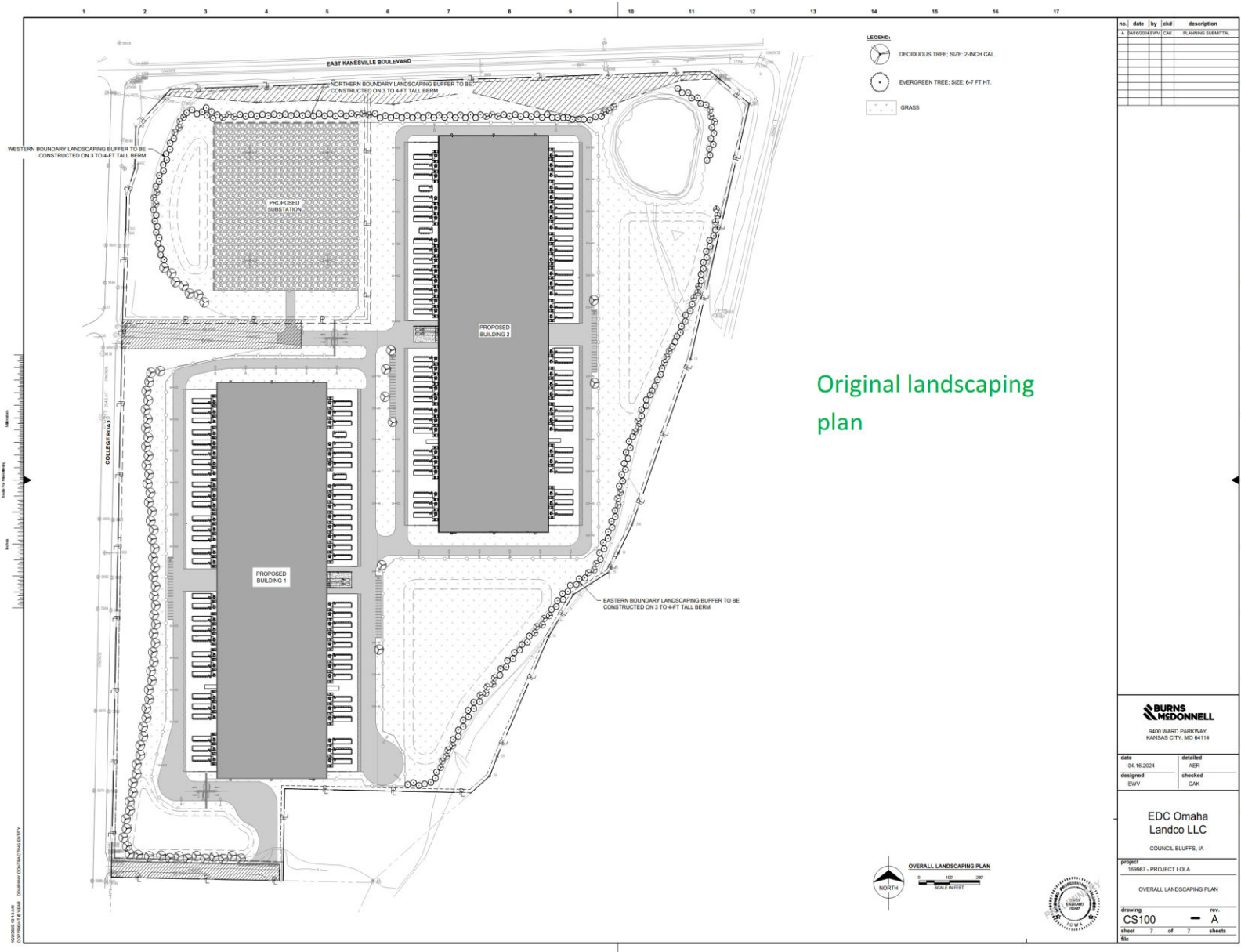
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file			



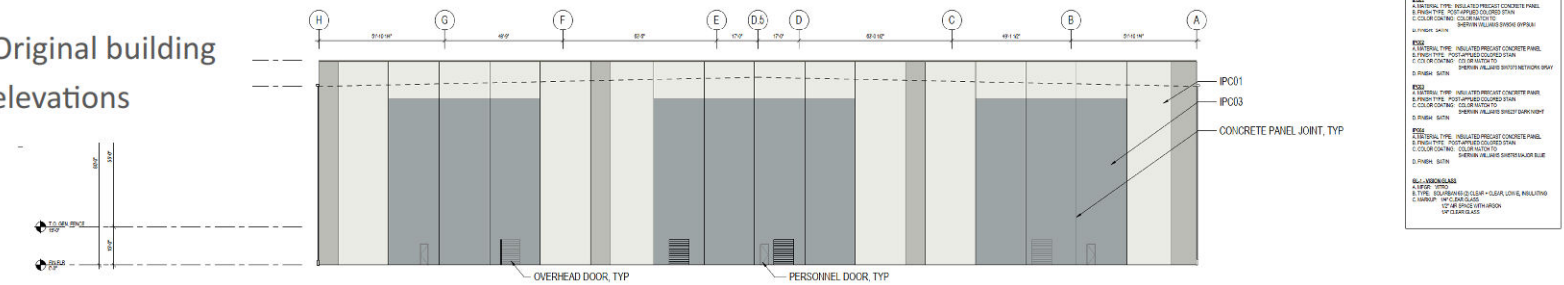
EXTERIOR MATERIAL LEGEND			
IMP-1	A. MATERIAL TYPE: 3" INSULATED METAL PANEL B. FINISH TYPE: TWO-COAT FLUOROPOLYMER C. FINISH COLOR: COLOR MATCH TO SHERWIN WILLIAMS SW9543 GYPSUM	DS-1	A. MATERIAL TYPE: METAL DOWNPOUT B. FINISH TYPE: TWO-COAT FLUOROPOLYMER C. FINISH COLOR: COLOR MATCH TO SHERWIN WILLIAMS SW9543 GYPSUM
IMP-2	A. MATERIAL TYPE: 3" INSULATED METAL PANEL B. FINISH TYPE: TWO-COAT FLUOROPOLYMER C. FINISH COLOR: COLOR MATCH TO SHERWIN WILLIAMS SW7073 NETWORK GRAY	DS-2	A. MATERIAL TYPE: METAL DOWNPOUT B. FINISH TYPE: TWO-COAT FLUOROPOLYMER C. FINISH COLOR: COLOR MATCH TO SHERWIN WILLIAMS SW9785 MAJOR BLUE
IMP-3	A. MATERIAL TYPE: 3" INSULATED METAL PANEL B. FINISH TYPE: TWO-COAT FLUOROPOLYMER C. FINISH COLOR: COLOR MATCH TO SHERWIN WILLIAMS SW6527 DARK NIGHT	GL-1 VISION GLASS	A. TYPE: VITRO B. TYPE: SOLARSCREEN (S) CLEAR + CLEAR, LOW-E, INSULATING C. MARKUP: 18" CLEAR GLASS 10" AIR SPACE WITH ARGON 18" CLEAR GLASS D. FRAMING: CLEAR ANODIZED ALUMINUM
IMP-4	A. MATERIAL TYPE: 3" INSULATED METAL PANEL B. FINISH TYPE: TWO-COAT FLUOROPOLYMER C. FINISH COLOR: COLOR MATCH TO SHERWIN WILLIAMS SW9785 MAJOR BLUE	SS-1	A. MATERIAL TYPE: ALUMINUM SUNSHADE B. FINISH TYPE: ANODIZED C. FINISH COLOR: CLEAR
SS-1	A. MATERIAL TYPE: STRUCTURAL STANDING SEAM METAL ROOF B. FINISH TYPE: TWO-COAT FLUOROPOLYMER C. FINISH COLOR: COLOR MATCH TO SHERWIN WILLIAMS SW9543 GYPSUM	BS-1	A. TYPE: PALISHIELD B. MATERIAL TYPE: ALUMINUM LOUVERED MECHANICAL SCREEN C. FINISH TYPE: POWDER COAT D. FINISH COLOR: GREY WHITE
RT-1	A. MATERIAL TYPE: METAL ROOF TRIM B. FINISH TYPE: TWO-COAT FLUOROPOLYMER C. FINISH COLOR: COLOR MATCH TO SHERWIN WILLIAMS SW9785 MAJOR BLUE	BS-2	A. TYPE: PALISHIELD B. MATERIAL TYPE: ALUMINUM LOUVERED MECHANICAL SCREEN C. FINISH TYPE: POWDER COAT D. FINISH COLOR: DUST GREY
GUT-1	A. MATERIAL TYPE: METAL ROOF GUTTER B. FINISH TYPE: TWO-COAT FLUOROPOLYMER C. FINISH COLOR: COLOR MATCH TO SHERWIN WILLIAMS SW9785 MAJOR BLUE	IMP-5	A. MATERIAL TYPE: INSULATED HOLLOW METAL DOOR AND FRAME B. FINISH TYPE: FIELD PAINTED C. COLOR COATING: COLOR TO MATCH ADJACENT PRECAST FINISH D. FINISH: SEMI-GLOSS



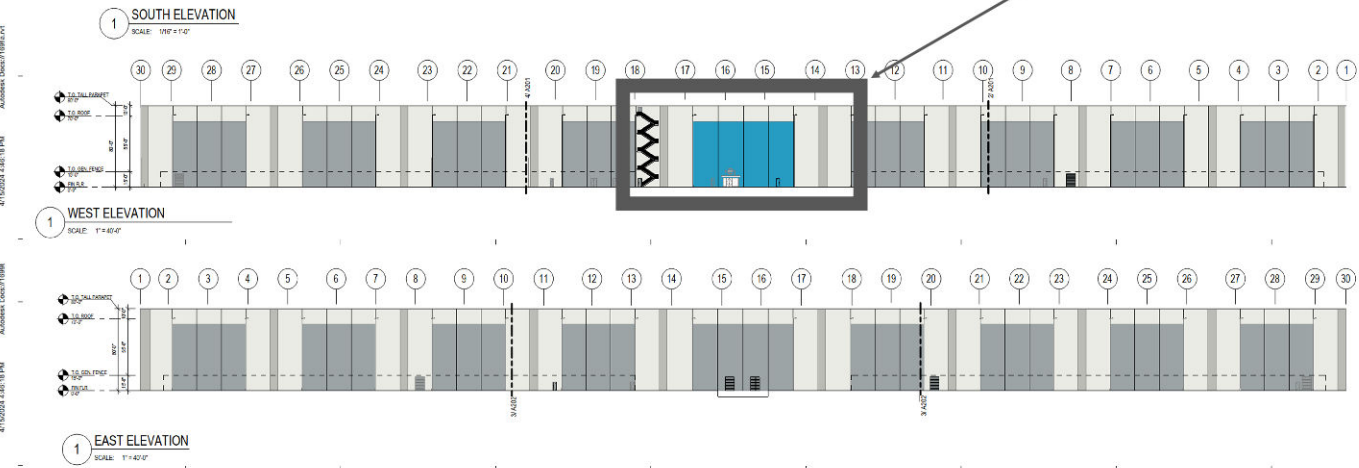




Original building elevations



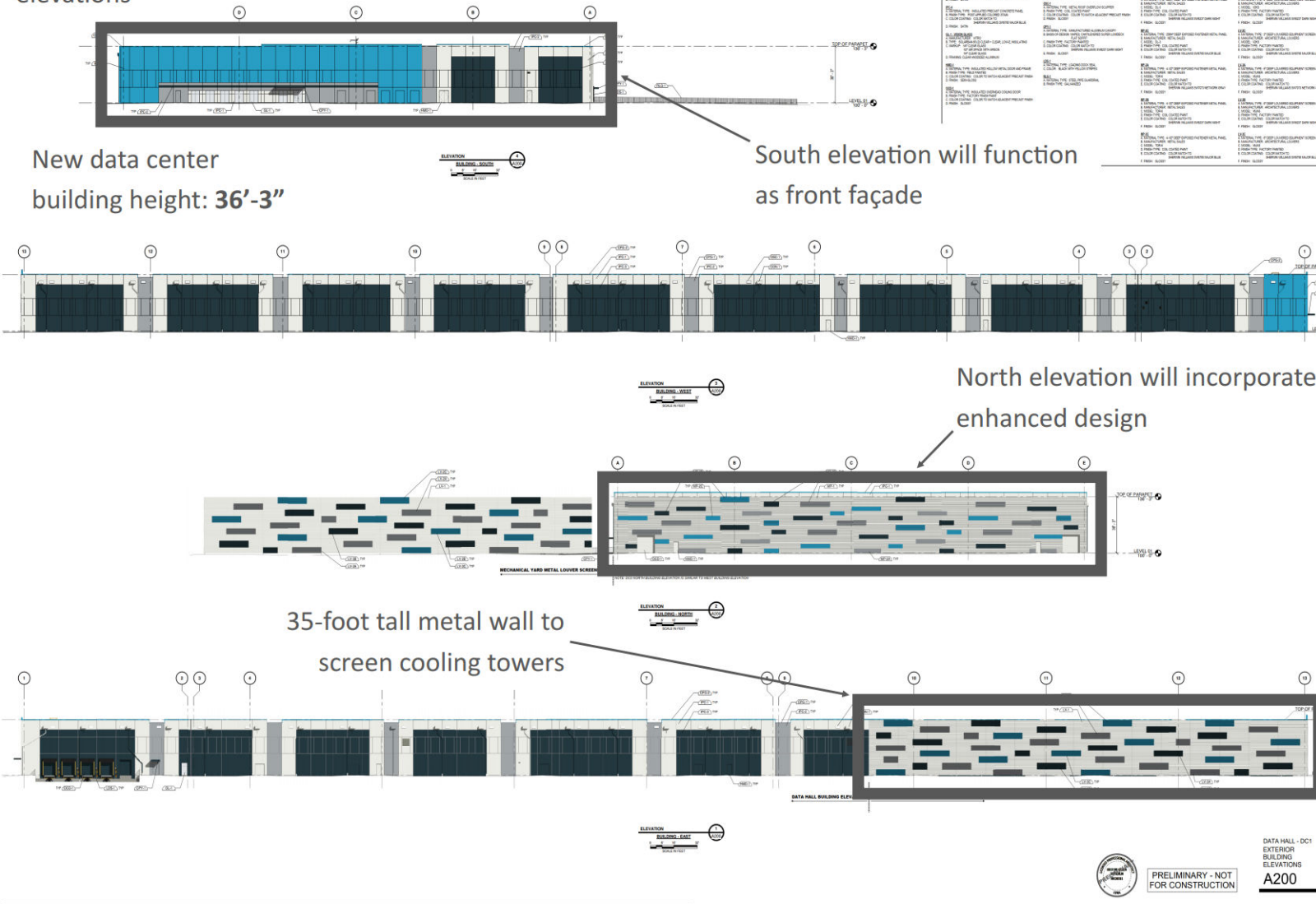
Original data center building height: 80'



EXTERIOR ELEVATIONS
A201

EXTERIOR ELEVATIONS
A202

Updated building elevations



EXTERIOR ELEVATIONS
A200

PRELIMINARY - NOT FOR CONSTRUCTION

DATA HALL - DC1
EXTERIOR BUILDING ELEVATIONS
A200







RESOLUTION NO. 25-155

A RESOLUTION TO AMEND THE ADOPTED PLANNED INDUSTRIAL DEVELOPMENT PLAN FOR A NEW 'DATA CENTER' ON PROPERTY LEGALLY DESCRIBED AS BEING A PARCEL OF LAND LOCATED IN PART OF THE SE ¼ OF SECTION 21-75-43 AND PART OF THE NE ¼ OF SECTION 28-75-43, ALL LYING SOUTH OF EAST KANESVILLE BOULEVARD (U.S. HIGHWAY 6), CITY OF COUNCIL BLUFFS, POTTAWATTAMIE COUNTY, IOWA.

WHEREAS, EDC Omaha LLC has submitted a request to amend the adopted planned industrial development plan for a new 'data center' on undeveloped land lying southeast of the intersection of College Road and East Kaneshville Boulevard/Highway 6; and

WHEREAS, The standards that shall apply and discussion is set forth in the Council Communication attached hereto; and

WHEREAS, The Community Development Department recommends approval of the request to amend the adopted planned industrial development plan for a new 'data center' on property legally described as being a parcel of land located in part of the SE ¼ of Section 21-75-43 and part of the NE ¼ of Section 28-75-43, all lying south of East Kaneshville Boulevard (U.S. Highway 6), City of Council Bluffs, Pottawattamie County, Iowa, subject to the comments stated in the Council Communication attached hereto and the following conditions:

- A. Any major modifications to the approved development plan, which shall mean changes that substantially alter the exterior building design and/or appearance (including height), materially increases the building area or lot coverage, or substantially alters the layout or configuration of the substation, shall be reviewed by the City Planning Commission and approved by City Council prior to such changes being made. All minor modifications to the adopted development plan may be administratively approved by the Community Development Director.

**NOW, THEREFORE, BE IT RESOLVED
BY THE CITY COUNCIL
OF THE
CITY OF COUNCIL BLUFFS, IOWA**

That the request to amend the adopted Planned Industrial Development Plan for a new 'data center' on property legally described as being a parcel of land located in part of the SE ¼ of Section 21-75-43 and part of the NE ¼ of Section 28-75-43, all lying south of East Kaneshville Boulevard (U.S. Highway 6), City of Council Bluffs, Pottawattamie County, Iowa, is hereby approved, subject to all comments and conditions stated above and in the Council Communication attached hereto.

RESOLUTION NO. _____

PAGE 2

ADOPTED
AND
APPROVED

June 9, 2025.

MATTHEW J. WALSH

Mayor

Attest:

JODI QUAKENBUSH

City Clerk

Planning Case No. PI-24-001(M)

Council Communication

Department: Community Development
Case/Project No.: PR-25-002
Submitted by: Christopher Gibbons, AICP,
Planning Manager

Resolution 25-156
ITEM 7.G.

Council Action: 6/9/2025

Description
Resolution to adopt a PR-1/Planned Residential Development Plan for a multi-family residential development on property legally described as being part of the SE1/4 NE1/4 of Section 4-74-43. Location: Undeveloped land located at the northwest corner of the intersection of Eastern Hills Drive and Greenview Road. PR-25-002

Background/Discussion
See attached staff report.

Recommendation

ATTACHMENTS:

Description	Type	Upload Date
Staff Report	Staff Report	5/30/2025
Attachment A: Letter of intent	Letter	5/30/2025
Attachment B: Civil Plans	Other	5/30/2025
Attachment C: Landscape Plan	Other	5/30/2025
Attachment D: Architectural Renderings	Other	5/30/2025
Attachment E: Location/zoning map	Map	5/30/2025
Attachment F: Opposition email from Tyler and Karol O'Brien	Letter	5/30/2025
Attachment G: Opposition email from Sara Faris	Letter	5/30/2025
Attachment H: Opposition email from Tom Quigley	Letter	5/30/2025
Attachment I: Opposition email from Teri Price	Letter	5/30/2025
Attachment J: Opposition email from Laura Bahrke	Letter	5/30/2025
Resolution 25-156	Resolution	6/4/2025

Planning Commission Communication

Department: Community Development CASE #PR-25-002 Applicant: Broadmoor Development 809 N. 96 th Street Omaha, NE 68114 Property Owner: 92 Investments, LLC 22735 James Drive Council Bluffs, IA 51503	Resolution No. _____	City Council: 6/9/2025 Planning Commission: 5/13/2025
<p style="text-align: center;">Subject/Title</p> <p>Request: Public hearing on the request of Broadmoor Development, represented by Bob Stratton, to adopt a PR-1/Planned Residential Development Plan for a multi-family residential development on property legally described as being part of the SE1/4 NE1/4 of Section 4-74-43, City of Council Bluffs, Pottawattamie County, Iowa.</p> <p>Location: Undeveloped land located at the northwest corner of the intersection of Eastern Hills Drive and Greenview Road</p>		
<p style="text-align: center;">Background/Discussion</p> <p>The Community Development Department has received an application from Broadmoor Development, represented by Bob Stratton, to adopt a PR-1/Planned Residential Development Plan for a multi-family residential development on property legally described as being part of the SE1/4 NE1/4 of Section 4-74-43, City of Council Bluffs, Pottawattamie County, Iowa. The property is comprised of 19.73 acres of land and is located at the northwest corner of the intersection of Eastern Hills Drive and Greenview Road, which are classified as arterial roadways.</p> <p>The subject property is zoned R-3/Low Density Multi-Family Residential District with an appended PR/Planned Residential Overlay. Both designations were applied in 1999 during a large annexation that included the area now developed as Briarwood Subdivision (see Ordinance #5470). Additionally, the property has an expired PR development plan for 19-lot townhome/multi-family/mixed-use development that was proposed by the current property owner, 92 Investments Inc., and approved by City Council on June 24, 2019 via Resolution No. 19-161. The applicant, Broadmoor Development, is now seeking approval of their proposed PR-1 development plan, which is intended to regulate the design and layout of their multi-family development.</p> <p>The applicant's proposed development plan shows a 231-unit apartment community with a mixture of studio, one-, two-, and three-bedroom units that will be constructed over a 3 ½ year timeframe. Apartment building profiles consist of two- and three-story buildings with attached garages. Site amenities include a 6,000 square foot clubhouse that will include: leasing offices, a fitness center, conference rooms, dog wash/spa, and mailrooms with 24-hour access. An outdoor pool and dog park are also proposed as amenities for the residents. The site layout plan shows 13 apartment buildings, five detached garage buildings, 142 surface parking stalls, and an extension of Tipton Drive, which will be dedicated to the City. The submitted landscaping plan shows street trees along the frontage of Eastern Hills Drive and landscaped parking lot islands. Stormwater detention will be</p>		

handled via a basin located at the southernmost point of the site, adjacent to the Eastern Hills Drive/Greenview Road round-a-bout. A copy of the applicant's letter of intent and proposed development plans are included with this report as Attachments 'A-D'.

Zoning/Land Use

The subject property is zoned R-3/Low Density Multi-Family Residential District with an appended PR/Planned Residential Overlay and is surrounded by the following zoning districts and land uses:

Direction	Existing Zoning Districts	Existing Land Uses
North	R-1/Single-Family Residential District	Single-family residential dwellings
South	R-1/Single-family Residential District, C-2 District (County), R-2 District (County), and R-3 District (County)	City maintenance facility and sanitary sewer lift station, single-family residential dwellings, and a tree farm.
East	R-3/Low Density Multi-Family Residential District and R-2 District (County)	Eastern Hills Park, single-family dwellings, and farm.
West	R-3/Low Density Multi-Family Residential District, C-2/Commercial District, R-2/Two-Family Residential District, and R-3 District (County)	Undeveloped land, contractor shop, and attached single-family dwellings.

A location/zoning map is included with this report as Attachment 'E.'

Public notices were mailed to all property owners within 200 feet of the subject property. Said notices are not required by ordinance since this request did not involve a change to the City's Zoning Map. City staff sent the notices as a courtesy to the adjacent landowners since the proposed multi-family development differs substantially from the previously approved townhome/multi-family/mixed use development on the subject property. The Community Development Department received the following comments:

1. Tyler and Karol O'Brien, 729 Redwood Drive, Council Bluffs, Iowa stated they are opposed to the proposed multi-family development due to the density of the development; land use incompatibility to the adjacent single-family residential neighborhood (Briarwood); and on-going grading/dirt removal and the associated impacts on abutting properties. A copy of their email is included with this report as Attachment 'F'.
2. Sara Faris, 4115 Briarwood Drive, Council Bluffs, Iowa, submitted an opposition email on behalf of the Briarwood Homeowners Association. Mrs. Faris stated the Briarwood HOA is opposed to the proposed multi-family development due to the following reasons:
 - a. Incompatibility with an established neighborhood character;
 - b. Increased transient residency and reduced community cohesion;
 - c. Loss of privacy and potential security concerns;
 - d. Negative impact on property values; and
 - e. Inadequate buffer and poor transition between zoning types.

A copy of Mrs. Faris's opposition email is included with this report as Attachment 'G'.

3. Tom Quigley, 1719 Tipton Drive, Council Bluffs, Iowa submitted an opposition email on behalf of the Briarwood Homeowners Association. Mr. Quigley stated the Briarwood HOA is opposed to the proposed multi-family development due to land use incompatibility with the abutting single-family residential

neighborhood and dust concerns due to the on-going dirt removal from the subject property. A copy of Mr. Quigley's email is included with this report as Attachment 'H'.

City Departments and Utilities – All City departments and local utility providers were notified of the proposed request. The following comments were received:

1. Council Bluffs Public Works Department (CBPW) stated the civil plans and geotechnical report are under review and staff will continue to work with applicant's engineer of record on the final plan designs. CBPW also stated a drainage report must be submitted to the City for review.
2. Council Bluffs Fire Department (CBFD) stated a fire hydrant must be installed between Buildings 5 and 6, as well as, in front of the proposed clubhouse. All other proposed hydrant coverage and fire access comply with CBFD requirements.
3. The Council Bluffs Police Department stated they have no comments or objections regarding the request.
4. Council Bluffs Water Works stated they are in discussions with the applicant about providing water to the proposed development and have no further comments at this time.
5. MidAmerican Energy stated they have no conflicts or concerns with the proposed development. MidAmerican Energy and the applicant have held discussions about electrical distribution and service extension requirements for the development.

Planned Residential Development Plan – Section 15.28.010, Statement of Intent, PR/Planned Residential Overlay, of the Council Bluffs Municipal Code (Zoning Ordinance) states that *"the Planned Residential Overlay is established to permit flexibility in the use and design of structures and land in situations where conventional development may be inappropriate and where modifications of requirements of the underlying zone would not be inconsistent with the comprehensive plan or harmful to the surrounding neighborhoods in which it is located."* Furthermore, Section 15.28.020, Applicability, of the CBMC (Zoning Ordinance) states that *"A PR Overlay may be applied to all residential zoning districts, except the R-1M/Single-Family Manufactured Housing District, and the A-P/Administrative-Professional District"* and *"The PR-1 Overlay is intended for general master planned development. The minimum tract of land considered for a PR-1 Overlay shall be one and a half (1 ½) acres."* The purpose of this request is to adopt a site-specific PR-1/Planned Residential development plan for a 231-unit apartment complex on a 19.73 acre parcel of land.

A. Site Development

1. Per Section 15.28.020, Applicability, of the CBMC (Zoning Ordinance), the minimum land area required for a PR-1 Overlay is 1.5 acres. The subject property is comprised of 19.73 acres, which meets the requirements for a PR-1 Overlay/development plan.
2. A 'dwelling, multi-family' use is classified as a principal use, as per Section 15.10.020, Principal Uses, R-3/Low Density Multi-Family Residential District, of the CBMC (Zoning Ordinance). Multi-family residential uses are permitted "by-right" in an R-3 District and do not need separate approvals from the City Planning Commission or City Council. The purpose of the PR-1 development plan is to establish standards for the development of the property and the design of the buildings.
3. The total maximum number of apartment dwellings units on property zoned R-3 District is based on the following calculation, as per Section 15.10.050, Site Development Standards, R-3/Low Density Multi-Family Residential District:

- a. 5 or more units = 9,000 square feet of lot area plus an increase of 2,000 square feet per each additional unit.

The subject property contains 19.73 acres (859,438 square feet) and is therefore allowed a maximum of 425 apartment dwelling units, based on the above calculation. The applicant's proposal is to construct 231 apartment dwelling units, which is 54% of the total maximum allowed units on the subject property. The total number of proposed apartment dwelling units complies with R-3 District density standards.

4. A minimum 10-foot perimeter setback from all abutting property lines and rights-of-way shall be provided. Based on the topography of the site and the layout of the development, the following building setbacks will be provided:
 - a. Buildings 1-4: 20 feet or more from the property line abutting Eastern Hills Drive; and 200 feet or more from all other property lines;
 - b. Buildings 5 and 6: 200 feet or more from all property lines;
 - c. Buildings 7 and 8: 150 feet or more from all property lines;
 - d. Buildings 9-12: 200 feet or more from the northerly property line; 60 feet from the westerly property line; and 80 feet or more from the easterly/southerly property line.
 - e. Buildings 13 and 14: 300 feet or more from the northerly property line; 150 feet or more from the westerly property line; and 150 feet or more from the easterly/southerly property line.
 - f. Garage buildings 1-5 are centrally located within the development and are surrounded by buildings and/or parking lots.
5. Per Section 15.10.050, Site Development Standards, R-3/Low Density Multi-Family Residential District the maximum allowed height for a principal structure (i.e., the proposed apartment buildings) is 60 feet and the maximum allowed height for an accessory structure is 18 feet. The applicant's submittal shows two- and three-story apartment buildings ranging in height from 27' 11" to 39' 6". The proposed clubhouse will measure 23' 4" in height and is considered a principal structure in the overall development. The height of the garages is not known at this time but shall not exceed 18 feet in height.
6. The maximum combined lot coverage for all structures shall not exceed 60% of the total lot area.
7. A minimum five-foot wide pedestrian way shall be provided from the primary entrance of each building to the nearest sidewalk, to the extent practical. The pedestrian way may be designated with pavement striping, change in surface material, curb and/or grade separation, or some other alternative design approved by the Community Development Department Director or their assignee. It is encouraged that the pedestrian connection be incorporated into the overall layout of the site.
8. All trash receptacles and/or dumpsters shall be enclosed on three sides with a masonry, wood, or vinyl fence and have a lockable gate that when closed completely eliminates view of the dumpster.
9. All fences and walls shall be installed in accordance with Section 15.24.040, Fence Regulations, of the Council Bluffs Municipal Code (Zoning Ordinance). The proposed clubhouse swimming pool shall be fenced in accordance with all applicable federal, state, and local requirements.
10. All site lighting shall comply with the standards in Section 15.24.050, Lighting Controls, of the Council Bluffs Municipal Code (Zoning Ordinance). A photometric plan for all proposed outdoor lights shall be submitted to the City at the time of building permit review. Light pole materials shall be painted or

finished aluminum or steel. Light poles shall not exceed 25 feet in height, as measured from finished grade to the top of the light fixture/pole.

11. Any solar energy conversion systems installed at this site shall comply with the standards stated in Section 15.34.030, Solar Energy Conversion Systems, of the Council Bluffs Municipal Code (Zoning Ordinance).
12. Outdoor storage of materials, products, equipment, or packaging shall not be permitted. This includes the semi-permanent and/or permanent placement of inter-modal storage/shipping containers.
13. All utilities shall be installed underground. Any cost to remove, relocate, modify, and/or extend utilities to the site shall be at the sole cost of the developer and not the City.
14. All grading, drainage, and stormwater management activities shall be completed in accordance with Public Works standards.
15. Dust control measures (i.e., water trucks) shall be used during all construction phases to ensure fugitive dust is contained to the site and does not encroach onto neighboring properties or adjacent street rights-of-way, as best as possible.
16. The submitted plans show an extension of Tipton Drive that will interconnect with Eastern Hills Drive. Tipton Drive and Belmont Drive were stubbed-out as part of the construction of Briarwood Subdivision Phase 1 for the purpose of providing additional access to the subject property. Belmont Drive is not proposed to be extended. The Tipton Drive extension was requested by the City of Council Bluffs to provide an additional access route for the Briarwood Subdivision and the proposed apartment development to Eastern Hills Drive and other local roadways nearby. The proposed Tipton Drive extension will be dedicated to the City of Council Bluffs by the developer via an acquisition plat. Said roadway shall be constructed to City standards and the acquisition plat shall be submitted by the developer to the City for acceptance prior to the last apartment building within the development being granted a certificate of occupancy.

B. Off-Street Parking

1. The minimum number of off-street parking spaces shall be calculated using the applicable parking ratios in Chapter 15.23, Off-Street Parking, Loading and Unloading of the Council Bluffs Municipal Code (Zoning Ordinance).
 - a. The proposed development plans state 491 parking stalls will be provided for the development. These stalls vary from integrated garage parking (150 spaces), detached garages (49 spaces), surface parking (124 spaces), tandem stalls (150 spaces), and handicap accessible (18). Per Section 15.23.060, Parking Spaces Required of the Council Bluffs Zoning Ordinance the total number of required off-street parking spaces for a multi-family residential use is based on the following calculation:
 - i. Efficiency and 1-bedroom units: 1 parking space per dwelling unit
 - ii. Two-bedroom or more units: 1 ½ space per dwelling unit

The total unit mix will consist of 141 one-bedroom units, 73 two-bedroom units, and 17 three-bedroom units. Based on this unit mix and the above stated parking calculations, a total of 276 parking stalls are required for the proposed 231-unit multi-family development. The submitted

site plan shows a total of 491 parking stalls, which complies with parking requirements stated in Section 15.23.060, Parking Spaces Required of the Council Bluffs Zoning Ordinance.

2. All off-street parking areas, driveways, drive aisles, and loading/unloading areas shall comply with the standards of Chapter 15.23, Off-Street Parking, Loading and Unloading, of the Council Bluffs Municipal Code (Zoning Ordinance) and any design requirements of the Public Works Department. Tandem parking stalls shall not be allowed to encroach into a required parking space or drive aisle.
3. All off-street parking lots shall comply with Chapter 661–18, Parking for Persons with Disabilities, of the Iowa Administrative Code.
4. Bicycle parking shall be provided and designed as follows:
 - a. A minimum of four bicycle spaces shall be provided per building on-site, excluding detached garages. There are a total of 14 buildings; therefore, a minimum of 56 bicycle parking spaces must be provided.
 - b. Designated bicycle parking areas shall be located within a reasonable walking distance of, and clearly visible from, the main entrance of each building. Bicycle parking may alternatively be provided in a publicly accessible designated indoor bicycle parking area within a convenient distance of a building entrance accessible to residents. If two buildings are located within close proximity of each other, the bicycle parking area for each building may be placed in the same location. Shared bicycle parking areas shall be located at an equal distance from the main entrance of each building.
 - b. Outdoor bicycle racks shall be secured to the pavement in a location that does not conflict with pedestrian or vehicular circulation routes.
 - c. Bicycle parking shall be installed prior to the issuance of a Certificate of Occupancy for each building.
6. A parking lot permit shall be submitted with the building permit application(s) and shall include the number, location, and dimensions of all drive aisles and spaces, bicycle parking, pedestrian ways, landscape islands, loading areas, and parking lot lighting.

C. Landscaping

1. The submitted landscaping plan shows the proposed locations and species of landscape plantings throughout the development. The plans are generally acceptable and shall be adopted as submitted.
2. The landscaping plan shows the existing tree lines along the northerly and westerly property lines will be retained to screen the development site from the abutting properties. This tree line shall remain intact and shall be supplemented with additional tree plantings in areas that have gaps and/or thin vegetation that does achieve a minimum 50% opacity.
3. A mixture of 57 deciduous, evergreen, and flowering trees are proposed along the street frontage of the site adjacent to Eastern Hills Drive. This equates to one tree per 31 linear feet of frontage. This shall be considered the minimum number of trees to be planted within the landscape frontage strip.
4. All parking lot islands shall be planted with a minimum of one deciduous or canopy tree shade tree and ground cover (e.g., shrubs, sod, mulch, river rock, etc.).
5. All landscaping shall be appropriately maintained and dead plant material shall be replaced at a time appropriate to planting but in all cases shall be replaced within one year.

6. All tree species planted along the frontage of Eastern Hills Drive shall comply with the Council Bluffs Street Tree Guide and shall be reviewed and approved by the City prior to installation.
7. All trees shall have a minimum two-inch caliper width at the time of planting.
8. Landscaping shall not interfere with the sight clearance triangle at any intersection and shall not impede the vision of any motorist, cyclist or pedestrian at any street, driveway or pedestrian way.
9. No more than 10% of the landscaped area shall be of inorganic materials such as brick, stone, aggregate, metal, or artificial turf. Organic mulch may be used around trees and/or shrubs.
10. All disturbed areas without a specific landscape design shall be seeded or sodded with turf and/or prairie grass.
11. Minor modifications to the submitted landscaping plan may be approved administratively by the Community Development Director or their designee.

D. Architecture

1. Architectural renderings/elevations for the proposed development are shown in Attachment 'D'. The renderings show the exterior of all apartment buildings and the clubhouse being constructed of a combination of brick veneer masonry, fiber cement lap siding, corrugated metal, fascia, and aluminum windows and doors. The proposed building designs and materials are acceptable and shall be used in a combination and pattern generally consistent with the submitted renderings.
2. Architectural renderings for the detached garages were not provided by the applicant. The design of said garages shall be consistent with the materials and design of the proposed apartment buildings.
3. All rooftop mounted mechanical equipment that is visible from an adjacent public street right-of-way shall be screened from view using architectural design features.
4. All ground-mounted mechanical equipment that is visible from an adjacent public street right-of-way shall be completely screened from view using architectural design features, fencing, masonry wall, landscaping, or combination thereof.

E. Signage

1. A signage plan was not submitted with the development plan. All on-premise signage shall be installed in accordance with all applicable standards in Chapter 15.33, Signs, of the Council Bluffs Municipal Code (Zoning Ordinance), including the standards for multifamily residential uses and PR/Planned Residential districts in Section 15.33.160, Residential District Signs.
2. No sign listed in Section 15.33.070, Prohibited Signs, of the Council Bluffs Municipal Code (Zoning Ordinance) shall be permitted.
3. A sign permit shall be obtained for any proposed attached, detached, and/or on-premise directional sign prior to installation.

Recommendation

The Community Development Department recommends approval of the request of Broadmoor Development, represented by Bob Stratton, to adopt a PR-1/Planned Residential Development Plan for a 231-unit multi-family residential development on property legally described as being part of the SE1/4 NE1/4 of Section 4-74-43, City of Council Bluffs, Pottawattamie County, Iowa, subject to the comments stated above and the following condition:

- A. The PR-1/Planned Residential development plan shall become effective upon the applicant/developer purchasing the subject property; and
- B. Any modifications to the approved development plan which substantially alter the design, layout, configuration, and/or appearance of the project shall be reviewed the City Planning Commission and approved by City Council prior to such changes being made. All minor modifications to the adopted development plan may be administratively approved by the Community Development Director.

Public Hearing

Staff speakers for the request:

1. Christopher Gibbons, Planning & Code Compliance Manager, City of Council Bluffs, 209 Pearl Street, Council Bluffs IA, 51503

Speakers in favor:

1. Bob Stratton, Broadmoor Development, 809 North 96th Street, Omaha, NE 68114
2. John Jerkovich, 92 Investments LLC, 535 West Broadway Suite 100, Council Bluffs, IA 51503

Speakers against:

1. Laura Fox, 1715 Tipton Drive, Council Bluffs, IA 51503
2. Virginia Gonterman, Briarwood HOA, 1711 Tipton Drive, Council Bluffs, IA 51503
3. Joshua Gonterman, 1711 Tipton Drive, Council Bluffs, IA 51503
4. Tyler O'Brien, 729 Redwood Drive, Council Bluffs, IA 51503
5. David Thomson, 733 Redwood Drive, Council Bluffs, IA 51503
6. Christine Mulligan, 719 Redwood Drive, Council Bluffs, IA 51503
7. Leland Fox, 1715 Tipton Drive, Council Bluffs, IA 51503

The City Planning Commission recommended approval of the request of Broadmoor Development, represented by Bob Stratton, to adopt a PR-1/Planned Residential Development Plan for a 231-unit multi-family residential development on property legally described as being part of the SE1/4 NE1/4 of Section 4-74-43, City of Council Bluffs, Pottawattamie County, Iowa, subject to the comments stated above and the following condition:

- A. The PR-1/Planned Residential development plan shall become effective upon the applicant/developer purchasing the subject property; and
- B. Any modifications to the approved development plan which substantially alter the design, layout, configuration, and/or appearance of the project shall be reviewed the City Planning Commission and approved by City Council prior to such changes being made. All minor modifications to the adopted development plan may be administratively approved by the Community Development Director.

VOTE: AYE – Freund, Knauss, Rater, and VanHouten. NAY – Rew, Stroebele, and Watson. ABSTAIN – None. ABSENT – Hutcheson. VACANT - Three Motion: Carried.

Attachments

Attachment A: Letter of intent
Attachment B: Civil Plans
Attachment C: Landscape Plan
Attachment D: Architectural Renderings
Attachment E: Location/zoning map
Attachment F: Opposition email from Tyler and Karol O'Brien
Attachment G: Opposition email from Sara Faris
Attachment H: Opposition email from Tom Quigley
Attachment I: Opposition email from Teri Price
Attachment J: Opposition email from Laura Bahrke

Prepared by: Christopher Gibbons, AICP, Planning Manager, Community Development Department

BROADMOOR

809 NORTH 96TH STREET OMAHA, NEBRASKA 68114
402.392.1800 | FAX 402.392.2502

April 1, 2025

Christopher Gibbons
Planning Manager
Community Development Department
City of Council Bluffs
209 Pearl Street, Council Bluffs, IA 51503

Re: Broadmoor Eastern Hills Apartments

Dear Mr. Gibbons:

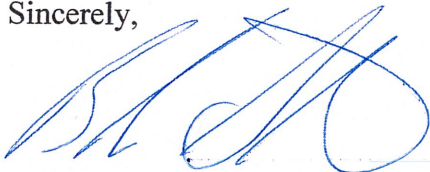
Broadmoor is organized to develop an apartment community of 231 apartments on the NE corner of Eastern Hills Drive and Greenview Road. We will have a mix of studio, one, two and three bedroom apartment homes.

The development consists of 3-story buildings (27 units) with attached garages that have access to the building's common hall and 2-story buildings (12 units) with direct access garages, one for each apartment. Detached garages are also designed into the site plan.

A 6,000 square foot clubhouse will feature leasing offices, clubroom, fitness center, business/conference room, dog wash/spa, as well as interior mail and package room with 24-hour access. Next to the clubhouse is a swimming pool and grill area. An outdoor fenced dog park will also be available to our residents.

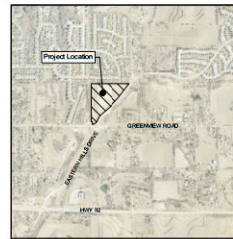
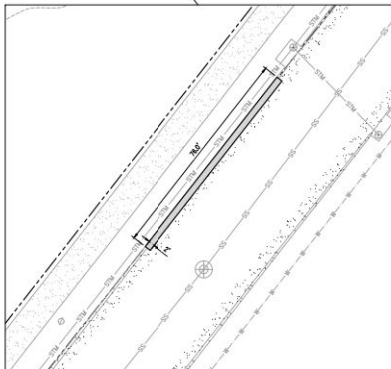
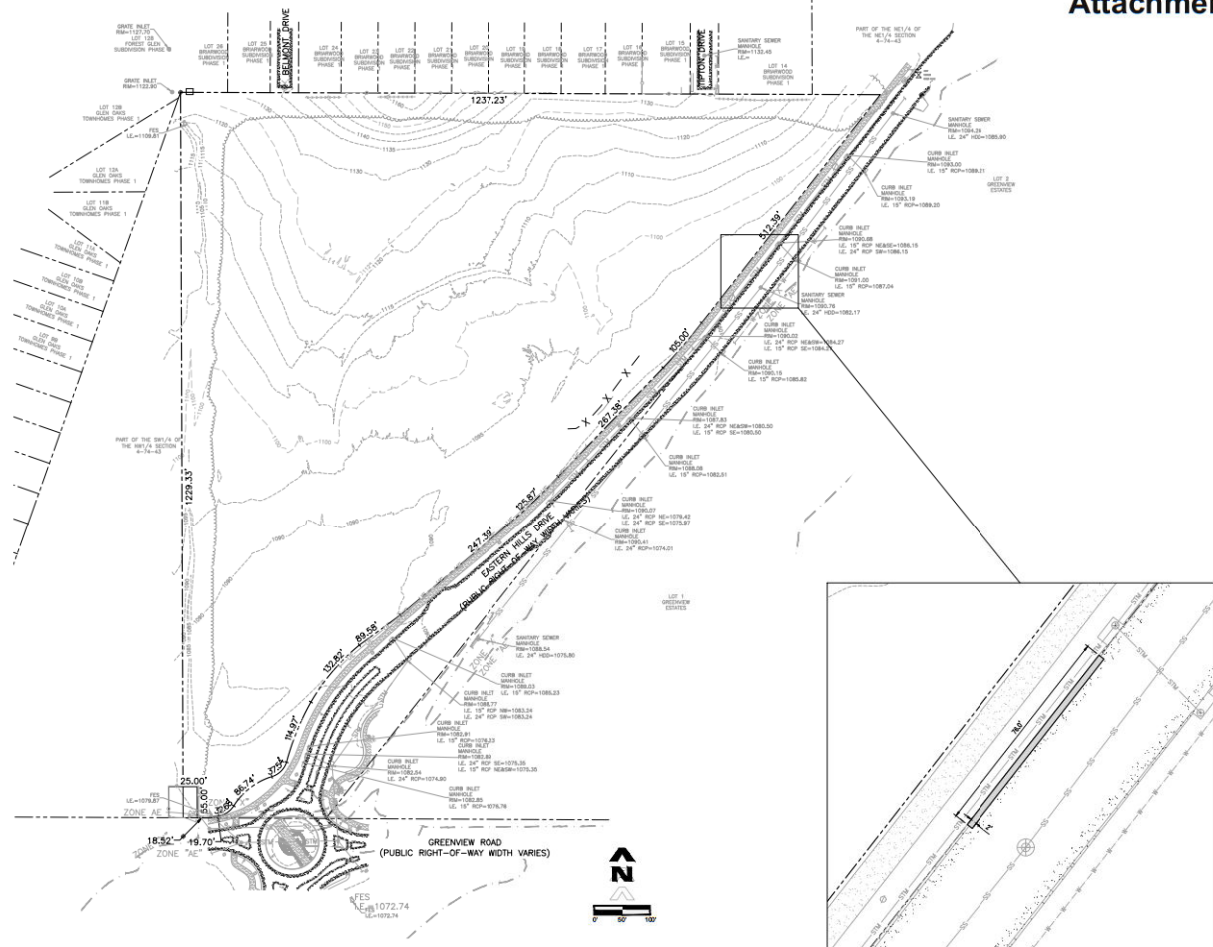
This apartment community will take approximately three and a half years to complete. The project will start at the south end with the buildings and clubhouse and the intent is to continue construction until the project is complete. The first occupancy will be two years after we start footings and buildings will open every 30 to 60 days, depending on the size of the building (12 units or 27 units). We hope to start this Fall, with our first occupancy Fall of 2027 and the project completing in Spring of 2029.

Sincerely,



Bob Stratton

Attachment B



VICINITY MAP

LEGAL DESCRIPTION

PART OF THE SE 1/4 OF THE NE 1/4 OF SECTION 4-74-43, POTOMAC COUNTY, IOWA.

BENCHMARK

DESCRIPTION: (CP1) CHISELED 'X' IN THE NORTH RM OF A CURB INLET MANHOLE 30' N OF THE CENTERLINE OF EASTERN HILLS DRIVE AND 75' E OF CONCRETE APRON ON LOC.

ELEVATION: 1089.01 (NAVD 86)

DEMOLITION NOTES

1. THE CONTRACTOR SHALL LIMIT REMOVAL AND DEMOLITION WORK TO THAT SPECIFICALLY CALLED FOR IN THE DOCUMENTS OR REQUIRED TO PROPERLY COMPLETE WORK. ANY STRUCTURES TO REMAIN WHICH ARE DAMAGED DURING DEMOLITION OPERATIONS SHALL BE REPAIRED BACK TO THEIR ORIGINAL CONDITION AT NO ADDITIONAL COST TO THE OWNER.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING AND PAYING FOR ANY PERMITS REQUIRED FOR DEMOLITION AND OTHER WORK THAT PERTAINS TO THIS PROJECT.
3. ALL DEBRIS RESULTING FROM DEMOLITION SHALL BECOME THE PROPERTY OF THE CONTRACTOR (IF REVIEWED BY OWNER) AND SHALL BE REMOVED FROM THE SITE AND PROPERLY DISPOSED.
4. THE CONTRACTOR SHALL EMPLOY DUST CONTROL MEASURES AS NECESSARY.
5. THE CONTRACTOR SHALL IMPLEMENT EFFECTIVE MEASURES TO PREVENT MIGRATION OF SOIL AND CONCRETE CUTTING SLURRY BEYOND THE PROPERTY LINES OR PROJECT LIMITS. CONSTRUCT BERM, FENCES, OR OTHER MEASURES AS NEEDED OR REQUIRED WHETHER SHOWN ON PLANS OR NOT.
6. THE LOCATIONS OF EXISTING UTILITIES ARE TO BE VERIFIED IN THE FIELD BY THE CONTRACTOR WHETHER SHOWN ON THE PLANS OR NOT.
7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO EXISTING PROPERTY, UTILITIES, AND STRUCTURES AS A RESULT OF THE CONSTRUCTION OPERATIONS AND SHALL REPAIR OR REPLACE THE SAME AT NO COST TO THE OWNER.
8. REMOVE EXISTING CONCRETE PAVEMENT IN ITS ENTIRETY. PROVIDE STRAIGHT CLEAN CUTS WHERE PAVEMENT REMOVAL ENDS BY SAWCUTTING FULL-DEPTH PAVEMENT. WHERE REMOVAL ABUTS EXISTING FEATURES, REMOVALS SHALL BE MADE BY SAWCUTTING AND/OR REMOVING TO THE NEAREST CONTROL JOINT.
9. PROVIDE AND INSTALL CONSTRUCTION SIGNAGE, WARNING SIGNS, AND BARRICADES AS NECESSARY TO PROVIDE FOR THE SAFETY OF THE PUBLIC. BARRICADES SHALL CONFORM TO THE CITY OF IOWA AND MUTCD STANDARDS. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION AND SITE SAFETY.
10. THE CONTRACTOR SHALL COORDINATE WITH THE OWNER FOR THE REMOVAL OF EXISTING LANDSCAPING WITHIN THE CONSTRUCTION LIMITS.

LEGEND

- PROPERTY CORNER FOUND
- BUSH
- TREE DRIP LINE
- POWER POLE
- LIGHT POLE
- SIGN
- MALBOX
- UTILITY VAULT
- SEWER MANHOLE
- FIRE HYDRANT
- WATER VALVE
- INVERT ELEVATION
- IC
- GRATE INLET
- FES
- FLARED END SECTION
- SANITARY SEWER LINE
- STW
- STORM SEWER LINE
- UNDERGROUND ELECTRICAL LINE
- WIRE FENCE
- CHAIN LINK FENCE
- GATE
- FLOOD ZONE DELINEATION LINE
- TRUNCATED DOME PAD
- BIKE RACK
- CONTROL POINT
- PAVEMENT REMOVAL



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Broadmoor Eastern Hills

NW of Greenview Road &
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Council Bluffs, Iowa

Broadmoor Development

Professional Seal

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Drawn By: GTN Reviewed By: JAD
Job No: 1061-165 Date: 04-11-25

Existing Conditions and Demolition Plan

Sheet Number



C1.0

Broadmoor Eastern Hills

NW of Greenview Road &
Eastern Hills Drive
Council Bluffs, Iowa

Broadmoor Development

Professional Seal

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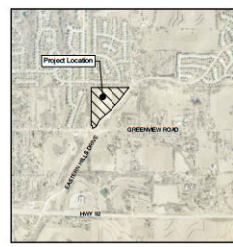
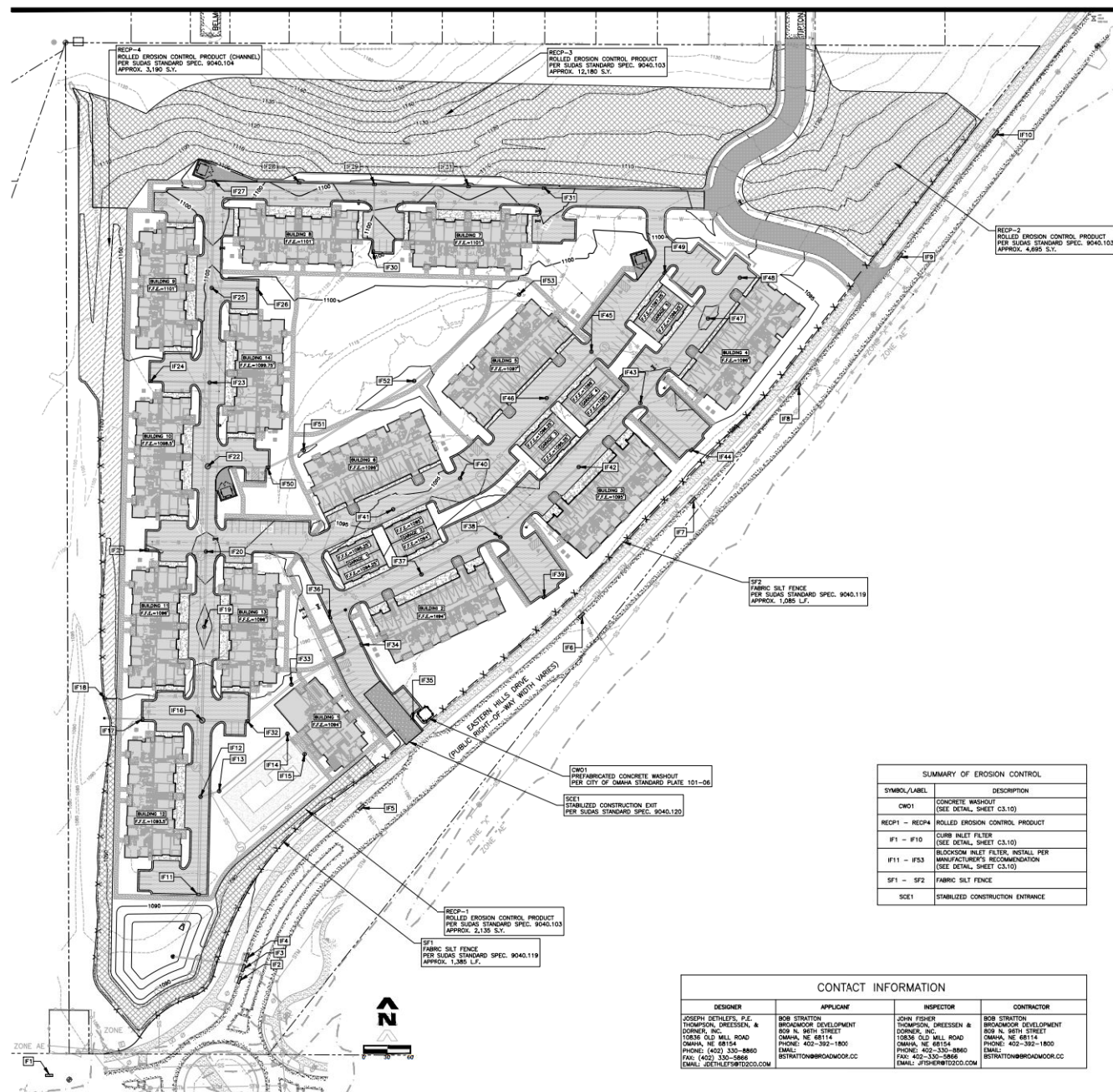
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Job No: 1061-165 Date: 04-11-25

Sheet Title

Grading and Erosion Control Plan

Sheet Number

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VICINITY MAP
GRADING NOTES

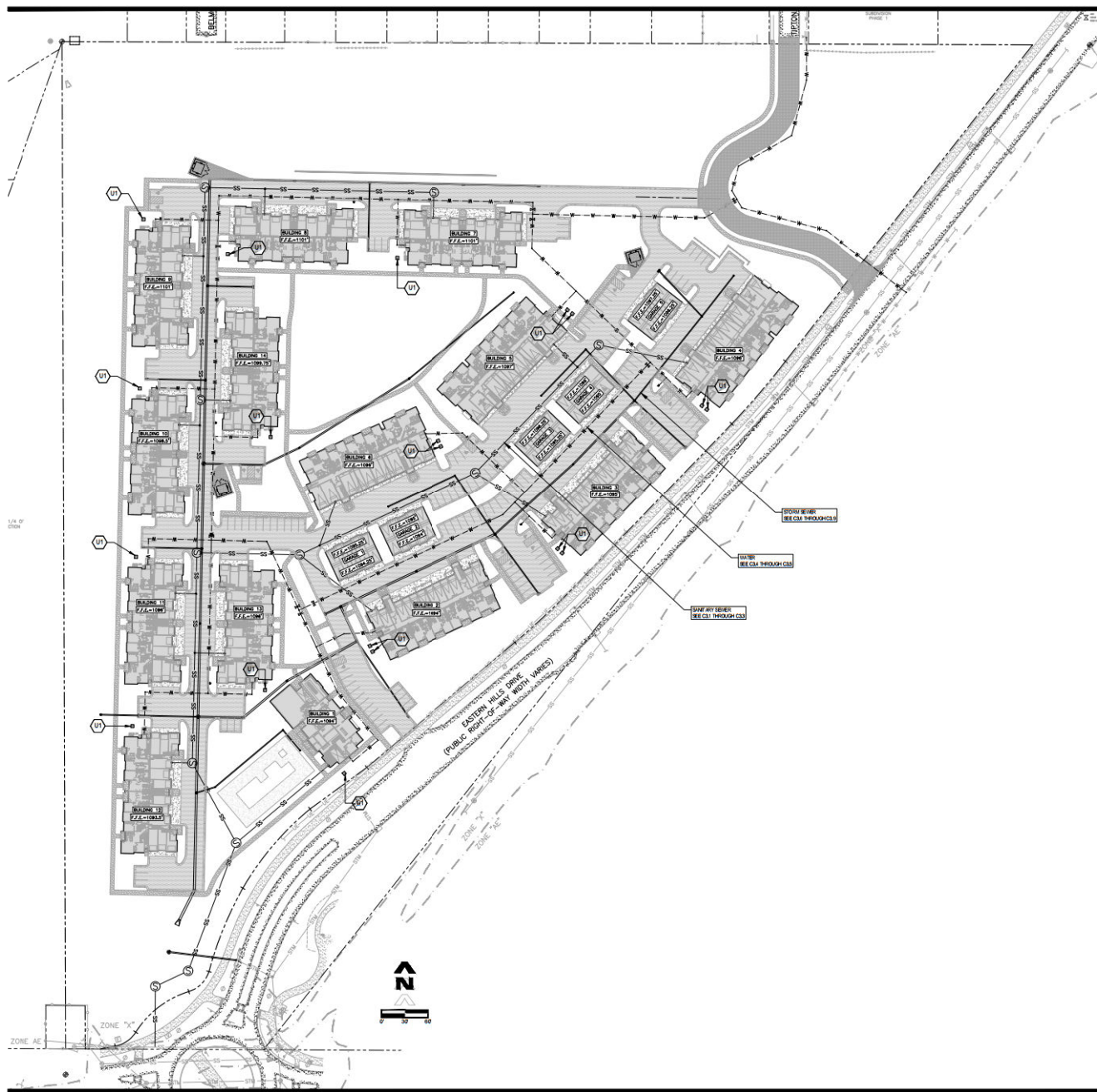
1. PRIOR TO CONSTRUCTION EQUIPMENT ENTERING OR EXITING THE SITE, A CONSTRUCTION ENTRANCE AND ALL SILT FENCES SHALL BE BUILT. CONTRACTOR SHALL MAINTAIN EROSION CONTROL MEASURES THROUGHOUT CONSTRUCTION AND REMOVE WHEN CONSTRUCTION IS COMPLETE AND SITE HAS BECOME STABILIZED.
2. THE CONTRACTOR SHALL BE RESPONSIBLE TO KEEP ALL ROADS, SIDEWALKS, AND ADJACENT PROPERTIES FREE OF DIRT, MUD, OR OTHER DEBRIS. THE CONTRACTOR SHALL SWEEP, SCRAPE, AND/OR CLEAN PAVEMENT SURFACES AS NECESSARY.
3. CONTRACTOR SHALL PROVIDE WIND AND WATER EROSION CONTROL, AS REQUIRED. CONTRACTOR SHALL TAKE PRECAUTIONS TO PREVENT SILT-LADEN RUNOFF FROM ENTERING ADJACENT SEWER AND RUNNING DRAINAGE PROPERTY. CONTRACTOR SHALL REMOVE MUD AND SILT FROM SURFACES IMMEDIATELY. EROSION CONTROL SHALL BE MAINTAINED BY CONTRACTOR THROUGHOUT THE ENTIRE CONSTRUCTION PERIOD. EROSION CONTROL EFFORTS SHALL BE CONSIDERED SUBSIDIARY TO THE ITEMS FOR WHICH PAVEMENT IS BEING MADE. THIS INCLUDES REMOVAL OF ACCUMULATED MUD FROM SILT FENCES.
4. ALL FILL SOIL SHALL CONSIST OF LEAN CLAY OR SILT SOIL WITH LIQUID LIMIT LESS THAN 43 AND PLASTICITY INDEX OF 5.3 OR LESS. FILL SHALL BE COMPACTED TO A DRY DENSITY OF AT LEAST 95% OF THE MAXIMUM DRY DENSITY AS DETERMINED BY ASTM D1557. MODIFIED PROCTOR. MOISTURE CONTENTS OF THIS FILL AND INFILL SHALL NOT BE MORE THAN 6% BELOW OR ABOVE THE OPTIMUM MOISTURE CONTENT. SUBGRADE PREPARATION SHALL EXTEND A MINIMUM OF 2" LATERALLY BEYOND THE EDGE OF PAVEMENT (3 FEET IF PAVING MACHINE IS USED).
5. FOR PAVEMENT AREAS SUBJECT TO VEHICULAR TRAFFIC, THE UPPER 12 INCHES OF SUBGRADE SHALL BE SCARIFIED AND RECOMPACTED IMMEDIATELY PRIOR TO THE GRADING AND PAVEMENT PLACEMENT WITH SUITABLE FILL MATERIAL AS DETAIL ABOVE (NOTE 4). SUBGRADE PREP SHALL EXTEND BEYOND THE PAVEMENT EDGE BY A MINIMUM OF 2-Feet OR 3-Feet IF PAVING MACHINE IS USED.
6. FILL AND CUT AREAS SHALL BE STRIPPED OF ALL VEGETATION AND TOPSOIL TO A DEPTH OF 6 TO 10 INCHES. ADDITIONAL STRIPPING DEPTH MAY BE REQUIRED BY ENGINEER. STRIPPINGS SHALL BE STOCKPILED AS DETERMINED BY THE ENGINEER. STRIPPINGS SHALL BE REDISTRIBUTED AS TOPSOIL AFTER GRADING OF INDIVIDUAL FILL AREAS ARE COMPLETED.
7. AFTER CUT AND FILL IS COMPLETED TO REQUIRED SUBGRADE, SPREAD A MINIMUM OF 4 INCH THICK TOPSOIL LAYER IN AREAS TO BE LANDSCAPED. IF THE CONTRACTOR FAILS TO PROPERLY STOCKPILE EXISTING TOPSOIL, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO HIRE AN ENGINEER APPROVED TOPSOIL AT NO ADDITIONAL COST TO OWNER. TOPSOIL SHALL BE OF SUFFICIENT QUANTITY TO PROVIDE THE MINIMUM 4" COVERAGE SPECIFIED.
8. MATCH EXISTING ELEVATIONS AT PROPERTY LINES OR STREET CURBS AS SHOWN WITHOUT SUDDEN BREAKS.
9. EXISTING AND PROPOSED CONTOURS ARE SHOWN AT 5 FOOT INTERVALS.
10. FINAL ELEVATIONS SHOWN ARE TO FINISH SURFACES. VERIFY WITH SITE PLAN THE DEPTH OF PAVING, DRIVES AND SIDEWALKS. GRADE AS REQUIRED TO ACHIEVE THE FINISH SURFACE ELEVATIONS AS SHOWN. GRADE SHALL GRADUALLY TAPER OVER SPOT ELEVATIONS IN A GENTLE SWEETING CURVE (NO SHARP BREAK IN PLANE OF PAVING ALLOWED).
11. CONSTRUCTION TOLERANCES SHALL NOT APPLY TO ADA ACCESSIBLE ROUTES. THE CONTRACTOR MUST CONSTRUCT GRADIES ALONG ADA ROUTES (INCLUDING PARKING, SIDEWALKS, DROP-OFF AND/OR ACCESS RILES) WITHIN THE STRICT LIMITS REQUIRED TO ACHIEVE ADA SLOPES. ALL AREAS REQUIRING ADA COMPLIANCE THAT DO NOT MEET ADA SHALL BE REMOVED AND REPLACED BY THE CONTRACTOR AT HIS EXPENSE. SEE SHEET CAD FOR PROPOSED ADA ROUTE(S).
12. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DAMAGE TO EXISTING STREETS AND EXISTING UTILITIES AND SHALL REPAIR ANY SUCH DAMAGE AT HIS OWN EXPENSE. THE CONTRACTOR SHALL HAVE ALL UTILITIES LOCATED THROUGH THE "ONE CALL" SYSTEM. CALL BEFORE YOU DIG. CALL THE UNDERGROUND UTILITY FOR UTILITY LOCATIONS AT 811. MOUNT THROUGH FRONT YARD. 10' TO 6' P.M.
13. THE CONTRACTOR SHALL BE RESPONSIBLE TO COMPLY WITH ALL OSHA REGULATIONS IN THE PROSECUTION OF WORK UNDER THIS CONTRACT.
14. ALL DEBRIS RESULTING FROM CONSTRUCTION OPERATIONS SHALL BE HAULED OFF SITE AND DISPOSED OF PROPERLY AND LEGALLY.
15. THE CONTRACTOR MUST COMPLY WITH ALL NOISE ORDINANCES OF THE CITY OF COUNCIL BLUFFS.
16. CONTRACTOR SHALL PROVIDE ALL DESIGN CALCULATIONS AND PLANS FOR RETAINING WALL AS REQUIRED BY JURISDICTIONAL AUTHORITIES. PLANS AND CALCULATIONS SHALL BE SIGNED AND SEALED BY A PROFESSIONAL ENGINEER LICENSED IN THE STATE OF IOWA. SEE SPOT ELEVATION PLAN FOR WALL HEIGHTS. COORDINATE WITH ARCHITECT FOR MATERIALS AND COLOR.

LEGEND

- EXISTING CONTOUR
- PROPOSED CONTOUR
- FABRIC SILT FENCE
- LIMITS OF DISTURBANCE
- CONCRETE WASHOUT
- SILT FENCE
- STABILIZED CONSTRUCTION ENTRANCE

SUMMARY OF EROSION CONTROL	
SYMBOL/LABEL	DESCRIPTION
CWO1	CONCRETE WASHOUT (SEE DETAIL SHEET C3.10)
RECP1 - RECP4	ROLLED EROSION CONTROL PRODUCT (SEE DETAIL SHEET C3.10)
F11 - F110	CURB INLET FILTER (SEE DETAIL SHEET C3.10)
F111 - F113	BLOCKHOLE INLET FILTER, INSTALL PER MANUFACTURER'S RECOMMENDATION (SEE DETAIL SHEET C3.10)
SF1 - SF2	FABRIC SILT FENCE
SE1	STABILIZED CONSTRUCTION ENTRANCE

CONTACT INFORMATION			
DESIGNER	APPLICANT	INSPECTOR	CONTRACTOR
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UTILITY NOTES

1. THE CONTRACTOR SHALL VERIFY ALL UTILITY LOCATIONS IN THE FIELD PRIOR TO THE START OF CONSTRUCTION OPERATIONS. THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR ANY DAMAGE TO EXISTING PROPERTIES, UTILITIES AND STRUCTURES, AND WILL REPAIR AT HIS OWN EXPENSE. THE CONTRACTOR SHALL HAVE ALL EXISTING UTILITIES FIELD LOCATED PRIOR TO CONSTRUCTION THROUGH THE "ONE CALL" SYSTEM AT 811.
2. THE CONTRACTOR SHALL BE RESPONSIBLE TO COMPLY WITH ALL OSHA REGULATIONS IN THE PROSECUTION OF WORK UNDER THIS CONTRACT.
3. COMPLY WITH ALL CODES AND REGULATIONS. OBTAIN PERMITS AS NECESSARY.
4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL VERIFY ALL GRADES AND TAP ELEVATIONS WHERE PROPOSED UTILITIES ARE TO BE INTO EXISTING UTILITIES. THE CONTRACTOR IS RESPONSIBLE TO STUDY THE PROPOSED PLANS AND NOTIFY THE OWNER'S ENGINEER OF ANY INCONSISTENCIES, DISCREPANCIES OR CONSTRUCTION PROBLEMS.
5. THE CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY THE PROPOSED UTILITY LINE LOCATIONS AT THE BUILDING AGAINST THE LOCATIONS SHOWN ON THE MECHANICAL, ELECTRICAL, AND ARCHITECTURAL PLANS AND TO COORDINATE THE CONTINUATION OF THE LINES INTO THE BUILDING.
6. THE CONTRACTOR SHALL ADJUST ALL UTILITY STRUCTURES TO FINISHED GRADE. THESE INCLUDE, BUT ARE NOT LIMITED TO MANHOLES, STORM SEWER INLETS, VALVES, CURB STOPS, CLEAN OUTS AND ANY OTHER ITEMS THAT MAY FALL INTO THIS CLASSIFICATION. THESE ADJUSTMENTS SHALL BE INCIDENTAL TO THE PROJECT.
7. SEWER AND WATER SEPARATION SHALL CONFORM TO THE "TEN STATE STANDARDS".
8. ALL PIPES SHALL BE BEDDED WITH AGGREGATE PER SDAS STANDARD PLAN SW-103.
9. THE CONTRACTOR SHALL PROVIDE ALL DE-WATERING AND UNSTABLE TRENCH BEDDING AS REQUIRED.
10. ANY CLEANING, REPAIRS OR REPLACEMENT REQUIRED, DUE TO POOR WORKMANSHIP, SHALL BE DONE BY THE CONTRACTOR AT NO ADDITIONAL EXPENSE TO THE OWNER.
11. ALL JOINTS BETWEEN PIPES AND PRECAST STRUCTURES SHALL BE CONSTRUCTED WITH PEK RUBBER BOOT, PEK DIRECT DRIVE, MANHOLE CONNECTOR, OR APPROVED EQUAL, AND MORTAR-TIGHT TO PROVIDE WATER-TIGHT CONNECTION.
12. CONTRACTOR SHALL TEST AND/OR DISMANT ALL NEW UTILITIES IN ACCORDANCE WITH ALL LOCAL, STATE, AND FEDERAL REGULATIONS, AS WELL AS ALL CODES, UTILITY COMPANY REQUIREMENTS, AND THE PROJECT DOCUMENTS. IN CASE OF CONFLICT THE MORE STRINGENT REQUIREMENT SHALL GOVERN.
13. ALL DEBRIS RESULTING FROM CONSTRUCTION OPERATIONS SHALL BE HAULED OFF SITE AND DISPOSED OF PROPERLY.
14. INITIAL TRENCH BACKFILL SHALL BE EXTENDED UP THE SIDES AND CAREFULLY PLACED AROUND AND OVER PIPE IN SIX INCH (6") MAXIMUM LAYERS. EACH LAYER SHALL BE THOROUGHLY AND CAREFULLY COMPACTED WITH HAND OPERATED EQUIPMENT UNTIL ONE FOOT (1') OF COVER EXISTS OVER PIPE.
15. THE REMAINDER OF THE TRENCH SHALL BE BACKFILLED WITH SUITABLE FILL MATERIAL TO THE SURFACE ELEVATION SPECIFIED ON THE PLANS. BACKFILL SHALL BE PLACED IN EIGHT (8") INCH MAXIMUM LOOSE LIFTS. BACKFILL SHALL BE PLACED AND COMPACTED TO 90% OF THE MAXIMUM DRY DENSITY AS DETERMINED BY ASTM D-1557, MODIFIED PROCTOR. THE MOISTURE CONTENT TO BE CONTROLLED BETWEEN -5 AND +5 PERCENT OF THE OPTIMUM.

UTILITY KEY NOTES

- U1. PROPOSED TRANSFORMER PAD LOCATION. COORDINATE WITH MID-AMERICA ENERGY AND ELECTRICAL PLANS.

LEGEND

— STW — STN —	EXISTING STORM SEWER
=====	PROPOSED STORM SEWER
— SS — SS —	EXISTING SANITARY
=====	PROPOSED SANITARY SEWER
— W — W —	PROPOSED WATER LINE
— W — W —	EXISTING WATER LINE
■	PROPOSED TRANSFORMER PAD



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Broadmoor Eastern Hills

NW of Greenview Road &
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Broadmoor Development

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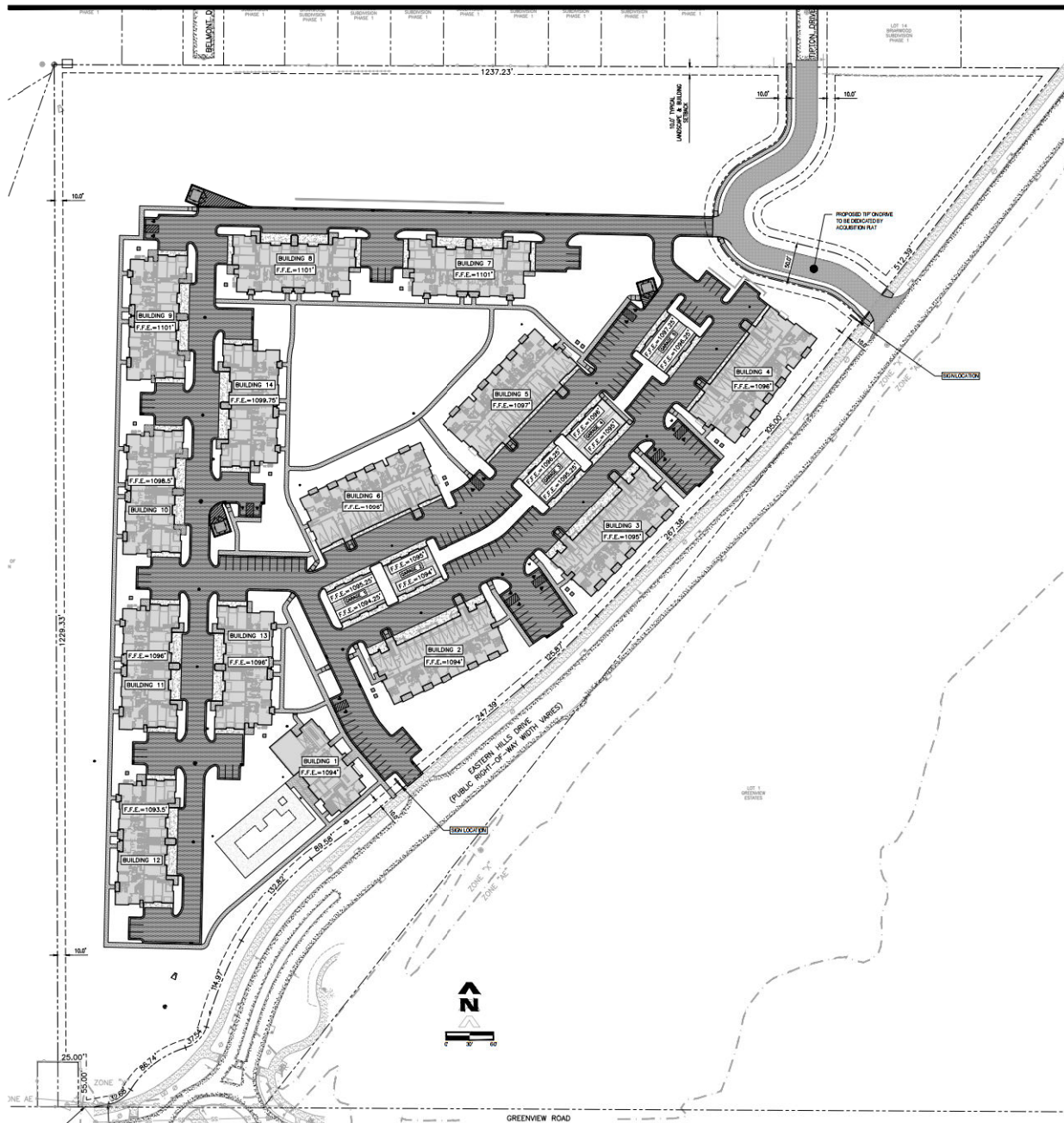
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Composite Utility Plan

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PAVING NOTES

1. THE CONTRACTOR SHALL VERIFY ALL UTILITY LOCATIONS IN THE FIELD PRIOR TO THE START OF CONSTRUCTION OPERATIONS. THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR ANY DAMAGE TO EXISTING PROPERTY, UTILITIES, AND STRUCTURES, AND WILL REPAIR AT HIS OWN EXPENSE. THE CONTRACTOR SHALL HAVE ALL EXISTING UTILITIES FIELD LOCATED PRIOR TO CONSTRUCTION THROUGH THE IOWA 811 "ONE CALL" NOTIFICATION SYSTEM.
2. DIMENSIONS SHOWN ARE TO EDGE OF SLAB, BACK OF CURB, OR FACE OF BUILDING AS APPLICABLE. CONTRACTOR SHALL VERIFY DIMENSIONS WITH ARCHITECT BEFORE BEGINNING CONSTRUCTION.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL BARRICADES, FLAGMEN, AND TRAFFIC CONTROL DURING CONSTRUCTION OPERATIONS. ALL TRAFFIC CONTROL SHALL COMPLY WITH S.D.A.S. REQUIREMENTS. NO SEPARATE PAYMENT WILL BE MADE FOR TRAFFIC CONTROL.
4. THE CONTRACTOR SHALL BE RESPONSIBLE TO COMPLY WITH ALL OSHA REGULATIONS IN THE PROSECUTION OF THE WORK UNDER THIS CONTRACT.
5. CONTRACTOR SHALL ADJUST ALL MANHOLES, VALVE BOXES, ETC. TO FINISHED GRADE.
6. ALL CONCRETE FOR P.C.C. PAVEMENT SHALL BE IOWA DOT TYPE C PER IOWA STATEWIDE URBAN DESIGN AND SPECIFICATIONS MANUAL.
7. WATER REDUCING ADMIXTURES SHALL NOT BE USED UNLESS APPROVED BY THE ENGINEER.
8. CONCRETE PAVEMENT SHALL BE CURED USING A WHITE PIGMENTED LIQUID MEMBRANE FORMING CURING COMPOUND THAT HAS BEEN APPROVED BY THE CITY OF COUNCIL BLUFFS. MINIMUM RATE OF APPLICATION SHALL BE 200 SQ. FEET PER GALLON IF A MECHANICAL POWER SPRAYER IS USED, AND 100 SQ. FEET PER GALLON IF A HAND SPRAYER IS USED.
9. ADA ACCESSIBLE ROUTES SHALL BE CONSTRUCTED ACCORDING TO THE ADA STANDARDS FOR ACCESSIBLE DESIGN AND SHALL HAVE A MINIMUM SLOPE OF NO MORE THAN 4.99% AND SHALL HAVE A CROSS SLOPE OF NO MORE THAN 2.00%. ACCESS ROUTES MAY INCREASE TO 8.33% MAX. IF ADA ACCESSIBLE MANHOLES ARE PROVIDED FOR PORTION OF ROUTE EXCEEDING 4.99%.
10. ALL SIDEWALK SHALL BE CONSTRUCTED HAVING A CROSS SLOPE OF NO MORE THAN 2.00%.
11. ALL RAMP SHALL BE 3" UNLESS OTHERWISE NOTED.
12. 2" SEALED EXPANSION JOINTS SHALL BE PROVIDED BETWEEN ALL PAVEMENT AND STRUCTURES (I.E. BUILDINGS, STOODS, MANHOLES, ETC.) AND/OR AS CALLED OUT ON PLANS.
13. THE MAXIMUM JOINT SPACING FOR CONCRETE PAVEMENT SHALL BE 12.5'. CONCRETE PAVEMENT PANELS SHALL BE KEPT AS SQUARE AS POSSIBLE. TRANSVERSE JOINT SPACING SHALL NOT EXCEED 150% OF THE LONGITUDINAL SPACING.

LEGEND

PARKING SUMMARY	
STALL TYPE	STALLS
STANDARD SURFACE	124
GARAGE (ATTACHED)	150
TANDUM STALLS	150
GARAGE (DETACHED)	49
ADA SURFACE	18
TOTAL PARKING	491

SITE NOTES

1. VERIFY ALL BUILDING DIMENSIONS WITH ARCHITECTURAL PLANS.
2. CONSTRUCT STRUCTURAL STOODS AT ALL DOOR LOCATIONS. SEE ARCHITECTURAL AND STRUCTURAL PLANS FOR DETAILS.
3. ALL GARAGE SLABS SHALL DROP 4-INCHES.
4. FOR ATTACHED GARAGES, FINISHED FLOOR ELEVATION (FFE) SHOWN IS AT DOOR LOCATION. SLAB AT GARAGE DOOR SHALL BE MINUS 4-INCHES.
5. FOR DETACHED GARAGES, FINISHED FLOOR ELEVATION (FFE) SHOWN IS AT GARAGE DOOR LOCATION. SLAB SHALL BE PLUS 4-INCHES INSIDE.
6. SEE SHEETS C4.4 THROUGH C4.7 FOR SITE DIMENSIONS.
7. SEE SHEETS C4.8 THROUGH C4.20 FOR SPOT ELEVATIONS.

BUILDING HEIGHTS			ORDER OF CONSTRUCTION	
BUILDING NUMBER	HEIGHT	BUILDING TYPE	ORDER	BUILDING NUMBER
1	23'-4"	CLUBHOUSE	1	1
2	39'-6"	II	2	2
3	39'-6"	II	3	3
4	38'-5"	1A	4	4
5	38'-5"	1A	5	5
6	38'-5"	1B	6	6
7	27'-11"	II	7	13
8	27'-11"	II	8	11
9	27'-11"	II	9	12
10	27'-11"	II	10	10
11	27'-11"	IV	11	14
12	27'-11"	IV	12	9
13	27'-11"	IV	13	8
14	27'-11"	IV	14	7



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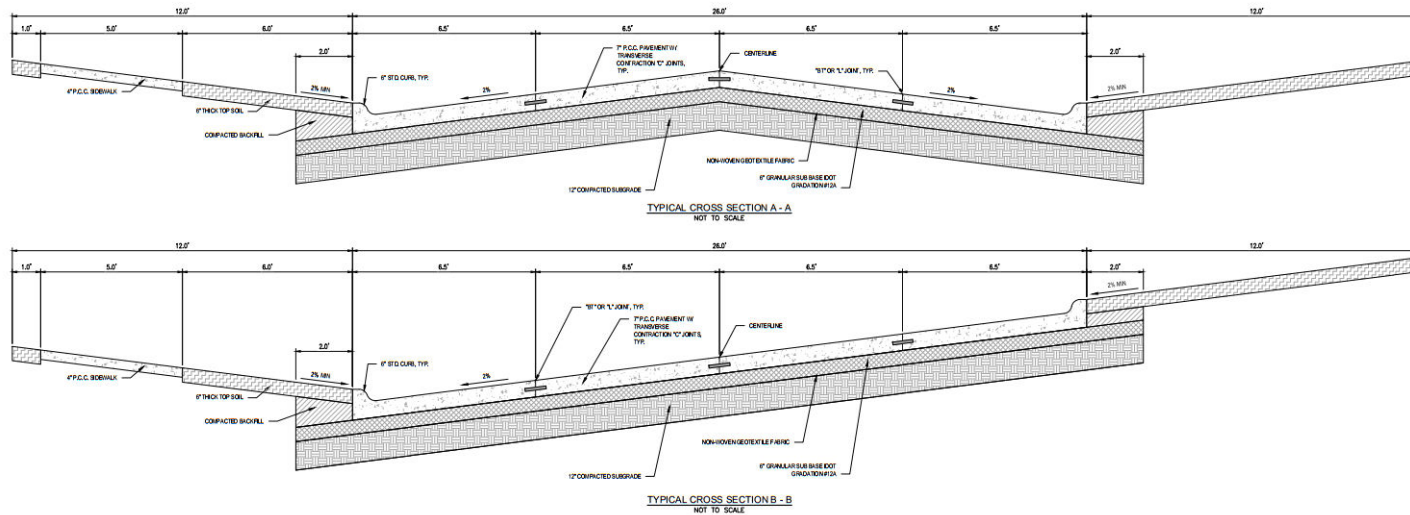
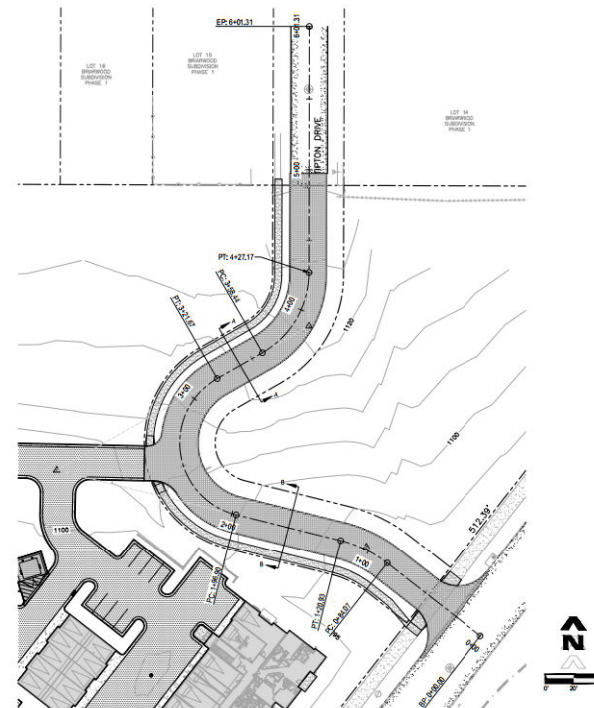
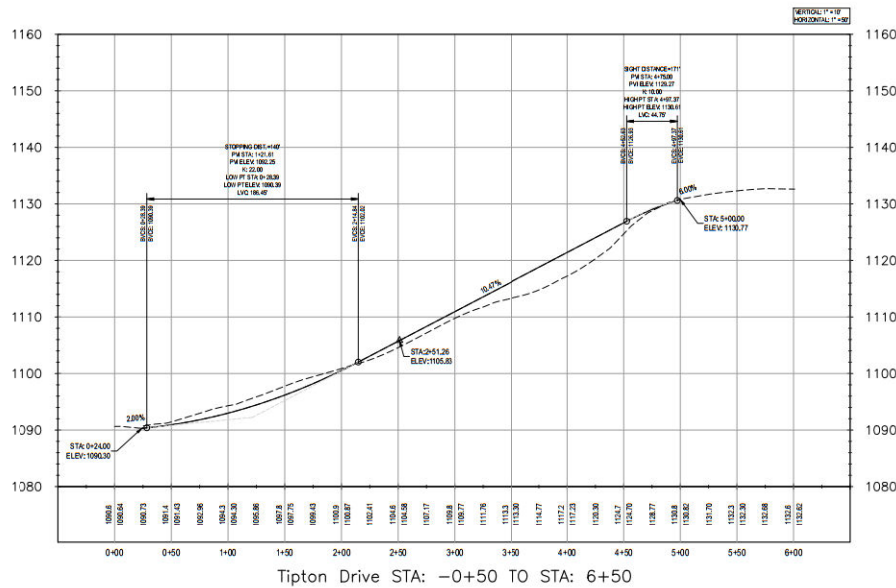
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Sheet Title

Overall Site Plan

Sheet Number

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Job No: 1061-165 Date: 04-11-25

Tipton Drive Plans

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GENERAL NOTES:

1. PROVIDE A CULTIVATED EDGE FOR ALL PLANTING BEDS AND WHERE BECAUSE ANY BACK OF CURB AND SIDEWALKS, REFERENCE DETAIL 1.1 THIS SHEET.
2. CONTRACTOR SHALL MAINTAIN ALL PLANTING BEDS AND TREE PITS. REFERENCE DETAIL 1.1.2 THIS SHEET.
3. PROVIDE 6" OF TOPSOIL FOR TREE INSTALLATION FOR PLANTING BEDS.
4. INSTALL PLANTS WHERE THEY ARE TO BE PLANTED TO ALLOW FOR A 1.5' FEET SPACE BETWEEN BACK OF CURB AND ESTIMATED MATURE SPREAD.
5. PROVIDE WATERING BAGS FOR ALL TREES. CHECK AND FILL WEEKLY. REFERENCE SPECIFICATION FOR TEMPORARY IRRIGATION FOR PLANT ESTABLISHMENT.
6. SEED ALL AREAS DISTURBED BY CONSTRUCTION WHETHER NOTED ON DRAWING OR NOT.

SEED TYPE A

SEEDS AS INDICATED BELOW BASED UPON ROOT REGION OF SHOULDER SEED MIXTURE

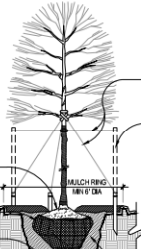
GRASSES	% OF MIX
PERENNIAL RYEGRASS	85
WESTERN WHEATGRASS	85
SLURRY WHEATGRASS	85
KENTUCKY BLUEGRASS	85
RED FESCUE	85
BLUE GRAMA	30
BUFFAL GRASS	80
REDROOT GRAMA	75
SAVING DROPSIDE	90
CATPAW	90

SOD TYPE A

THE SOD MIXTURE IS BASED ON LIMITED SEEDS "SUPER TURF" IF SEED MIXTURE IS NOT EQUAL TO BE ALLOWED IF APPROVED BY ARCHITECT/ENGINEER DURING THE BIDDING PROCESS

TREE PLANTING NOTES:

1. DO NOT REWET PLANT THE TREE AT PLANTING. PROHIBIT CROSSING LIMBS, CO-DOMINANT LEADERS, A BROKEN OR DEAD BRANCHES, OR INJURY TO THE TRUNK AND LATERAL BRANCHES MAY BE PRUNED. DO NOT REMOVE THE TERMINAL BUDS OF BRANCHES THAT EXTEND TO THE EDGE OF THE CROWN.
2. MAINTAIN THE NORTH SIDE OF THE TREE TO THE HURDLE, AND ROTATE TREE TO FACE NORTH AT THE SITE WHENEVER POSSIBLE. SET TOP OF ROOT BALL 1/2 INCHES HIGHER THAN SURROUNDING GRADE.
3. APPLY 1" MIN. WOOD MULCH. DO NOT PLACE MULCH IN DIRECT CONTACT WITH TREE TRUNK.
4. APPLY TREE WRAP TO TRUNK FROM THE SOIL UPWARD, SECURE WITH TAPE.
5. EACH TREE MUST BE PLANTED SUCH THAT THE TRUNK FLARE IS VISIBLE AT THE TOP OF THE ROOTBALL. TREES WHERE THE FLARE IS NOT VISIBLE SHALL BE REJECTED. DO NOT COVER THE TOP OF THE ROOT BALL WITH SOIL.
6. REMOVE ALL THINGS, ROPE, WIRE AND BURLAP FROM THE ROOT BALL AND REMOVE WIRE BARS.
7. PLACE ALL ROOT BALLS ON UNDISTURBED OR TAMPED SOIL TOP.



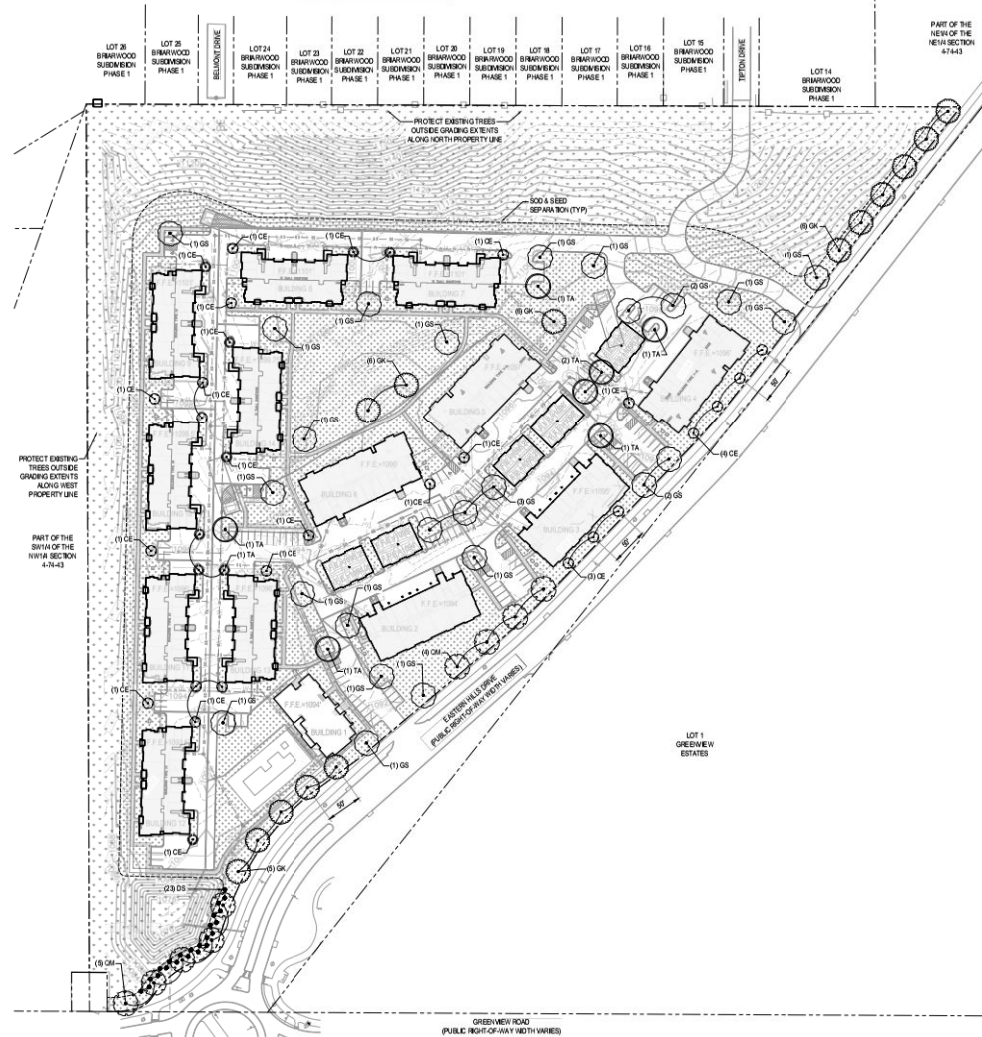
1 PLANTING INSTALLATION

SCALE: 1/2"=1'-0" (IN ALL SOIL TYPES)

PLANT SCHEDULE

CODE	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	HEIGHT	SPREAD	CANOPY	QTY	REMARKS
DECIDUOUS TREES									
CE	QUERCUS IMBRICATA 'NORWICH' SHADBLAW	SHADEMASTER HONEY LOCUST	7" CAL./8' HIGHT MIN.	600	12' HIGHT	4' SPREAD	3'	125	ARMY
OK	QUERCUS ALBA 'DURANT'	KENTUCKY COFFEE TREE	7" CAL./8' HIGHT MIN.	600	12' HIGHT	4' SPREAD	3'	10	ARMY
OK	QUERCUS ALBA 'DURANT'	SWAMP WHITE OAK	7" CAL./8' HIGHT MIN.	600	12' HIGHT	4' SPREAD	3'	10	DENSE
OK	QUERCUS ALBA 'DURANT'	AMERICAN LINDEN	7" CAL./8' HIGHT MIN.	600	12' HIGHT	4' SPREAD	3'	10	DENSE
EVERGREEN TREES									
OS	PRUNUS SPINOSA 'NANA'	SWAMP BERRY BRUSH	7" HIGHT MIN.	600	12' HIGHT	4' SPREAD	3'	125	
FLOWERING TREES									
CE	QUERCUS ALBA 'DURANT'	EASTERN REDBUD	7" CAL./8' HIGHT MIN.	600	12' HIGHT	4' SPREAD	3'	125	PRIN. ORNAMENTAL - BRIDGE VIEW
CE	QUERCUS ALBA 'DURANT'	JAPANESE TREE BERRY BUXLEAF	7" CAL./8' HIGHT MIN.	600	12' HIGHT	4' SPREAD	3'	10	BRIDGE VIEW

Attachment C



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Reno, Nevada
Portland, Oregon
Fort Collins, Colorado
Charleston, South Carolina

50% Design Review Submittal

Broadmoor Eastern Hills

Council Bluffs, IA
Review Submittal
CE No.: 372-003-25

April 1, 2025

DRAFT
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Site Landscape Plan

L1.01

SITE LANDSCAPE PLAN

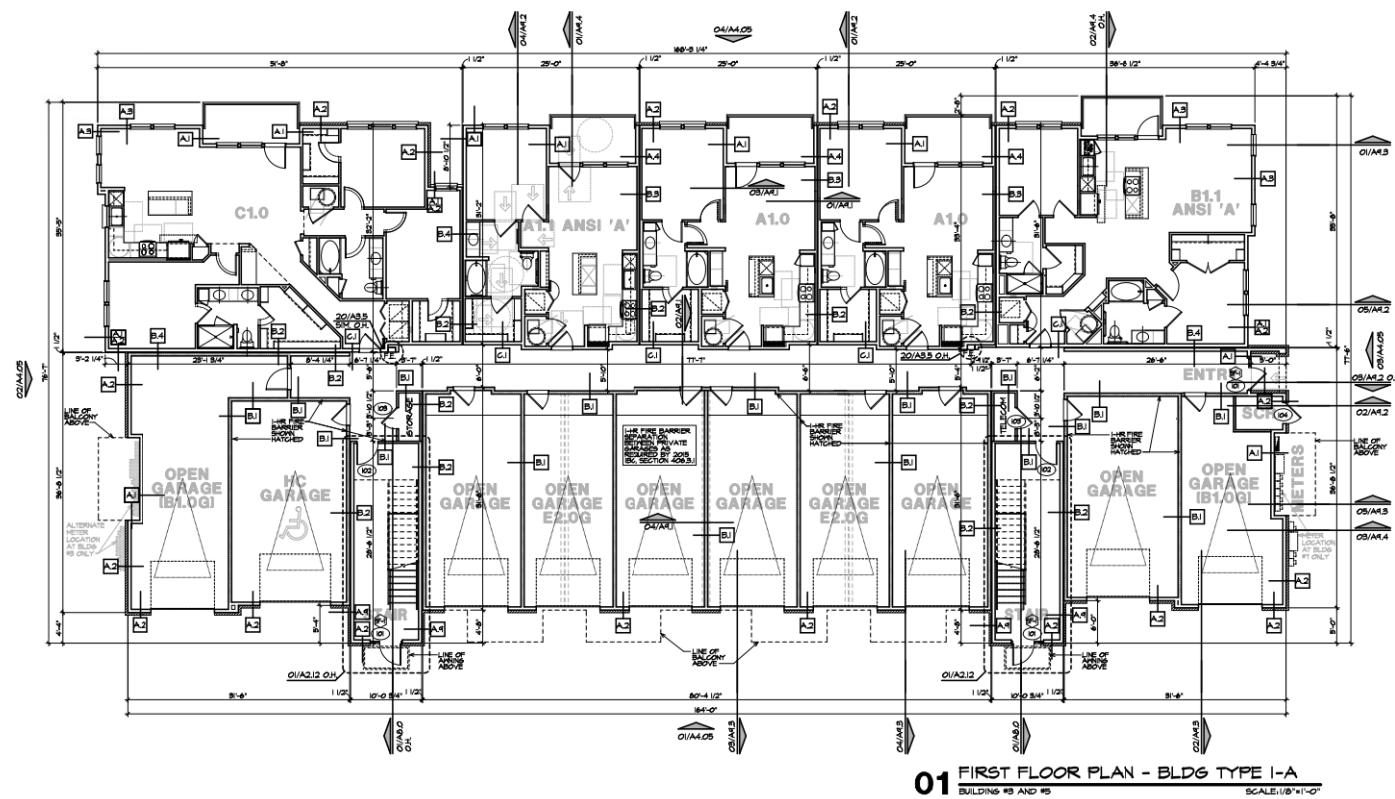
SCALE: 1"=40'

Attachment D

NOTES:

- INDICATES CENTERLINE OF PANDOR. REFER ELEVATION FOR PANDOR MARK.
- INDICATES CENTERLINE OF DOOR/STAIRWELL. REFER ELEVATION FOR STOREFRONT DOOR MARK.
- INDICATES HALL TYPE. REFER SHEET A10 FOR HALL TYPES.

- BUILDING PLAN NOTES**
- THESE DRAWINGS ARE TO BE USED FOR DIMENSIONAL CONTROL AND LAYOUT CONFIGURATION ONLY. REFER JNT PLANS FOR ADDITIONAL PLAN INFORMATION.
 - REFER TO CHIEF'S CIVIL ENGINEER DRAWINGS FOR MINIMUM NUMBER OF "CODE REQUIRED" ACCESSIBLE ENTRANCES INTO ALL APARTMENT BUILDING STRUCTURES. ALL IN FLOOR UNITS ARE TO BE ACCESSIBLE AND MUST BE ON AN ACCESSIBLE ROUTE.
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 - SPRINKLER CONTRACTOR TO SUBMIT DRAWINGS, CALCULATIONS AND SPECS TO THE FIRE MARSHALL'S OFFICE FOR PERMITTING AND REVIEWING. INCLUDING A PLAN SHOWING THE FIRE DEPARTMENT CONNECTION FOR EACH BUILDING. ALL APARTMENT BUILDINGS TO BE PROVIDED WITH A COMPLETE.
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 - REFER TO SHEET A10 FOR HALL TYPES.



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Project No. 24009

Drawn By: CL, HV, LB

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Broadmoor Eastern Hills
Council Bluffs, Iowa
Broadmoor Development

Womack+Hampton
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Fax: 319.263.2800



Sheet Number:

A4.01
FIRST FLOOR
BUILDING
TYPE I-A

BUILDING MATERIALS KEY	
	BRICK VENEER #1
	BRICK VENEER #2
	METAL RAILING, DOORS, AND ANNINGS
	CORRUGATED METAL
	FIBER CEMENT PANEL
	FIBER CEMENT LAP SIDING 1 SKY024 AGREEABLE GRAY
	FIBER CEMENT LAP SIDING 2 SKY060 ATTITUDE GRAY
	PRE-FINISHED LAP SIDING
	FIBER CEMENT TRIM 1
	FIBER CEMENT TRIM 2
	FIBER CEMENT TRIM 3
	PAVING



- ELEVATION NOTES**
1. BRICK PATTERN SHOWN IN THESE ELEVATIONS ARE FOR GRAPHICAL PURPOSES ONLY. THESE PATTERNS SHOULD NOT BE USED TO CALCULATE HORIZONTAL COURSE. LOCATE VERTICAL MORTAR JOINTS, ETC.
 2. APPROVED ADDRESS NUMBER SHALL BE POSTED ON BUILDING, VISIBLE FROM THE ROAD, IN COLORS THAT ARE OF SUFFICIENT CONTRAST TO BE EASILY SEEN.



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Broadmoor Development

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Sheet Number:
A4.05
BLDG TYPE I-A
EXTERIOR ELEVATIONS

BUILDING MATERIALS KEY	
	BRICK VENEER #1
	BRICK VENEER #2
	METAL RAILING, DOORS, AND ANNINGS
	CORRUGATED METAL
	FIBER CEMENT PANEL
	FIBER CEMENT LAP SIDING 1
	FIBER CEMENT LAP SIDING 2
	PRE-FINISHED LAP SIDING
	FIBER CEMENT TRIM 1
	FIBER CEMENT TRIM 2
	FIBER CEMENT TRIM 3
	FASCIA



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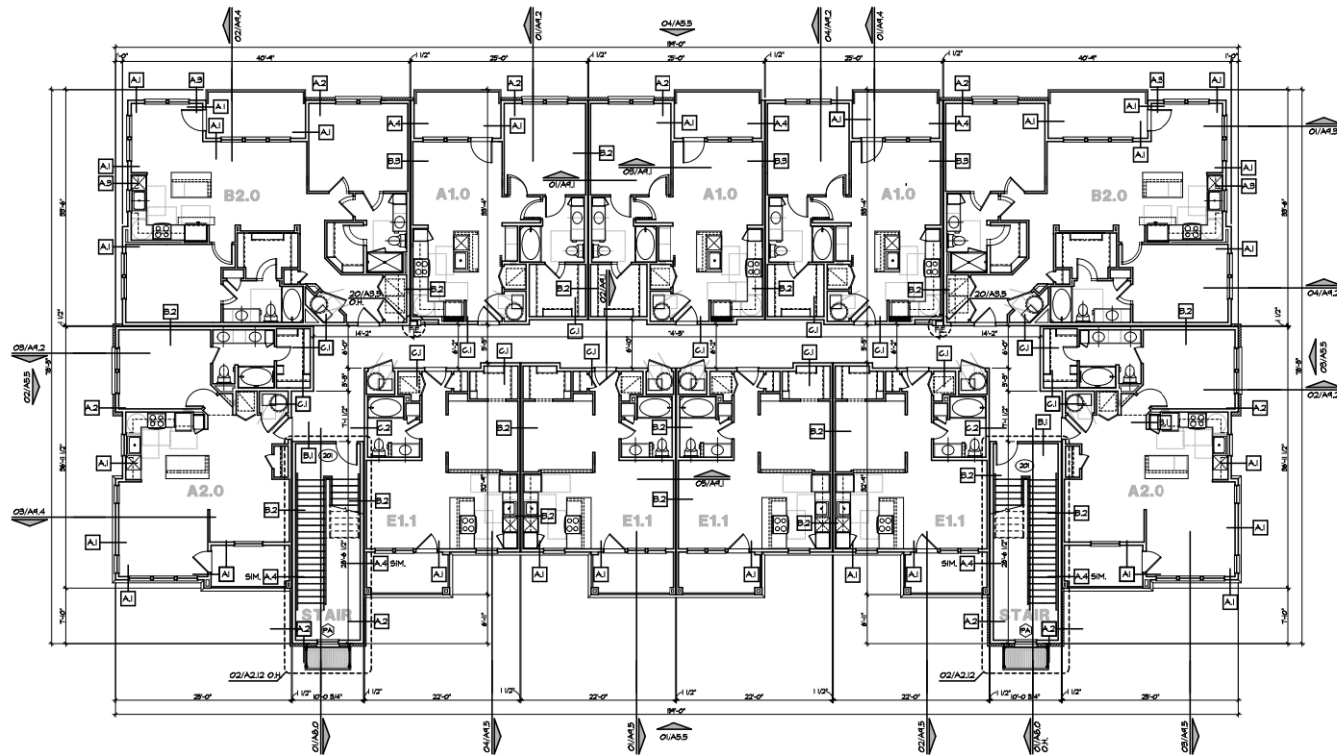
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Sheet Number:

A4.15
BLDG TYPE I-B
EXTERIOR ELEVATIONS



01 SECOND FLOOR PLAN - BLDG TYPE II
BUILDING #2 AND #3 SCALE: 1/8"=1'-0"

NOTES:

- INDICATES CENTERLINE OF WINDOW. REFER ELEVATION FOR WINDOW MARK.
- INDICATES CENTERLINE OF DOOR/STAIRWELL. REFER ELEVATION FOR DOOR/STAIRWELL MARK.
- INDICATES HALL TYPE. REFER SHEET A01 FOR HALL TYPES.

BUILDING PLAN NOTES

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- REFER TO SHEET A01 FOR HALL TYPES.

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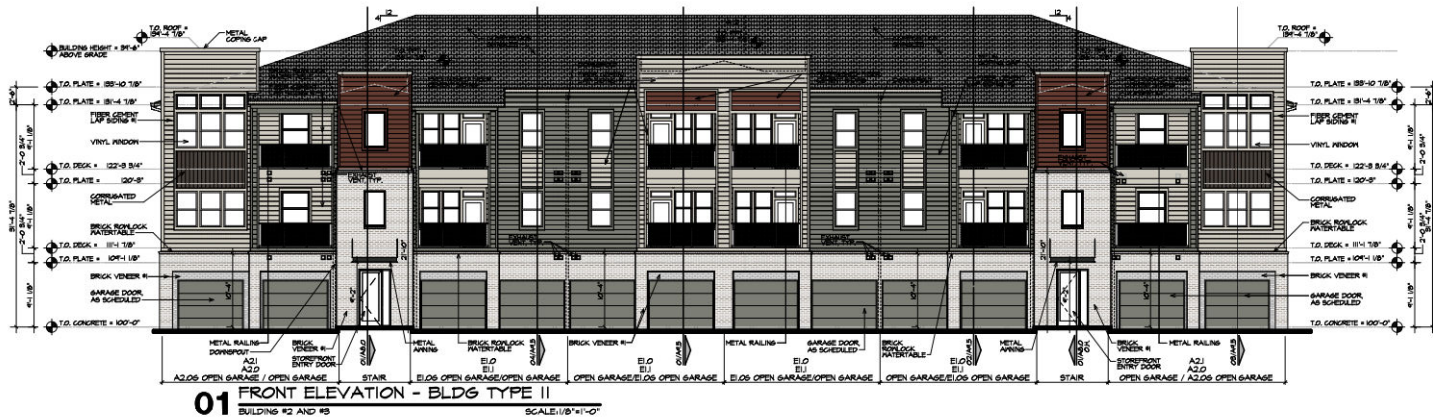
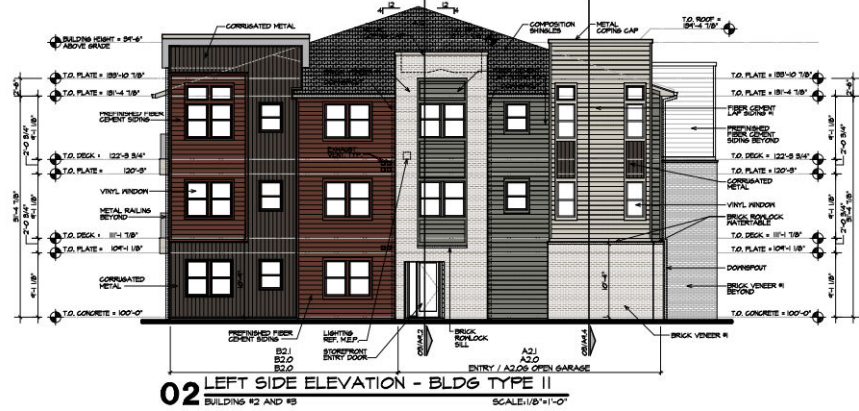
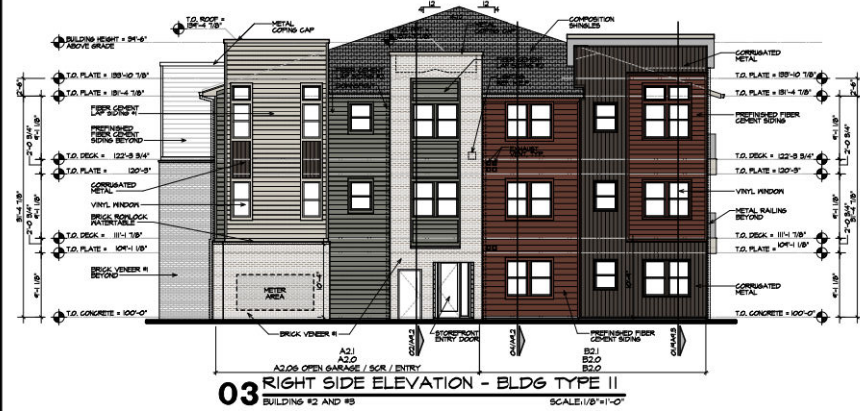
Broadmoor Eastern Hills
Council Bluffs, Iowa
Broadmoor Development

Womack+Hampton
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Council Bluffs, Iowa 52808
Phone: 712.333.1000



Sheet Number:
A5.2
SECOND FLOOR
BUILDING
TYPE II

BUILDING MATERIALS KEY	
	BRICK VENEER #1
	BRICK VENEER #2
	METAL RAILING, DOORS, AND ANNINGS
	CORRUGATED METAL
	FIBER CEMENT PANEL
	FIBER CEMENT LAP SIDING 1
	FIBER CEMENT LAP SIDING 2
	FIBER CEMENT LAP SIDING 3
	FIBER CEMENT TRIM 1
	FIBER CEMENT TRIM 2
	FIBER CEMENT TRIM 3
	FASCIA



- ELEVATION NOTES**
1. BRICK PATTERN SHOWN IN THESE ELEVATIONS ARE FOR GRAPHICAL PURPOSES ONLY. THESE PATTERNS SHOULD NOT BE USED TO CALCULATE HORIZONTAL COURSE, LOCATE VERTICAL MORTAR JOINTS, ETC.
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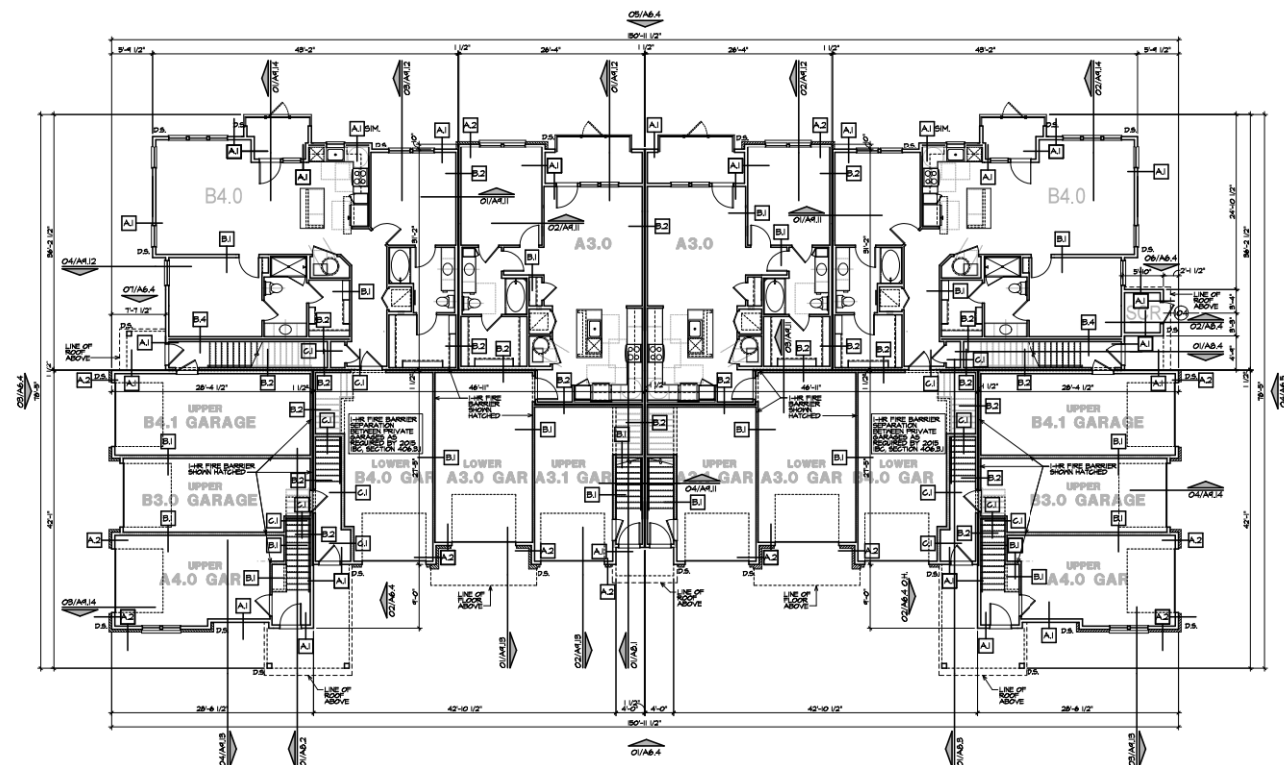
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402 Oak Lane, Suite 20
Council Bluffs, IA 52801
Phone: (562) 382-9600



Sheet: **A5.5** Number: **BLDG TYPE II ELEVATIONS**

- NOTES:**
- INDICATES CENTERLINE OF DOOR, REFER ELEVATION FOR DOOR MARK
 - INDICATES CENTERLINE OF WINDOW, REFER ELEVATION FOR WINDOW MARK
 - INDICATES CENTERLINE OF STONEFRONT, REFER ELEVATION FOR STONEFRONT MARK
 - INDICATES HALL TYPE, REFER SHEET A6J FOR HALL TYPES

- BUILDING PLAN NOTES**
1. THESE DRAWINGS ARE TO BE USED FOR DIMENSIONAL CONTROL AND LAYOUT COORDINATION ONLY. REFER JNT PLANS FOR ADDITIONAL PLAN INFORMATION.
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 6. FIRE ALARM CONTRACTOR TO SUBMIT SHOP DRAWINGS AND SPECIFICATIONS TO THE FIRE MARSHALL'S OFFICE FOR APPROVAL.
 7. PROVIDE DRY CHEMICAL FIRE EXTINGUISHERS IN CORRIDORS. COORDINATE NUMBERING AND FINAL LOCATION WITH FIRE MARSHALL.
 8. REFER STRUCTURAL ENGINEER'S DRAWINGS FOR THE SHEAR WALL LOCATIONS OF EACH BUILDING.
 9. REFER TO SHEET A6J FOR HALL TYPES.



01 FIRST FLOOR PLAN - BLDG TYPE III
BUILDINGS #1, #2, #3 AND #4 SCALE: 1/8"=1'-0"

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Project No. 24009

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Council Bluffs, Iowa
Broadmoor Development

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Sheet Number:

A6.1
FIRST FLOOR
BUILDING
TYPE III

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Phone: 562-222-9900



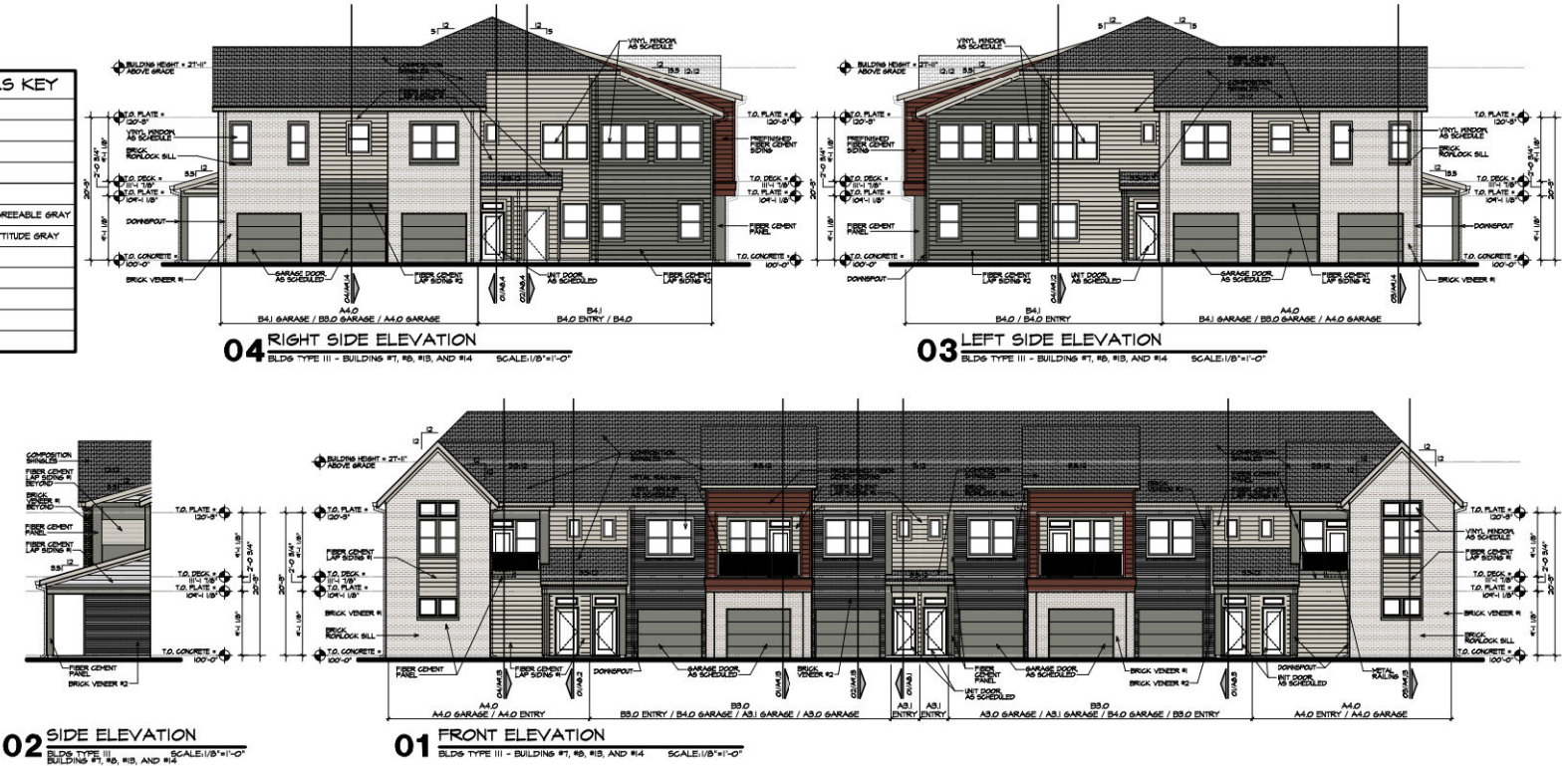
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A6.4
BLDG TYPE III
EXTERIOR ELEVATIONS



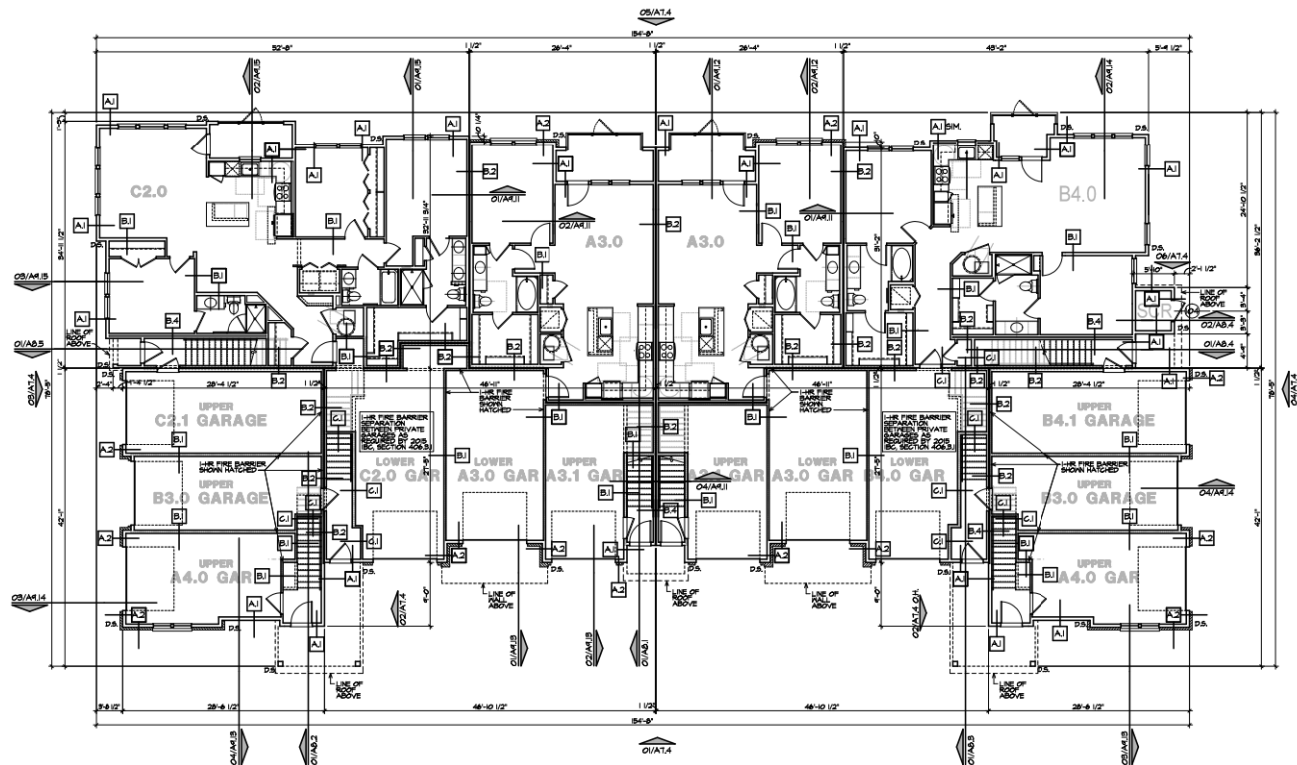
BUILDING MATERIALS KEY	
	BRICK VENEER #1
	BRICK VENEER #2
	METAL RAILING, DOORS, AND ANNINGS
	CORRUGATED METAL
	FIBER CEMENT PANEL
	FIBER CEMENT LAP SIDING 1 SINTON AGRICABLE GRAY
	FIBER CEMENT LAP SIDING 2 SINTON ATTITUDE GRAY
	FIBER CEMENT LAP SIDING 3
	FIBER CEMENT TRIM 1
	FIBER CEMENT TRIM 2
	FIBER CEMENT TRIM 3
	FASCIA

- ELEVATION NOTES**
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BUILDING PLAN NOTES

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- REFER STRUCTURAL ENGINEER'S DRAWINGS FOR THE SHEAR WALL LOCATIONS OF EACH BUILDING.
- REFER TO SHEET A01 FOR WALL TYPES.



01 FIRST FLOOR PLAN - BLDG TYPE IV
BUILDINGS #4, #10, #11 AND #12
SCALE: 1/8"=1'-0"

NOTES:

- INDICATES CENTERLINE OF DOOR. REFER ELEVATION FOR DOOR MARK.
- INDICATES CENTERLINE OF WINDOW. REFER ELEVATION FOR WINDOW MARK.
- INDICATES CENTERLINE OF STOREFRONT. REFER ELEVATION FOR STOREFRONT MARK.
- INDICATES WALL TYPE. REFER SHEET A01 FOR WALL TYPES.

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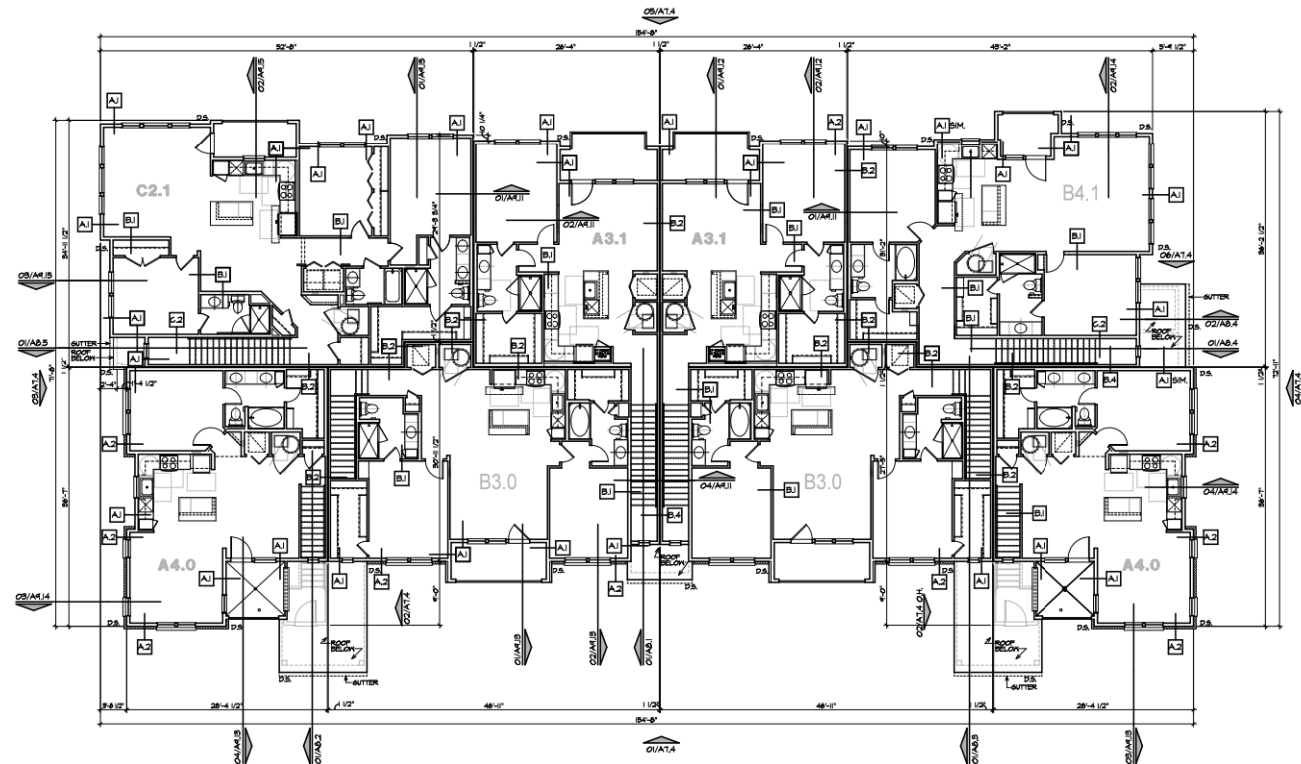
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Phone: 562-2022-9900
Fax: 562-2022-9900

Sheet Number:

A7.1
FIRST FLOOR
BUILDING
TYPE IV

- NOTES:**
- INDICATES CENTERLINE OF DOOR, REFER ELEVATION FOR DOOR MARK.
 - INDICATES CENTERLINE OF WINDOW, REFER ELEVATION FOR WINDOW MARK.
 - INDICATES CENTERLINE OF STONEFRONT, REFER ELEVATION FOR STONEFRONT MARK.
 - INDICATES HALL TYPE, REFER SHEET A4U FOR HALL TYPES.

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 8. REFER STRUCTURAL ENGINEER'S DRAWINGS FOR THE SHEAR WALL LOCATIONS OF EACH BUILDING.
 9. REFER TO SHEET A5D1 FOR HALL TYPES.



02 SECOND FLOOR PLAN - BLDG TYPE IV
BUILDINGS #4, #10, #11 AND #12 SCALE: 1/8"=1'-0"

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Project No. 240009

Drawn By: CL, HV, LB

ISSUE FOR PERMIT:

ISSUE FOR CONSTRUCTION:

Revisions:

Broadmoor Eastern Hills
Council Bluffs, Iowa
Broadmoor Development

Womack+Hampton
ARCHITECTS, L.L.C.
408 Oak Lane, Suite 200
Council Bluffs, Iowa 52801
Phone: 319.332.1800



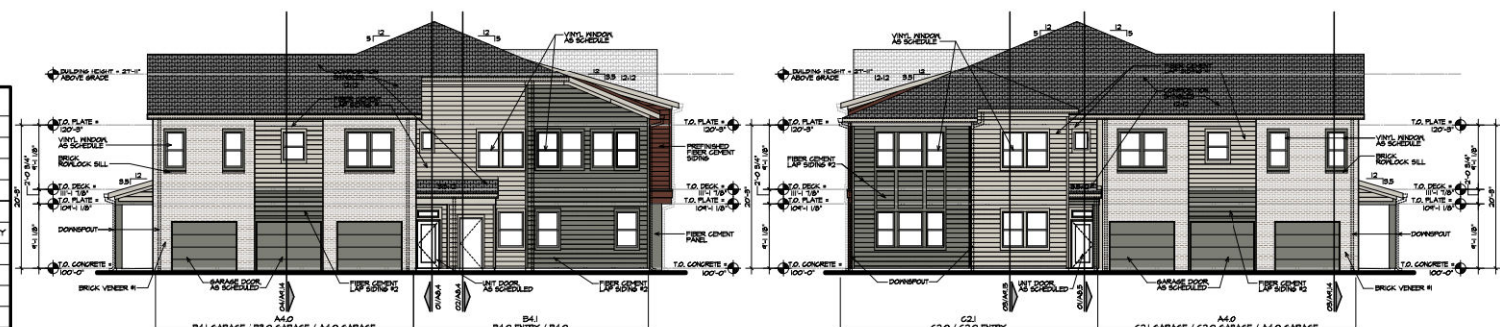
Sheet Number:

A7.2
SECOND FLOOR
BUILDING
TYPE IV



06 PARTIAL ELEV. - SCR
BLDG TYPE IV - BUILDINGS #4, #10, #11 AND #12
SCALE: 1/8"=1'-0"

05 REAR ELEVATION
BLDG TYPE IV - BUILDINGS #4, #10, #11 AND #12
SCALE: 1/8"=1'-0"



04 RIGHT SIDE ELEVATION
BLDG TYPE IV - BUILDINGS #4, #10, #11 AND #12
SCALE: 1/8"=1'-0"

03 LEFT SIDE ELEVATION
BLDG TYPE IV - BUILDINGS #4, #10, #11 AND #12
SCALE: 1/8"=1'-0"

BUILDING MATERIALS KEY	
BRICK VENEER #1	
BRICK VENEER #2	
METAL RAILINGS, DOORS, AND AWNINGS	
CORRUGATED METAL	
FIBER CEMENT PANEL	
FIBER CEMENT LAP SIDING 1	SH1024 AGREEABLE GRAY
FIBER CEMENT LAP SIDING 2	SH1060 ATTITUDE GRAY
TRIFINISHED LAP SIDING	
FIBER CEMENT TRIM 1	
FIBER CEMENT TRIM 2	
FIBER CEMENT TRIM 3	
FASCIA	

ELEVATION NOTES

1. BRICK PATTERN SHOWN IN THESE ELEVATIONS ARE FOR GRAPHICAL PURPOSES ONLY. THESE PATTERNS SHOULD NOT BE USED TO CALCULATE HORIZONTAL COURSING, LOCATE VERTICAL MORTAR JOINTS, ETC.
2. APPROVED ADDRESS NUMBER SHALL BE POSTED ON BUILDING, VISIBLE FROM THE ROAD, IN COLORS THAT ARE OF SUFFICIENT CONTRAST TO BE EASILY SEEN.



02 SIDE ELEVATION
BLDG TYPE IV - BUILDINGS #4, #10, #11 AND #12
SCALE: 1/8"=1'-0"

01 FRONT ELEVATION
BLDG TYPE IV - BUILDINGS #4, #10, #11 AND #12
SCALE: 1/8"=1'-0"

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Project No. 24009

Drawn By: CL, HV, LB

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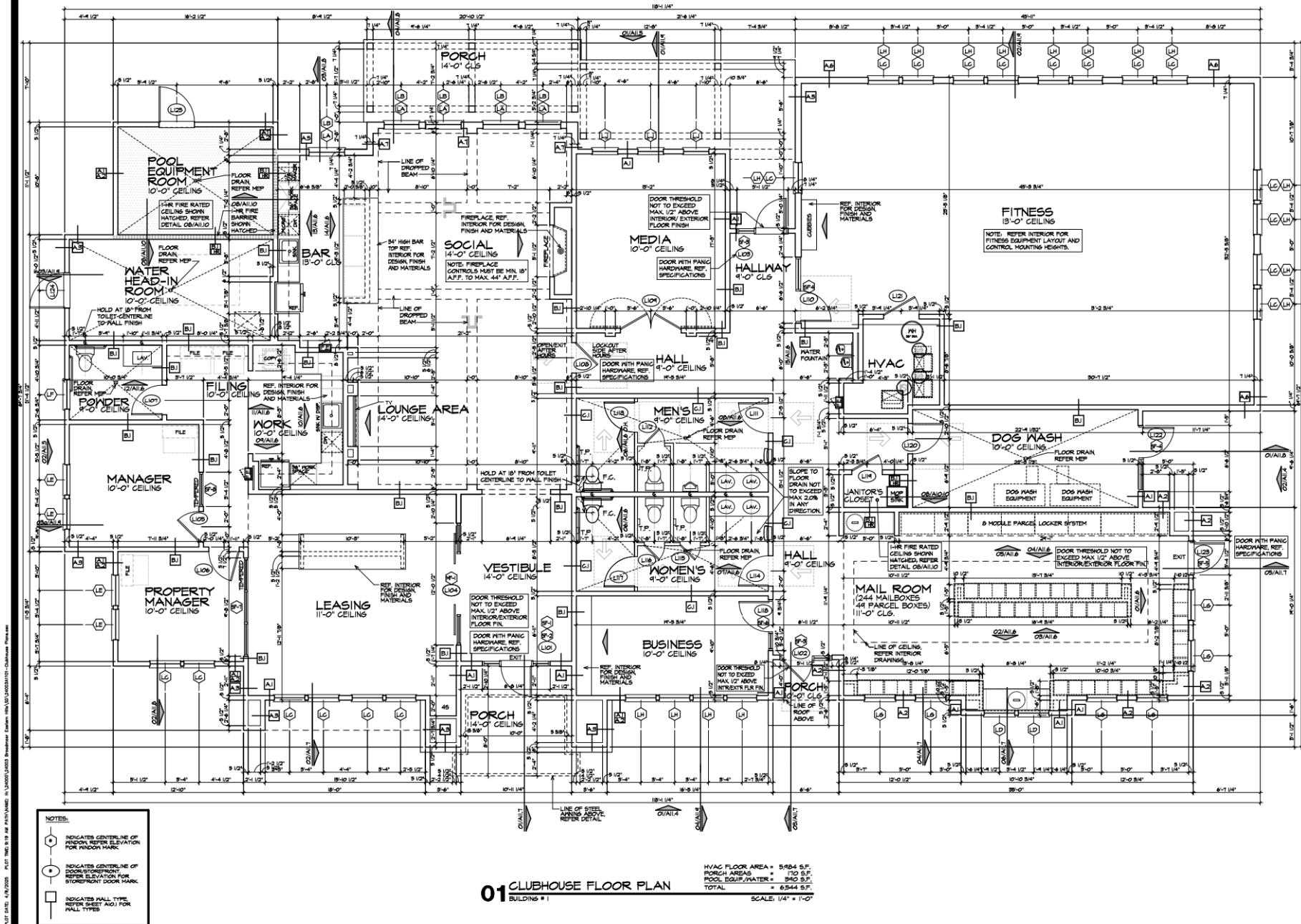
Broadmoor Eastern Hills
Council Bluffs, Iowa
Broadmoor Development

Womack+Hampton
ARCHITECTS, L.L.C.
438 Oak Lane, Suite 200
Council Bluffs, IA 52801
Phone: 712.325.2800
Fax: 712.325.2801



Sheet Number:

A7.4
BLDG TYPE IV
EXTERIOR
ELEVATIONS



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Project No.
24008

Drawn By:
CL, HV, LB

ISSUE FOR PERMIT:

ISSUE FOR CONSTRUCTION:

Revisions:

Broadmoor Eastern Hills
Council Bluffs, Iowa
Broadmoor Development

Womack+Hampton
ARCHITECTS, L.L.C.
452 Oak Lane, Suite 20
Des Moines, Iowa 50319
Phone: 515.281.4500
Fax: 515.281.4501



Sheet Number:

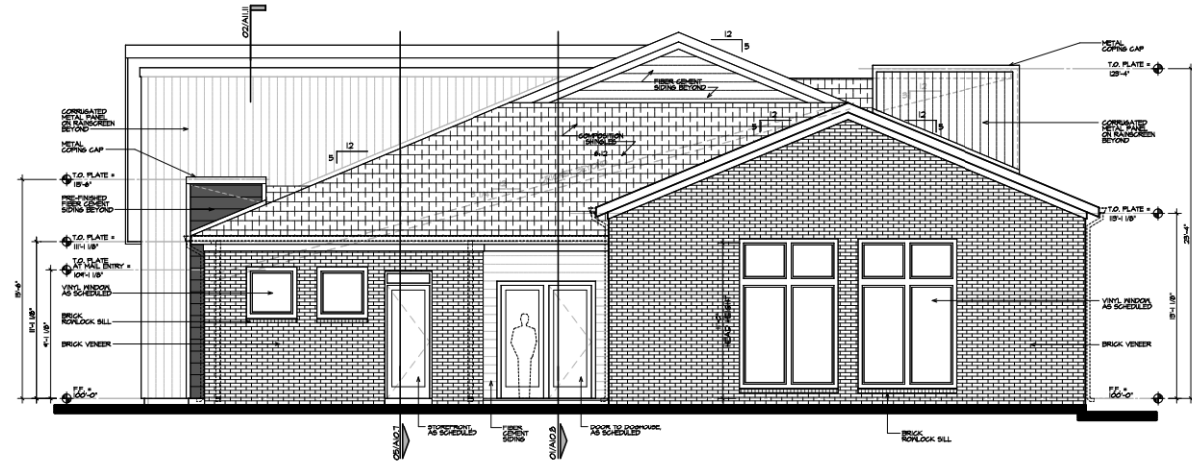
A11.2
CLUBHOUSE FLOOR PLAN

ELEVATION NOTES

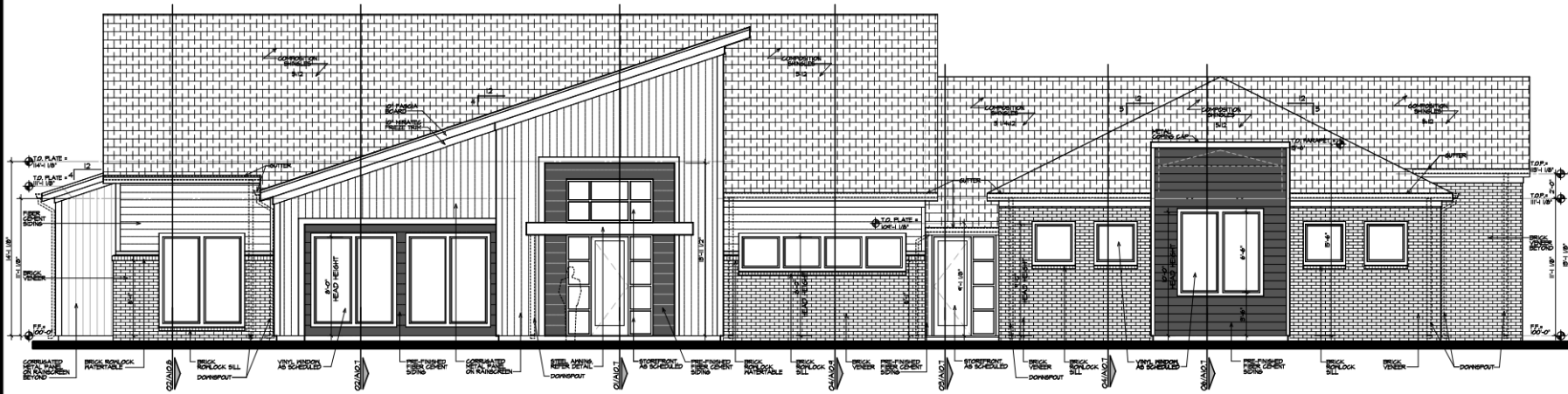
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2. APPROVED ADDRESS NUMBER SHALL BE POSTED ON BUILDING, VISIBLE FROM THE ROAD, IN COLORS THAT ARE OF SUFFICIENT CONTRAST TO BE EASILY SEEN.

BUILDING MATERIALS KEY

	BRICK VENEER #1
	BRICK VENEER #2
	METAL RAILING, DOORS, AND ANNINGS
	CORRUGATED METAL
	FIBER CEMENT PANEL
	FIBER CEMENT LAP SIDING 1
	FIBER CEMENT LAP SIDING 2
	PRE-FINISHED LAP SIDING
	FIBER CEMENT TRIM 1
	FIBER CEMENT TRIM 2
	FIBER CEMENT TRIM 3
	FASCIA



02 RIGHT SIDE ELEVATION



01 FRONT ELEVATION

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Project No. 240008

Drawn By: CL, HV, LB

ISSUE FOR PERMIT:

ISSUE FOR CONSTRUCTION:

Revisions:

Broadmoor Eastern Hills
Council Bluffs, Iowa
Broadmoor Development

Womack+Hampton
ARCHITECTS, L.L.C.
1000 Oak Lane, Suite 100
Council Bluffs, Iowa 52808
Phone: 712.333.1800



Sheet Number:

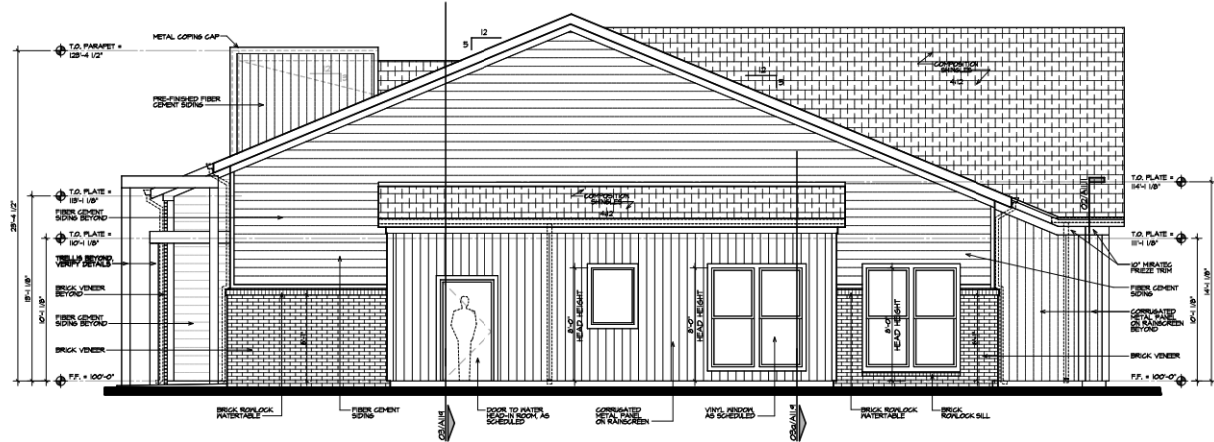
A11.4
CLUBHOUSE
EXTERIOR
ELEVATIONS

ELEVATION NOTES

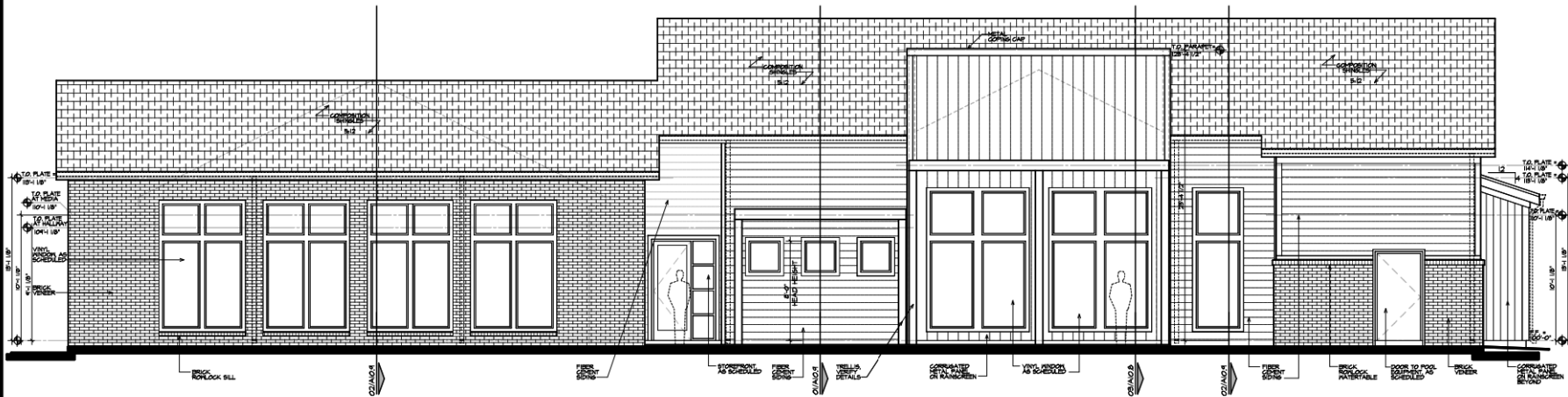
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BUILDING MATERIALS KEY

BRICK VENEER #1	
BRICK VENEER #2	
METAL RAILING, DOORS, AND ANNINGS	
CORRUGATED METAL	
FIBER CEMENT PANEL	
FIBER CEMENT LAP SIDING 1	SH1024 AGREEABLE GRAY
FIBER CEMENT LAP SIDING 2	SH1060 ATTITUDE GRAY
PRE-FINISHED LAP SIDING	
FIBER CEMENT TRIM 1	
FIBER CEMENT TRIM 2	
FIBER CEMENT TRIM 3	
FASCIA	



02 LEFT SIDE ELEVATION
SCALE: 1/8"=1'-0"



01 REAR ELEVATION
SCALE: 1/8"=1'-0"

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Project No. 240009

Drawn By: CL, HV, LB

ISSUE FOR PERMIT:

ISSUE FOR CONSTRUCTION:

Revisions:

Broadmoor Eastern Hills
Council Bluffs, Iowa
Broadmoor Development

Womack+Hampton
ARCHITECTS, L.L.C.
Chad C. Lewis, Architect
Iowa Reg. No. 20705
Phone: 562-222-9900
Fax: 562-222-9900



Sheet Number:

A11.5
CLUBHOUSE
EXTERIOR
ELEVATIONS

April 15, 2025

Christopher Gibbons
Community Development
City of Council Bluffs
209 Pearl Street, Council Bluffs, IA 51503

RE: Broadmoor Eastern Hills Apartments

Mr. Gibbons:

Attached are recent photos from Broadmoor's project at 27th and Rokeby Road in Lincoln, NE. Building Types I, II, and the Clubhouse which was used for the Lincoln project will also be used for this project at Eastern Hills. The photos are attached with this application to show examples of the finished buildings.










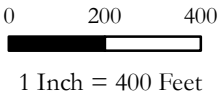
CITY OF COUNCIL BLUFFS

CASE #PR-25-002 LOCATION/ZONING MAP

Attachment E

Legend

-  Council Bluffs (City Boundary)
-  PR-25-002 Subject Property
-  Parcels

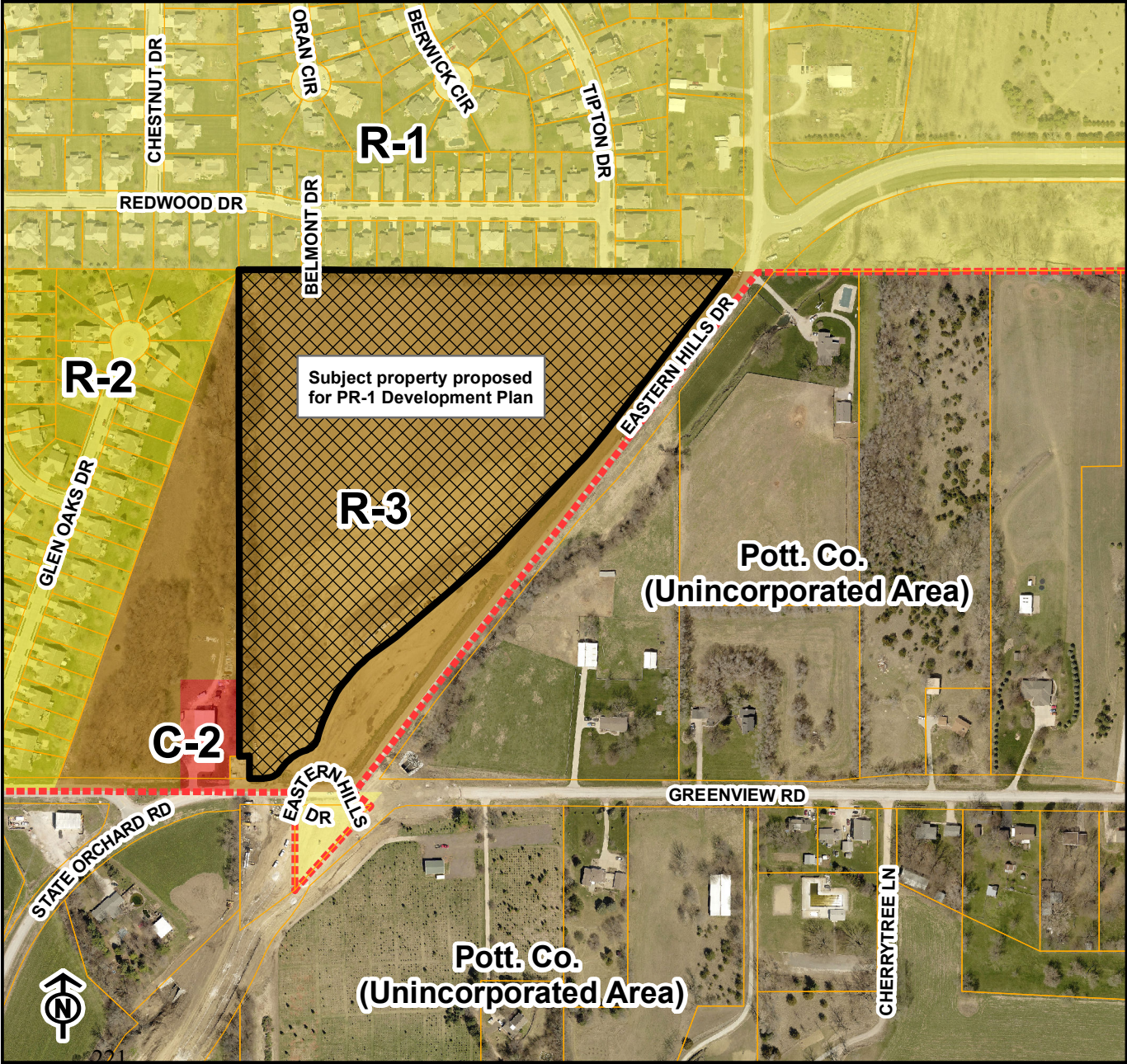


Last Amended: 4/18/25



Council Bluffs Community
Development Department
209 Pearl Street
Council Bluffs, IA 51503
Telephone: (712) 890-5350

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Christopher Gibbons

From: Tyler O'Brien <tylerjobrien@gmail.com>
Sent: Monday, May 5, 2025 3:11 PM
To: Roger Sandau; Steven Gorman; Joe Disalvo; Jill Shudak; Matt Walsh; Courtney Harter; Christopher Gibbons; Chris Peterson
Subject: Broadmoor Development

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Dear Legacy Makers,

My wife and I have lived at 729 Redwood Drive since 2001 and unfortunately our property line abuts the proposed Broadmoor development along Eastern Hills Drive. In that time, we've seen a lot of change—some welcome, some deeply concerning.

For the past four years, Morris Excavating has openly violated city code and requests while removing dirt from the Hwy 92 Partnership land, generating daily dust clouds without consequence. Even on days they're not working the open pit covers our homes and yards with a thick layer of dust preventing any of us from enjoying our yards and patios. It's troubling that a private business and landowners can operate this way, totally unchecked.

Now we contend with Eastern Hills Drive, which functions more like a quarter-mile raceway than a "neighborhood" street. Speeding cars, often in pairs, literally race between the city park and State Orchard Drive. It's only a matter of time before a tragic accident happens at the playground.

Against this backdrop, the proposed Broadmoor apartment complex would bring even more risk and disruption. This project introduces excessive density (**14 buildings!**) into an area that has always been intended for low-density, rural-style living. It would reduce privacy, erode the safety and character of our neighborhoods and dramatically increase traffic. I don't understand why there would be a connection made to Tipton drive, especially with the elevation gain?

We are not opposed to growth, but it must be responsible and consistent with the surrounding area. Townhomes or single-family homes would make far more sense and create a natural zoning transition. Apartments belong in areas already designed for high-density use, like those proposed at Metro Crossing, not directly bordering neighborhoods like Briarwood.

There are already multiple apartment projects underway in Council Bluffs. If more apartments are truly needed on the outskirts of the city, consider reviving the original zoning plans for the Hills of Cedar Creek instead of forcing density into open space adjacent to long-standing neighborhoods where there never was a master plan like the Duggans' had with Hills of Cedar Creek.

Finally, I attended the contentious Whispering Oaks public meetings and saw firsthand how residents were dismissed by city officials, developers, and their attorneys. It was clear: public input was treated as a formality. However, it was also interesting to see the "inner workings" of how Forest Glen won their apartment zoning fight. Like Forest Glen, I hope the residents of Briarwood will be treated fairly with this project.

All of you hold the power to shape the future of our community—not just for today, but for decades to come.

We strongly urge you to reject this proposal and demand a smarter, more respectful plan for this land—one that reflects the values and scale of the neighborhood communities that surround it.

Tyler and Karol O'Brien

Christopher Gibbons

From: Sara Faris <sara.faris1@gmail.com>
Sent: Monday, May 5, 2025 12:05 PM
To: Christopher Gibbons
Subject: Briarwood HOA Concerns

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I am writing on behalf of Briarwood HOA to express all HOA residents' strong opposition to the proposed development of multi-unit apartment buildings within close proximity to our neighborhood. While we recognize the importance of addressing local housing needs, this specific project poses several serious concerns that we believe would negatively impact our community's character, safety, and long-term wellbeing.

1. Incompatibility with Established Neighborhood Character

Our community consists of single-family homes that reflect a cohesive architectural style and quiet residential atmosphere. Placing high-density apartment complexes so close to our property line would disrupt this established identity and introduce a sharp and abrupt contrast to the neighborhood's intended design.

2. Increased Transient Residency and Reduced Community Cohesion

Multi-unit apartments typically see higher turnover rates, which could hinder the sense of long-term investment and neighborly connection that has been carefully cultivated in our HOA. Frequent resident changes often lead to less community accountability and involvement, weakening the social fabric of the area.

3. Loss of Privacy and Potential Security Concerns

The proposed buildings' height and proximity would directly compromise the privacy of adjacent homeowners. Residents could be subjected to views into their homes and backyards, along with increased activity levels directly behind their properties. This raises concerns about personal security and diminishes the peaceful environment many moved here to enjoy.

4. Negative Impact on Property Values

Introducing dense rental housing so close to single-family homes risks devaluing nearby properties. Prospective homebuyers may be deterred by the lack of buffer between high-density living and private residences, leading to reduced demand and potential financial loss for current homeowners.

5. Inadequate Buffer and Poor Transition Between Zoning Types

The proposed development fails to provide a meaningful buffer or thoughtful transition between high-density residential and low-density, owner-occupied housing. Best practices in urban planning encourage gradual zoning changes to protect the character of established communities. Without such a transition, the development risks creating conflict and diminishing the quality of life for nearby residents.

We respectfully urge the Planning and Zoning Commission to reevaluate this proposal and consider alternate locations that are more appropriately zoned or planned for high-density use. We welcome growth that aligns with thoughtful, long-term planning and protects the character and quality of life in existing neighborhoods like ours.

Thank you for your time and consideration.

Sara Faris
Briarwood HOA Board

Christopher Gibbons

From: info <info@briarwoodcb.org>
Sent: Friday, May 2, 2025 9:09 AM
To: Christopher Gibbons
Subject: Proposed Residential Development Plan Case #-PR-25-002

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Community Development Department
Christopher Gibbons
CGibbons@CouncilBluffs-IA.Gov

May 2, 2025

This letter is from the Briarwood HOA Board. We are directly north of the proposed area for the 231-unit apartment community.

Introducing dense rental housing so close to single-family homes risks devaluing nearby properties. Prospective homebuyers may be deterred by the lack of buffer between high-density living and private residences, leading to reduced demand and potential financial loss for current homeowners.

We respectfully urge the Planning and Zoning Commission to reevaluate this proposal and consider alternate locations that are more appropriately zoned or planned for high-density use. We welcome growth that aligns with thoughtful, long-term planning and protects the character and quality of life in neighborhoods like ours.

Regardless of the outcome of this decision, the city must mandate that contractors implement significantly improved measures to contain and manage the dirt associated with the project. Over recent years, as dirt was removed from the property, Briarwood Homes have consistently become covered with a persistent layer of dirt. Despite numerous attempts to address this issue through the City of CB, no adequate corrective action has been taken. Such neglect is entirely unacceptable and must not occur again. One can only imagine that city officials would be equally opposed to their own homes being subjected to years of persistent dirt coverage. At the very least, the developer must be required to keep the dirt and dust to a minimum, ensuring that residents can continue to enjoy their yards in a clean and healthy environment.

Thank you for your time and consideration.

Briarwood HOA Board

Tom Quigley
President Briarwood HOA Board
712.310.1102
Info@Briarwoodcb.org

Attachment I

Christopher Gibbons

From: Teri Price <teriprice4@gmail.com>
Sent: Saturday, May 3, 2025 7:24 AM
To: Christopher Gibbons
Subject: Eastern Hills Drive and Greenview Road Development

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My name is Teri Price and I live at 715 Redwood Drive in Council Bluffs. I recently received a letter regarding the new development at the intersection of Eastern Hills Drive and Greenview Road. The back side of my property sits along the North side of the proposed complex. I have a couple of concerns that I want to bring up regarding the development of the property.

- The first thing I want to address is that for the past two summers, the dust has been horrible to contend with. There is so much dust flying around that my deck and backyard are almost unusable. My deck furniture has been ruined because of the mess that was created. I am hoping that you will ensure that the dust is kept to a minimum during this large development project.
- The second point I want to bring up is regarding the tree line that runs on the North side of the property. I see that the proposal states to “try to protect” the existing trees. My question then is will there be any cleanup of that area? The trees along that line are volunteer trees that have never been maintained. There are dead trees and branches covering the entire area. There is an old barbed wire fence that runs along the hill that should be removed. The minimum should be cleaning up the area to remove the dead trees and branches. However, the best solution might be to replace the existing trees with hearty trees that will be maintained and kept free of litter and dead branches going forward.

I sincerely hope that Broadmoor Development will be good neighbors by cleaning up the property and keeping the trees maintained.

Teri Price
715 Redwood Drive
Council Bluffs, IA 51503

Christopher Gibbons

From: Laura Bahrke <laura.nickman@gmail.com>
Sent: Friday, May 9, 2025 9:52 PM
To: Christopher Gibbons; Aaron Nickman; Tom Quigley
Subject: Case PR-25-002

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In regards to this case, as a resident of the Briarwood neighborhood 1519 Tipton Dr. I would like to share why I greatly oppose this multi development apartment complex.

I oppose due to the fact that the city wants to add traffic to an already dangerous Tipton Drive. Our house sits on this road and the current traffic passes too fast as is. Adding additional traffic will pose a safety threat to our neighborhood and more importantly our children.

I also oppose this complex due to the fact that traffic in this area is already difficult during school hours. Adding more cars to the congestion on State Orchard and Hwy 92 is not well planned.

I oppose this complex due to the need to continue to keep our community safe. We currently watch out for all children in our neighborhood and children freely use our walkways, adding in short term housing increases the risk of safety.

RESOLUTION NO. 25-156

A RESOLUTION TO ADOPT A PR-1/PLANNED RESIDENTIAL DEVELOPMENT PLAN FOR A MULTI-FAMILY RESIDENTIAL DEVELOPMENT ON PROPERTY LEGALLY DESCRIBED AS BEING PART OF THE SE1/4 NE1/4 OF SECTION 4-74-43, CITY OF COUNCIL BLUFFS, POTTAWATTAMIE COUNTY, IOWA.

WHEREAS, Broadmoor Development is requesting adoption of the planned residential development plan on undeveloped land legally described above and generally located at the northwest corner of the intersection of Eastern Hills Drive and Greenview Road; and

WHEREAS, All comments received and further discussion is outlined in the City Council Communication report and its Attachments; and

WHEREAS, The Community Development Department recommends approval of the request of Broadmoor Development, represented by Bob Stratton, to adopt a PR-1/Planned Residential Development Plan for a 231-unit multi-family residential development on property legally described as being part of the SE1/4 NE1/4 of Section 4-74-43, City of Council Bluffs, Pottawattamie County, Iowa, subject to the comments stated in the City Council Communication report and the following condition:

- A. The PR-1/Planned Residential development plan shall become effective upon the applicant/developer purchasing the subject property; and
- B. Any modifications to the approved development plan which substantially alter the design, layout, configuration, and/or appearance of the project shall be reviewed the City Planning Commission and approved by City Council prior to such changes being made. All minor modifications to the adopted development plan may be administratively approved by the Community Development Director.

**NOW, THEREFORE, BE IT RESOLVED
BY THE CITY COUNCIL
OF THE
CITY OF COUNCIL BLUFFS, IOWA**

That the request to adopt a PR-1/Planned Residential Development Plan for a 231-unit multi-family residential development on property legally described as being part of the SE1/4 NE1/4 of Section 4-74-43, City of Council Bluffs, Pottawattamie County, Iowa, is hereby approved.

ADOPTED AND APPROVED

June 9, 2025.

MATTHEW J. WALSH

Mayor

Attest:

JODI QUAKENBUSH

City Clerk

Council Communication

Department: Community Development
Case/Project No.:
Submitted by: Courtney Harter, Director,
Community Development Department

Resolution 25-157
ITEM 7.H.

Council Action: 6/9/2025

Description Resolution authorizing a joint application to the Iowa Economic Development Authority (IEDA) for Workforce Housing Tax Incentive Program benefits.
--

Background/Discussion See attached staff report.
--

Recommendation

ATTACHMENTS:

Description	Type	Upload Date
Staff Report	Staff Report	5/30/2025
Resolution 25-157	Resolution	6/4/2025

Council Communication

Department: Community Development	Ordinance No.: N/A	City Council: 6-9-2025
Case/Project No.:	Resolution No.: 25-	
Subject/Title		
Resolution of support the Treehouse application to the Workforce Housing Tax Incentive Program through the Iowa Economic Development Authority		
Location		
Various		
Background/Discussion		
<p><u>Background</u></p> <p>The State of Iowa established the Workforce Housing Tax Incentive Program (WHTIP) pursuant to Iowa Code Section 15.106A and the 2014 Iowa Acts, House File 2448, Section 18. The purpose of the program is to assist the development of workforce housing in Iowa communities by providing incentives for housing projects that are targeted towards middle-income households and that focus on the redevelopment or repurposing of existing structures. Previously, the program was first come, first serve but was changed to a competitive cycle in 2020.</p> <p>To receive workforce housing tax incentives pursuant to the program, a proposed housing project shall include at least one of the following:</p> <ol style="list-style-type: none"> (1) Four or more single-family dwelling units. (2) One or more multiple dwelling unit buildings each containing three or more individual dwelling units. (3) Two or more dwelling units located in the upper story of an existing multi-use building. <p>The average dwelling unit cost cannot exceed \$310,000 per single-family dwelling unit or \$230,000 per multi-family dwelling unit if the project involves the rehabilitation, repair, redevelopment or preservation of eligible property. This limitation only applies to those costs that are directly attributable to the improvement of the property or the structures and is defined in the Iowa Administrative Code.</p> <p>Additionally, the WHTIP requires a city match pledge for each housing project in an amount equal to at least \$1,000 per dwelling unit, in the form of cash, cash equivalent, a local property tax exemption, rebate, refund or reimbursement.</p> <p><u>Discussion</u></p> <p>Knudson Development wishes to apply for tax credits on its Phase I Treehouse project located 33rd and 1st Avenue. The proposed project will create approximately 86 market rate multi-family units. All units will have a construction price that is consistent with the requirements set forth by the State of Iowa. The City has a development agreement in place to provide tax increment financing (TIF) to meet the required local match.</p> <p>Based on review of the request, the project meets the requirements for Workforce Housing Tax Incentive Program benefits. As a result, each applicant is eligible for the following benefits: 10% investment tax credit and 100% rebate of state sales and utility use taxes.</p>		
Staff Recommendation		
The Community Development Department recommends approval of the Workforce Housing Tax Incentive Program Treehouse Phase II application submitted by Knudson Development.		

RESOLUTION NO. 25-157

RESOLUTION OF THE CITY COUNCIL OF THE CITY OF COUNCIL BLUFFS AUTHORIZING A JOINT APPLICATION TO THE IOWA ECONOMIC DEVELOPMENT AUTHORITY (IEDA) BY THE CITY OF COUNCIL BLUFFS AND KNUDSON DEVELOPMENT FOR WORKFORCE HOUSING TAX INCENTIVE PROGRAM (WHTIP) BENEFITS.

- WHEREAS,** the State of Iowa established the Workforce Housing Tax Incentive Program (WHTIP) pursuant to Iowa Code Section 15.106A and the 2014 Iowa Acts, House File 2448, Section 18; and
- WHEREAS,** the purpose of the program is to assist the development of workforce housing in Iowa communities by providing incentives for housing projects that are targeted at middle-income households and that focus on the redevelopment or repurposing of existing structures; and
- WHEREAS,** Knudson Development proposes to construct Phase II of its Treehouse Development which includes an 86-unit multi-family development that will provide market rate housing opportunities and has requested WHTIP benefits; and
- WHEREAS,** the projects are eligible for WHTIP under the category of “new construction, rehab, repair, or redevelopment of dwelling units in a greyfield site;” and
- WHEREAS,** the property is generally located at the intersection of South 33rd Street and 1st Avenue and legally described Lot 3, Mainline Subdivision;
- WHEREAS,** the average dwelling unit cost equals the costs directly related to the housing project divided by the total number of dwelling units in the housing project and does not exceed \$250,000 per dwelling unit for building rehabilitation; and
- WHEREAS,** the developer certifies that their units when completed and made available for occupancy will meet housing quality standards and all applicable local safety standards; and
- WHEREAS,** the City of Council Bluffs commits to local matching funds of \$1,000 cash per dwelling unit, as required by the program through Urban Revitalization tax abatement; and
- WHEREAS,** after review and consideration of the request, the City of Council Bluffs has determined that the Arch Icon project meets the requirements to qualify for benefits.

**NOW, THEREFORE, BE IT RESOLVED
BY THE CITY COUNCIL
OF THE
CITY OF COUNCIL BLUFFS, IOWA**

Section 1.0 The City Council declares the application submitted by 34th Street Holdings, LLC (Knudson Development) an eligible entity for WHTIP benefits.

Section 2.0 The City Council approves the Knudson Development request for a 10% state investment tax credit and a 100% rebate of sales and utility use taxes subject to the entity entering into an agreement with the City. The tax credit, if not entirely used during the first year, can be carried over and applied against state tax liability for the next seven years or until depleted, whichever occurs first.

Section 3.0 The Mayor is hereby authorized to take such further actions as deemed necessary in order to carry into effect the provisions of this resolution.

Section 4.0 The provisions of this resolution shall be governed by the laws of the State of Iowa.

Section 5.0 That all resolutions and parts thereof in conflict therewith are hereby repealed to the extent of such conflict.

Section 6.0 That the provisions of this resolution are hereby declared to be separable and if any section, phrase, or provision shall be any reason be declared to be invalid, such declaration shall not affect the validity of the remainder of the sections, phrases and provisions hereof.

Section 7.0 That the approval of any and all WHTIP benefits is contingent upon the project meeting all other applicable City codes and ordinances.

Section 8.0 That this resolution shall become effective immediately upon its passage and approval.

ADOPTED
AND
APPROVED:

June 9, 2025

Matthew J. Walsh

Mayor

ATTEST:

Jodi Quakenbush

City Clerk

Exhibit A
Legal Description

A parcel of land being all of Lots 9, 10, 18, 19, 20, 21 and 22, a portion of Lots 7, 8, 11, 12, 13, 16, 17, 23, 24 and 25 in Block 14, a portion of Lots 16, 17, 18 and 19 in Block 19, all of the vacated alley's in said Block 14 and all of vacated 22nd Avenue right-of-way lying within the following described parcel, all in Hughes and Doniphan's Addition, City of Council Bluffs, Pottawattamie County, Iowa, more fully described as follows:

Beginning at the Northwest Corner of said Block 14; thence along the North line of said Block 14, South 89 Degrees 26 Minutes 40 Seconds East, 325.00 feet to a point on the West right-of-way line of South Expressway (Highway 192); thence along said West right-of-way line the following 7 courses:

- 1) South 44 Degrees 26 Minutes 36 Seconds East, 14.14 feet;
- 2) South 00 Degrees 33 Minutes 27 Seconds West, 4.00 feet;
- 3) South 24 Degrees 06 Minutes 55 Seconds East, 160.50 feet;
- 4) South 13 Degrees 28 Minutes 38 Seconds East, 12.37 feet;
- 5) South 15 Degrees 24 Minutes 17 Seconds East, 109.09 feet;
- 6) South 09 Degrees 44 Minutes 22 Seconds East, 55.91 feet;
- 7) South 08 Degrees 08 Minutes 37 Seconds East, 66.78 feet;
- 8) South 00 Degrees 22 Minutes 12 Seconds West, 113.16 feet to a point on the Northeasterly right-of-way line of Wabash Trace; thence along said Northeasterly right-of-way line the following 2 courses:

- 1) North 49 Degrees 26 Minutes 05 Seconds West, 177.48 feet to a point on a non-tangent curve, concave Southwesterly, to which point a radial line bears North 41 Degrees 15 Minutes 44 Seconds East, 5759.58 feet;
- 2) Northwesterly along said curve, through a central angle of 04 Degrees 04 Minutes 19 Seconds, 409.34 feet to a point on the West line of said Block 14; thence along said West line, North 00 Degrees 33 Minutes 27 Seconds East, 141.10 feet to the Point of Beginning.

The above described parcels contain 126,653 square feet, more or less.

Council Communication

Department: City Clerk
Case/Project No.:
Submitted by:

Liquor Licenses
ITEM 8.A.

Council Action: 6/9/2025


Description 1. Barley's, 114 West Broadway 2. Big Kel's Pizza & Wings, 40 Arena Way 3. Caddy Shack, 1426 4th Avenue 4. Courtyard by Marriott, 2501 Bass Pro Drive 5. Full Fledged Brewing Company, 40 Arena Way 6. Main Street Tavern, 519 South Main Street 7. Mid America Center, 1 Arena Way 8. Sugar's Restaurant & Lounge, 2725 East Kanesville Boulevard 9. The Salty Dog Bar and Grill, 2411 South 24th Street, Suite 6
Background/Discussion See attached calls for service.
Recommendation

ATTACHMENTS:

Description	Type	Upload Date
Liquor Licenses	Other	6/4/2025
Calls for service	Other	6/4/2025

>	Application Type Renewal	Tentative Effective Date 2025-07-15	Tentative Expiration Date 2026-07-14	Application Status ? Submitted to Local Authority
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<input checked="" type="checkbox"/> RENEWAL	<input type="checkbox"/> NEW	<input type="checkbox"/> SPECIAL EVENT
POLICE _____	Local Amt _____	
FIRE _____	Endorsed _____	
BUILDING <u>RS</u>	Issued _____	
ZONING _____	Expires _____	
	Council <u>6-9-2025</u>	



Tue 6/3/2025 3:22 PM
Amanda Kopera
Liquor Licenses - 6/9/2025 Agenda
To: Alex Ford; Christopher Gibbons; Mark Galvan; Rodney Schultz

Hi all,

Please review the following establishments that will be on the next agenda for renewal. I have attached the voting buttons for you to use. Mark will you please send me the calls for service?

*If there are any special concerns or notes for Council from anyone (specifically for O Face Bar's renewal) please let me know and I will include the notes in the agenda packet.

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9. Sugar's Restaurant & Lounge, 2725 E. Kanesville Blvd. – Renewal
10. The Salty Dog Bar and Grill, 2411 S. 24th St. Ste. 6 – Renewal

AUTO-RENEWALS – Do not need calls for service and will not go on agenda.
Hy-Vee Food Store #1 2323 West Broadway
Walgreens #03700 535 E Broadway
Walgreens #04405 2508 W Broadway
Walgreens #05306 301 W Bennett Ave
Mega Saver 3607 9th Ave

Liquor Licenses - 6/9/2025 Agenda...

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Reply Totals: Approve 3; Reject 0

Recipient	Response
Alex Ford	Approve: 6/3/2025 3:29 PM
Christopher Gibbons	Approve: 6/3/2025 4:35 PM
Mark Galvan	Approve: 6/4/2025 10:50 AM
Rodney Schultz	

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<input checked="" type="checkbox"/> RENEWAL	<input type="checkbox"/> NEW	<input type="checkbox"/> SPECIAL EVENT
POLICE _____	Local Amt _____	
FIRE _____	Endorsed _____	
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Renewal	2025-07-01	2026-06-30	Submitted to Local Authority

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Main Street Tavern- LC0043482
Premise Street : 519 South Main Street
Class C Retail Alcohol License

Application Number : App-221115

> Application Type	Tentative Effective Date	Tentative Expiration Date	Application Status ?
Renewal	2025-06-16	2026-06-15	Submitted to Local Authority

<input checked="" type="checkbox"/> RENEWAL	<input type="checkbox"/> NEW	<input type="checkbox"/> SPECIAL EVENT
POLICE _____	Local Amt _____	
FIRE _____	Endorsed _____	
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Rodney Schultz	

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The Salty Dog Bar and Grill- LC0036936


Premise Street : 2411 South 24th Street

Application Number : App-221089

Class C Retail Alcohol License

>	Application Type	Tentative Effective Date	Tentative Expiration Date	Application Status ?
	Renewal	2025-06-09	2026-06-08	Submitted to Local Authority

<input checked="" type="checkbox"/> RENEWAL	<input type="checkbox"/> NEW	<input type="checkbox"/> SPECIAL EVENT
POLICE _____	Local Amt _____	
FIRE _____	Endorsed _____	
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Sugar's Restaurant & Lounge- LC0047339
Premise Street : 2725 East Kanesville Boulevard
Class C Retail Alcohol License

Application Number : App-222220

>	Application Type Renewal	Tentative Effective Date 2025-07-15	Tentative Expiration Date 2026-07-14	Application Status ? Pending Dramshop Review
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Walgreens #03700

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CBPD ALCOHOL PERMIT RENEWAL REVIEW

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2.	Big Kel's Pizza and Wings	40 Arena way		
3.	Caddy Shack	1426 4th Ave		
4.	Courtyard by Marriott	2501 Bass Pro Drive		
5.	Full Fledged Brewing Co	40 Arena Way		
6.	Main St Tavern	519 South Main		
7.	Mid America Center	1 Arena Way		

	CITATIONS	CFS*	NEXUS*	GREEN*	YELLOW*	RED*	
1.	0	7	9		X		*CFS - Calls in the area, establishment mentioned
2.	0	1		X			*Nexus - Calls originated at establishment
3.	0	2	1	X			
4.	0	3	21	X			
5.	0	0	0	X			*Green - No issues
6.	0	2	5		X		*Yellow - Minor issues
7.	0	7	17	X			*Red - Major issues

COMMENTS

*Additional information relating to the CFS can be made available upon request

SIGNATURE Mark Galvan



CBPD ALCOHOL PERMIT RENEWAL REVIEW

	ESTABLISHMENT	ADDRESS	OWNER	RENEWAL DATE
1.	The Salty Dog Bar and Grill	2411 S 24th St		
2.	Sugar's Restaurant and Lounge	2725 E Kanessville Blvd		
3.				
4.				
5.				
6.				
7.				

	CITATIONS	CFS*	NEXUS*	GREEN*	YELLOW*	RED*	
1.	0	6	8		X		*CFS - Calls in the area, establishment mentioned
2.	0	4	4		X		*Nexus - Calls originated at establishment
3.							
4.							
5.							*Green - No issues
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7.							*Red - Major issues

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SIGNATURE Mark Galvan



Council Communication

Department: City Clerk

Case/Project No.:

Submitted by:

Retail Tobacco Permit - Renewals (18)

ITEM 8.B.

Council Action: 6/9/2025

Description

Background/Discussion

Recommendation

ATTACHMENTS:

Description

[Tobacco Permit Renewals](#)

Type

Other

Upload Date

6/4/2025

CITY OF COUNCIL BLUFFS

Retail Tobacco License Review

CITY OF COUNCIL BLUFFS
1909373801

[Application Information](#)

Legal Ownership Information

Name of sole proprietor, partnership, corporation, LLC, or LLP : CALIFORNIA UNION LLC

Type of ownership : Limited Liability Company

Primary office address : 501 S 21ST ST COUNCIL BLUFFS IA
51501-3760

Legal Ownership Phone : 619-787-7202

Legal Ownership Email : abebe99@yahoo.com

Application Information

City/County Permit Number : 1234903

Sales and Use Permit Number : 300503723

Location Name : 7 DAYS MART

Location Phone Number : 712-796-3935

Location Address : 501 S 21ST ST COUNCIL BLUFFS IA 51501-3760

Location Mailing Address : 501 S 21ST ST COUNCIL BLUFFS IA 51501-3760

Renewal : Yes

Start Date : 01-Jul-2025

End Date : 30-Jun-2026

License Fee : 100.00

Types of Sales : Over the Counter

Type of Establishment : Convenience store/gas station, Liquor store

Types of Products Sold : Cigarettes, Tobacco, Vapor Products, Alternative Nicotine Products

Do you intend to make retail sales to ultimate consumers? : Yes

Do you have other permits issued under Iowa Code chapter 453A at this retail location? If yes, provide permit number(s) in the next step: : No

Corporate Officers

Title	Name	Address
OWNER	ABEBE, SHUMET	318 S 16TH ST OMAHA NE 68102-2209

Suppliers List

Wahoo
Core-Mark

Decision

Select the decision of whether you approve or deny this permit application.

Iowa Department of Revenue will be issuing a permit number if this application is approved. However, the local authority has the option to also issue a permit number. If the local authority decides to issue a local permit number, it can be entered in the "Local Permit Number" field. Otherwise, only the state-issued permit number will appear on the permit.

Select a Decision

CITY OF COUNCIL BLUFFS

Retail Tobacco License Review

CITY OF COUNCIL BLUFFS
1909373801

[Application Information](#)

Legal Ownership Information

Name of sole proprietor, partnership, corporation, LLC, or LLP : CB SMOKE SHOP LLC

Type of ownership : Limited Liability Company

Primary office address : 20 POWER DR STE 6 COUNCIL BLUFFS IA 51501-7701

Legal Ownership Phone : 402-686-9822

Legal Ownership Email : OMAHATOBACCO@GMAIL.COM

Application Information

City/County Permit Number : 1313948

Sales and Use Permit Number : 302703725

Location Name : CB SMOKE SHOP LLC

Location Phone Number : 712-796-3868

Location Address : 20 POWER DR STE 6 COUNCIL BLUFFS IA 51501-7701

Location Mailing Address : 4891 F ST OMAHA NE 68117-1406

Renewal : Yes

Start Date : 01-Jul-2025

End Date : 30-Jun-2026

License Fee : 100.00

Types of Sales : Over the Counter

Type of Establishment : Tobacco store

Types of Products Sold : Cigarettes, Tobacco, Alternative Nicotine Products

Do you intend to make retail sales to ultimate consumers? : Yes

Do you have other permits issued under Iowa Code chapter 453A at this retail location? If yes, provide permit number(s) in the next step: : No

Corporate Officers

Title	Name	Address
OWNER	ALANNSI, BALEEGH	12112 S 48TH ST PAPILLION NE 68133-2899
OFFICER	ALANNSI, BALEEGH	4891 F ST OMAHA NE 68117-1406

Suppliers List

Cash-Wa, St. Joe Distribution, Maverick, Wildhorse, EZ World Distributors, Wahoo

Decision

Select the decision of whether you approve or deny this permit application.

Iowa Department of Revenue will be issuing a permit number if this application is approved. However, the local authority has the option to also issue a permit number. If the local authority decides to issue a local permit number, it can be entered in the "Local Permit Number" field. Otherwise, only the state-issued permit number will appear on the permit.

Select a Decision

Approve	Deny
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Retail Tobacco License Review

CITY OF COUNCIL BLUFFS

1909373801

[Application Information](#)

Legal Ownership Information

Name of sole proprietor, partnership, corporation, LLC, or LLP : DOLGENCORP LLC

Type of ownership : Limited Liability Company

Primary office address : 100 MISSION RDG GOODLETTSVILLE TN 37072-2171

Legal Ownership Phone : 615-855-4000

Legal Ownership Email : tax-beerandwinelicense@dollargeneral.com

Application Information

City/County Permit Number : 1232328

Sales and Use Permit Number : 178020088

Location Name : DOLLAR GENERAL STORE 1574

Location Phone Number : 615-855-4000

Location Address : 2731 E KANESVILLE BLVD COUNCIL BLUFFS IA 51503-1003

Location Mailing Address : 100 MISSION RDG GOODLETTSVILLE TN 37072-2171

Renewal : Yes

Start Date : 01-Jul-2025

End Date : 30-Jun-2026

License Fee : 100.00

Types of Sales : Over the Counter

Type of Establishment : Convenience store/gas station

Types of Products Sold : Cigarettes, Tobacco

Do you intend to make retail sales to ultimate consumers? : Yes

Do you have other permits issued under Iowa Code chapter 453A at this retail location? If yes, provide permit number(s) in the next step: : No

Corporate Officers

Title	Name	Address
Managing Officer	TAYLOR, EMILY	100 MISSION RDG DEPT TAXLICENSING GOODLETTSVILLE TN 37072-2171

Suppliers List

ITG Brands
RJ Reynolds
Liggett Vector Brands
Altria- Phillip Morris
Xcaliber Internation / Edgefield
Futura

Decision

Select the decision of whether you approve or deny this permit application.

Iowa Department of Revenue will be issuing a permit number if this application is approved. However, the local authority has the option to also issue a permit number. If the local authority decides to issue a local permit number, it can be entered in the "Local Permit Number" field. Otherwise, only the state-issued permit number will appear on the permit.

Select a Decision

Approve	Deny
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Retail Tobacco License Review

CITY OF COUNCIL BLUFFS

1909373801

[Application Information](#)

Legal Ownership Information

Name of sole proprietor, partnership, corporation, LLC, or LLP : FAMILY DOLLAR STORES OF IOWA LLC

Type of ownership : Limited Liability Company

Primary office address : 500 VOLVO PKWY CHESAPEAKE VA 23320-1604

Legal Ownership Phone : 757-321-5000

Legal Ownership Phone Extension : 13002

Legal Ownership Fax : 757-321-5214

Legal Ownership Email : toba-licensing@dollartree.com

Application Information

City/County Permit Number : 1232915

Sales and Use Permit Number : 178021942

Location Name : FAMILY DOLLAR STORE 4414

Location Phone Number : 712-890-3003

Location Address : 2801 W BROADWAY COUNCIL BLFS IA 51501-3408

Location Mailing Address : 500 VOLVO PKWY CHESAPEAKE VA 23320-1604

Renewal : Yes

Start Date : 01-Jul-2025

End Date : 30-Jun-2026

License Fee : 100.00

Types of Sales : Over the Counter

Type of Establishment : Other

If Other, Explain : OTHER-RETAIL/GEN MERCHANDISE

Types of Products Sold : Cigarettes, Tobacco

Do you intend to make retail sales to ultimate consumers? : Yes

Do you have other permits issued under Iowa Code chapter 453A at this retail location? If yes, provide permit number(s) in the next step: : No

Corporate Officers

Title	Name	Address
SR VICE PRESIDEN	LITTLER, TODD B	500 VOLVO PKWY CHESAPEAKE VA 23320-1604
PRESIDENT	KONRAD, JOCELYN	500 VOLVO PKWY CHESAPEAKE VA 23320-1604
ASSISTANT TREASURER	COLLAR, MICHAEL	500 VOLVO PKWY CHESAPEAKE VA 23320-1604
ASSISTANT SECRETARY	WESSELHOFT, SHARON	500 VOLVO PKWY CHESAPEAKE VA 23320-1604
VICE PRES STORE OPS SUPPORT	NEWMAN, MICHAEL	500 VOLVO PKWY CHESAPEAKE VA 23320-1604
VICE PRES-DISBURSMENTS	POSTON, JONATHAN	500 VOLVO PKWY CHESAPEAKE VA 23320-1604

Suppliers List

MCLANE MINNESOTA
1111 WEST 5TH STREET
NORTHFIELD, MN 55057
#0083967004601
507-664-3003

Decision

Select the decision of whether you approve or deny this permit application.

Iowa Department of Revenue will be issuing a permit number if this application is approved. However, the local authority has the option to also issue a permit number. If the local authority decides to issue a local permit number, it can be entered in the "Local Permit Number" field. Otherwise, only the state-issued permit number will appear on the permit.

Select a Decision

Approve	Deny
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Retail Tobacco License Review

CITY OF COUNCIL BLUFFS

1909373801

[Application Information](#)

Legal Ownership Information

Name of sole proprietor, partnership, corporation, LLC, or LLP : GPM MIDWEST 18 LLC

Type of ownership : Limited Liability Company

Primary office address : 8565 MAGELLAN PKWY STE 400
RICHMOND VA 23227-1172

Legal Ownership Phone : 804-730-1568

Legal Ownership Phone Extension : x1176

Legal Ownership Fax : 804-215-8371

Legal Ownership Email : licensing@gmpinvestments.com

Application Information

City/County Permit Number : 1233475

Sales and Use Permit Number : 178025983

Location Name : FAS MART #552

Location Phone Number : 712-323-3433

Location Address : 503 9TH AVE COUNCIL BLFS IA 51503

Location Mailing Address : 8565 MAGELLAN PKWY STE 400 RICHMOND VA 23227-1172

Renewal : Yes

Start Date : 01-Jul-2025

End Date : 30-Jun-2026

License Fee : 100.00

Types of Sales : Over the Counter

Type of Establishment : Convenience store/gas station

Types of Products Sold : Cigarettes, Tobacco, Vapor Products, Alternative Nicotine Products

Do you intend to make retail sales to ultimate consumers? : Yes

Do you have other permits issued under Iowa Code chapter 453A at this retail location? If yes, provide permit number(s) in the next step: : No

Corporate Officers

Title	Name	Address
CEO	KOTLER, ARIE	8565 MAGELLAN PKWY STE 400 RICHMOND VA 23227-1172
EVP	NUCHAMOVITZ, EYAL	8565 MAGELLAN PKWY STE 400 RICHMOND VA 23227-1172
CFO	GIAMMATTEO, ROBERT	8565 MAGELLAN PKWY STE 400 RICHMOND VA 23227-1172

Suppliers List

Core Mark

Decision

Select the decision of whether you approve or deny this permit application.

Iowa Department of Revenue will be issuing a permit number if this application is approved. However, the local authority has the option to also issue a permit number. If the local authority decides to issue a local permit number, it can be entered in the "Local Permit Number" field. Otherwise, only the state-issued permit number will appear on the permit.

Select a Decision

Approve	Deny
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Retail Tobacco License Review

CITY OF COUNCIL BLUFFS

1909373801

[Application Information](#)

Legal Ownership Information

Name of sole proprietor, partnership, corporation, LLC, or LLP : GPM MIDWEST 18 LLC

Type of ownership : Limited Liability Company

Primary office address : 8565 MAGELLAN PKWY STE 400
RICHMOND VA 23227-1172

Legal Ownership Phone : 804-730-1568

Legal Ownership Phone Extension : x1176

Legal Ownership Fax : 804-215-8371

Legal Ownership Email : licensing@gmpinvestments.com

Application Information

City/County Permit Number : 1233476

Sales and Use Permit Number : 178025984

Location Name : FAS MART #553

Location Phone Number : 712-323-7237

Location Address : 611 E BROADWAY COUNCIL BLFS IA 51503

Location Mailing Address : 8565 MAGELLAN PKWY STE 400 RICHMOND VA 23227-1172

Renewal : Yes

Start Date : 01-Jul-2025

End Date : 30-Jun-2026

License Fee : 100.00

Types of Sales : Over the Counter

Type of Establishment : Convenience store/gas station

Types of Products Sold : Cigarettes, Tobacco, Vapor Products, Alternative Nicotine Products

Do you intend to make retail sales to ultimate consumers? : Yes

Do you have other permits issued under Iowa Code chapter 453A at this retail location? If yes, provide permit number(s) in the next step: : No

Corporate Officers

Title	Name	Address
CEO	KOTLER, ARIE	8565 MAGELLAN PKWY STE 400 RICHMOND VA 23227-1172
EVP	NUCHAMOVITZ, EYAL	8565 MAGELLAN PKWY STE 400 RICHMOND VA 23227-1172
CFO	GIAMMATTEO, ROBERT	8565 MAGELLAN PKWY STE 400 RICHMOND VA 23227-1172

Suppliers List

Core Mark

Decision

Select the decision of whether you approve or deny this permit application.

Iowa Department of Revenue will be issuing a permit number if this application is approved. However, the local authority has the option to also issue a permit number. If the local authority decides to issue a local permit number, it can be entered in the "Local Permit Number" field. Otherwise, only the state-issued permit number will appear on the permit.

Select a Decision

Approve	Deny
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Department of Revenue

**Iowa Retail Permit Application
for Cigarette/Tobacco/Nicotine/Vapor**

tax.iowa.gov

Additional instructions are on the final page.For period (MM/DD/YYYY) 7 / 1 / 2025 through 06/30/ 2026

Use this form to apply for a retail permit to sell cigarettes, tobacco, alternative nicotine, or vapor products at retail. If you need a different, non-retail cigarette or tobacco permit, use form 70-015. If approved, the permit is only valid for the location listed on the permit. You must obtain a separate retail permit for each location you own or operate.

Business Information:Legal name/Doing business as (DBA): Hy-Vee Food Store #2Iowa sales and use tax account number: 178013973Retail address: 1745 Madison Ave City: Council Bluffs State: IA ZIP: 51503Mailing address: 5820 Westown Pkwy City: West Des Moines State: IA ZIP: 50266Phone: 712-322-9260**Legal Ownership Information:**Type of ownership: Sole Proprietor ☐ Partnership ☐ Corporation ☒ LLC ☐ LLP ☐Name of sole proprietor, partnership, corporation, LLC, or LLP: Hy-Vee, Inc.Primary office address: 5820 Westown Pkwy City: West Des Moines State: IA ZIP: 50266Phone: 515-267-2800 Fax: _____ Email: knylen@hy-vee.com**Retail Information:**Types of Sales: Over-the-counter ☒ Vending machine ☐ Vending machine that assembles cigarettes ☐ Delivery sales of alternative nicotine/vapor products (see instructions) ☐Mobile sales (see instructions) ☐ VIN: _____ License plate number: _____

Types of Products Sold: (Check all that apply)

Cigarettes ☒ Tobacco ☒ Alternative nicotine products ☒ Vapor products ☒**Type of Establishment: (Select the options that best describe the establishment)**Alternative nicotine/vapor store ☐ Bar ☐ Convenience store/gas station ☐ Drug store ☐Grocery store ☒ Hotel/motel ☐ Liquor store ☐ Restaurant ☐ Tobacco store ☐Other (provide description) ☐ _____

Do you have other permits issued under Iowa Code chapter 453A at this retail location? If yes, provide permit number(s): No

Do you intend to make retail sales to ultimate consumers? Yes ☒ No ☐

Include with this application a list of your suppliers of cigarettes, tobacco, alternative nicotine and vapor products on a separate sheet.

Identify partners or corporate officers (up to three) if the business is not a sole proprietorship.Name: See Attached. Title: _____

Address: _____

City: _____ State: _____ ZIP: _____

Name: _____ Title: _____

Address: _____

City: _____ State: _____ ZIP: _____

Name: _____ Title: _____

Address: _____

City: _____ State: _____ ZIP: _____

If this application is approved and a permit is granted, I/we do hereby bind ourselves to a faithful observance of the laws governing the sale of cigarettes, tobacco, alternative nicotine, and vapor products.

Signature of Authorized Party

I, the undersigned, declare under penalties of perjury or false certificate, that I have examined this application, and to the best of my knowledge and belief, it is true, correct, and complete. I declare that I am authorized to act on behalf of the taxpayer, and will only act within my authority.

Printed Name/Title: Andrew Schroeder - SVP Accounting, Controller

Authorized Signature: Andrew Schroeder

Date: 4/1/2025 Email: knylen@hy-vee.com

Send this completed application and the applicable fee to your local jurisdiction. If your local jurisdiction permits electronic transmission of this application, your email or fax signature will constitute a valid signature. It is up to your local jurisdiction to approve this application and issue the permit. You must have an approved permit issued to you by the local jurisdiction before acting as a retailer in that jurisdiction. You must separately apply in each local jurisdiction in which you plan to act as a retailer. If you have any questions about the status of your application, contact your city clerk (within city limits) or your county auditor (outside city limits). NOTE: A completed application is NOT a valid permit even if submitted to your local jurisdiction with the applicable fee.

FOR CITY CLERK/COUNTY AUDITOR ONLY – MUST BE COMPLETE

- Fill in the amount paid for the permit: \$100.00
- Fill in the date the permit was approved by the council or board: _____
- Fill in the permit number issued by the city/county: _____
- Fill in the name of the city or county issuing the permit: Council Bluffs, IA
- New ☐ Renewal ☒

Send completed/approved application to the Iowa Department of Revenue within 30 days of issuance. Make sure the information on the application is complete and accurate. A copy of the permit does not need to be sent; only the application is required. If a permit is being exchanged due to change of location within the same jurisdiction, permittee should complete an application with new location information and application should be sent to the Department as described above. Permittees who exchange a valid permit are not required to pay an additional fee when an exchange application is submitted. It is preferred that applications are sent via email, as this allows for a receipt confirmation to be sent to the local authority.

- Email: iapledge@iowaabd.com
- Fax: 515-281-7375

**Additional instructions are on the final page.**For period (MM/DD/YYYY) 7 / 1 / 2025 through 06/30/ 2026

Use this form to apply for a retail permit to sell cigarettes, tobacco, alternative nicotine, or vapor products at retail. If you need a different, non-retail cigarette or tobacco permit, use form 70-015. If approved, the permit is only valid for the location listed on the permit. You must obtain a separate retail permit for each location you own or operate.

Business Information:Legal name/Doing business as (DBA): Hy-Vee Food Store #1Iowa sales and use tax account number: 178013830Retail address: 2323 W Broadway City: Council Bluffs State: IA ZIP: 51501Mailing address: 5820 Westown Pkwy City: West Des Moines State: IA ZIP: 50266Phone: 712-328-9792**Legal Ownership Information:**Type of ownership: Sole Proprietor ☐ Partnership ☐ Corporation ☒ LLC ☐ LLP ☐Name of sole proprietor, partnership, corporation, LLC, or LLP: Hy-Vee, Inc.Primary office address: 5820 Westown Pkwy City: West Des Moines State: IA ZIP: 50266Phone: 515-267-2800 Fax: _____ Email: knylen@hy-vee.com**Retail Information:**Types of Sales: Over-the-counter ☒ Vending machine ☐ Vending machine that assembles cigarettes ☐ Delivery sales of alternative nicotine/vapor products (see instructions) ☐Mobile sales (see instructions) ☐ VIN: _____ License plate number: _____

Types of Products Sold: (Check all that apply)

Cigarettes ☒ Tobacco ☒ Alternative nicotine products ☒ Vapor products ☒**Type of Establishment: (Select the options that best describe the establishment)**Alternative nicotine/vapor store ☐ Bar ☐ Convenience store/gas station ☐ Drug store ☐Grocery store ☒ Hotel/motel ☐ Liquor store ☐ Restaurant ☐ Tobacco store ☐Other (provide description) ☐ _____

Do you have other permits issued under Iowa Code chapter 453A at this retail location? If yes, provide permit number(s): No

Do you intend to make retail sales to ultimate consumers? Yes ☒ No ☐

Include with this application a list of your suppliers of cigarettes, tobacco, alternative nicotine and vapor products on a separate sheet.

Identify partners or corporate officers (up to three) if the business is not a sole proprietorship.Name: See Attached. Title: _____

Address: _____

City: _____ State: _____ ZIP: _____

Name: _____ Title: _____

Address: _____

City: _____ State: _____ ZIP: _____

Name: _____ Title: _____

Address: _____

City: _____ State: _____ ZIP: _____

If this application is approved and a permit is granted, I/we do hereby bind ourselves to a faithful observance of the laws governing the sale of cigarettes, tobacco, alternative nicotine, and vapor products.

Signature of Authorized Party

I, the undersigned, declare under penalties of perjury or false certificate, that I have examined this application, and to the best of my knowledge and belief, it is true, correct, and complete. I declare that I am authorized to act on behalf of the taxpayer, and will only act within my authority.

Printed Name/Title: Andrew Schroeder - SVP Accounting, ControllerAuthorized Signature: Andrew SchroederDate: 4/1/2025Email: knylen@hy-vee.com

Send this completed application and the applicable fee to your local jurisdiction. If your local jurisdiction permits electronic transmission of this application, your email or fax signature will constitute a valid signature. It is up to your local jurisdiction to approve this application and issue the permit. You must have an approved permit issued to you by the local jurisdiction before acting as a retailer in that jurisdiction. You must separately apply in each local jurisdiction in which you plan to act as a retailer. If you have any questions about the status of your application, contact your city clerk (within city limits) or your county auditor (outside city limits). NOTE: A completed application is NOT a valid permit even if submitted to your local jurisdiction with the applicable fee.

FOR CITY CLERK/COUNTY AUDITOR ONLY – MUST BE COMPLETE

- Fill in the amount paid for the permit: \$100.00
- Fill in the date the permit was approved by the council or board: _____
- Fill in the permit number issued by the city/county: _____
- Fill in the name of the city or county issuing the permit: Council Bluffs, IA
- New ☐ Renewal ☒

Send completed/approved application to the Iowa Department of Revenue within 30 days of issuance. Make sure the information on the application is complete and accurate. A copy of the permit does not need to be sent; only the application is required. If a permit is being exchanged due to change of location within the same jurisdiction, permittee should complete an application with new location information and application should be sent to the Department as described above. Permittees who exchange a valid permit are not required to pay an additional fee when an exchange application is submitted. It is preferred that applications are sent via email, as this allows for a receipt confirmation to be sent to the local authority.

- Email: iapledge@iowaabd.com
- Fax: 515-281-7375



Department of Revenue

**Iowa Retail Permit Application
for Cigarette/Tobacco/Nicotine/Vapor**

tax.iowa.gov

Additional instructions are on the final page.For period (MM/DD/YYYY) 7 / 1 / 2025 through 06/30/ 2026

Use this form to apply for a retail permit to sell cigarettes, tobacco, alternative nicotine, or vapor products at retail. If you need a different, non-retail cigarette or tobacco permit, use form 70-015. If approved, the permit is only valid for the location listed on the permit. You must obtain a separate retail permit for each location you own or operate.

Business Information:Legal name/Doing business as (DBA): Hy-Vee Fast & Fresh #1Iowa sales and use tax account number: 178025497Retail address: 21 S 25th St. City: Council Bluffs State: IA ZIP: 51501Mailing address: 5820 Westown Pkwy City: West Des Moines State: IA ZIP: 50266Phone: 712-352-1731**Legal Ownership Information:**Type of ownership: Sole Proprietor ☐ Partnership ☐ Corporation ☒ LLC ☐ LLP ☐Name of sole proprietor, partnership, corporation, LLC, or LLP: Hy-Vee, Inc.Primary office address: 5820 Westown Pkwy City: West Des Moines State: IA ZIP: 50266Phone: 515-267-2800 Fax: _____ Email: knylen@hy-vee.com**Retail Information:**Types of Sales: Over-the-counter ☒ Vending machine ☐ Vending machine that assembles cigarettes ☐ Delivery sales of alternative nicotine/vapor products (see instructions) ☐Mobile sales (see instructions) ☐ VIN: _____ License plate number: _____

Types of Products Sold: (Check all that apply)

Cigarettes ☒ Tobacco ☒ Alternative nicotine products ☒ Vapor products ☒**Type of Establishment: (Select the options that best describe the establishment)**Alternative nicotine/vapor store ☐ Bar ☐ Convenience store/gas station ☒ Drug store ☐
Grocery store ☐ Hotel/motel ☐ Liquor store ☐ Restaurant ☐ Tobacco store ☐Other (provide description) ☐ _____

Do you have other permits issued under Iowa Code chapter 453A at this retail location? If yes, provide permit number(s): No

Do you intend to make retail sales to ultimate consumers? Yes ☒ No ☐

Include with this application a list of your suppliers of cigarettes, tobacco, alternative nicotine and vapor products on a separate sheet.

Identify partners or corporate officers (up to three) if the business is not a sole proprietorship.Name: See Attached. Title: _____

Address: _____

City: _____ State: _____ ZIP: _____

Name: _____ Title: _____

Address: _____

City: _____ State: _____ ZIP: _____

Name: _____ Title: _____

Address: _____

City: _____ State: _____ ZIP: _____

If this application is approved and a permit is granted, I/we do hereby bind ourselves to a faithful observance of the laws governing the sale of cigarettes, tobacco, alternative nicotine, and vapor products.

Signature of Authorized Party

I, the undersigned, declare under penalties of perjury or false certificate, that I have examined this application, and to the best of my knowledge and belief, it is true, correct, and complete. I declare that I am authorized to act on behalf of the taxpayer, and will only act within my authority.

Printed Name/Title: Andrew Schroeder - SVP Accounting, ControllerAuthorized Signature: Andrew SchroederDate: 4/1/2025Email: knylen@hy-vee.com

Send this completed application and the applicable fee to your local jurisdiction. If your local jurisdiction permits electronic transmission of this application, your email or fax signature will constitute a valid signature. It is up to your local jurisdiction to approve this application and issue the permit. You must have an approved permit issued to you by the local jurisdiction before acting as a retailer in that jurisdiction. You must separately apply in each local jurisdiction in which you plan to act as a retailer. If you have any questions about the status of your application, contact your city clerk (within city limits) or your county auditor (outside city limits). NOTE: A completed application is NOT a valid permit even if submitted to your local jurisdiction with the applicable fee.

FOR CITY CLERK/COUNTY AUDITOR ONLY – MUST BE COMPLETE

- Fill in the amount paid for the permit: \$100.00
- Fill in the date the permit was approved by the council or board: _____
- Fill in the permit number issued by the city/county: _____
- Fill in the name of the city or county issuing the permit: Council Bluffs, IA
- New ☐ Renewal ☒

Send completed/approved application to the Iowa Department of Revenue within 30 days of issuance. Make sure the information on the application is complete and accurate. A copy of the permit does not need to be sent; only the application is required. If a permit is being exchanged due to change of location within the same jurisdiction, permittee should complete an application with new location information and application should be sent to the Department as described above. Permittees who exchange a valid permit are not required to pay an additional fee when an exchange application is submitted. It is preferred that applications are sent via email, as this allows for a receipt confirmation to be sent to the local authority.

- Email: iapledge@iowaabd.com
- Fax: 515-281-7375

Retail Tobacco License Review

CITY OF COUNCIL BLUFFS
1909373801

[Application Information](#)

Legal Ownership Information

Name of sole proprietor, partnership, corporation, LLC, or LLP : SUPER CONVENIENCE STORE LLC

Type of ownership : Corporation

Primary office address : 2547 2ND AVE COUNCIL BLUFFS IA 51501-3502

Legal Ownership Phone : 402-612-0716

Legal Ownership Email : s.merhawi@yahoo.com

Application Information

City/County Permit Number : 1219057

Sales and Use Permit Number : 301708628

Location Name : SUPER CONVENIENCE STORE LLC

Location Phone Number : 402-612-0716

Location Address : 2547 2ND AVE COUNCIL BLUFFS IA 51501-3502

Location Mailing Address : 2547 2ND AVE COUNCIL BLUFFS IA 51501-3502

Renewal : Yes

Start Date : 01-Jul-2025

End Date : 30-Jun-2026

License Fee : 100.00

Types of Sales : Over the Counter

Type of Establishment : Convenience store/gas station

Types of Products Sold : Cigarettes, Tobacco, Vapor Products

Do you intend to make retail sales to ultimate consumers? : Yes

Do you have other permits issued under Iowa Code chapter 453A at this retail location? If yes, provide permit number(s) in the next step: : No

Corporate Officers

Title	Name	Address
OWNER	KAHSAY, MERHAWI	2547 2ND AVE COUNCIL BLUFFS IA 51501-3502

Suppliers List

Coremark
Wild horse

Decision

Select the decision of whether you approve or deny this permit application.

Iowa Department of Revenue will be issuing a permit number if this application is approved. However, the local authority has the option to also issue a permit number. If the local authority decides to issue a local permit number, it can be entered in the "Local Permit Number" field. Otherwise, only the state-issued permit number will appear on the permit.

Select a Decision

Approve	Deny
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Retail Tobacco License Review

CITY OF COUNCIL BLUFFS
1909373801

[Application Information](#)

Legal Ownership Information

Name of sole proprietor, partnership, corporation, LLC, or LLP : REW INC

Type of ownership : Corporation

Primary office address : PO BOX 358 ONAWA IA 51040-0358

Legal Ownership Phone : 402-321-5593

Legal Ownership Fax : 712-433-1002

Legal Ownership Email : woodle29@aol.com

Application Information

City/County Permit Number : 1231199

Sales and Use Permit Number : 178026871

Location Name : THE HUT DISCOUNT STORE

Location Phone Number : 712-325-0199

Location Address : 1925 W BROADWAY COUNCIL BLFS IA 51501

Location Mailing Address : 11205 WRIGHT CIR STE 220 OMAHA NE 68144-4719

Renewal : Yes

Start Date : 01-Jul-2025

End Date : 30-Jun-2026

License Fee : 100.00

Types of Sales : Over the Counter

Type of Establishment : Convenience store/gas station

Types of Products Sold : Cigarettes, Tobacco, Vapor Products, Alternative Nicotine Products

Do you intend to make retail sales to ultimate consumers? : Yes

Do you have other permits issued under Iowa Code chapter 453A at this retail location? If yes, provide permit number(s) in the next step : No

Corporate Officers

Title	Name	Address
HR MANAGER	BURNS, EUGENE	623 S 1ST ST COUNCIL BLUFFS IA 51503-4348

Suppliers List

Farner Bocken
Franchise Distributing
Wahoo Warehouse
Maverick Distributing

Decision

Select the decision of whether you approve or deny this permit application.

Iowa Department of Revenue will be issuing a permit number if this application is approved. However, the local authority has the option to also issue a permit number. If the local authority decides to issue a local permit number, it can be entered in the "Local Permit Number" field. Otherwise, only the state-issued permit number will appear on the permit.

Select a Decision

Approve

Deny

Retail Tobacco License Review

CITY OF COUNCIL BLUFFS
1909373801

[Application Information](#)

Legal Ownership Information

Name of sole proprietor, partnership, corporation, LLC, or LLP : JNS INC

Type of ownership : Corporation

Primary office address : PO BOX 358 ONAWA IA 51040-0358

Legal Ownership Phone : 402-321-5593

Legal Ownership Fax : 712-433-1002

Legal Ownership Email : woodle29@aol.com

Application Information

City/County Permit Number : 1232593

Sales and Use Permit Number : 178025278

Location Name : TOBACCO HUT #20

Location Phone Number : 712-256-1295

Location Address : 429 VETERANS MEMORIAL HW COUNCIL BLFS IA 51501-8416

Location Mailing Address : 429 VETERANS MEMORIAL HWY COUNCIL BLUFFS IA 51501-8416

Renewal : Yes

Start Date : 01-Jul-2025

End Date : 30-Jun-2026

License Fee : 100.00

Types of Sales : Over the Counter

Type of Establishment : Convenience store/gas station

Types of Products Sold : Cigarettes, Tobacco, Vapor Products, Alternative Nicotine Products

Do you intend to make retail sales to ultimate consumers? : Yes

Do you have other permits issued under Iowa Code chapter 453A at this retail location? If yes, provide permit number(s) in the next step: : No

Corporate Officers

Title	Name	Address
HR MANAGER	BURNS, EUGENE	623 S 1ST ST COUNCIL BLUFFS IA 51503-4348

Suppliers List

Farner Bocken
Franchise Distributing
Wahoo Warehouse
Maverick Distributing

Decision

Select the decision of whether you approve or deny this permit application.

Iowa Department of Revenue will be issuing a permit number if this application is approved. However, the local authority has the option to also issue a permit number. If the local authority decides to issue a local permit number, it can be entered in the "Local Permit Number" field. Otherwise, only the state-issued permit number will appear on the permit.

Select a Decision

Approve

Deny

Retail Tobacco License Review

CITY OF COUNCIL BLUFFS
1909373801

[Application Information](#)

Legal Ownership Information

Name of sole proprietor, partnership, corporation, LLC, or LLP : VAPEOLOGY SMOKE SHOP LLC

Type of ownership : Limited Liability Company

Primary office address : 1531 2ND AVE COUNCIL BLUFFS IA
51501-3908

Legal Ownership Phone : 402-686-9822

Legal Ownership Email : omahatobacco@gmail.com

Application Information

City/County Permit Number : 1233002

Sales and Use Permit Number : 302307821

Location Name : VAPEOLOGY SMOKE SHOP

Location Phone Number : 712-352-0153

Location Address : 1531 2ND AVE COUNCIL BLUFFS IA 51501-3908

Location Mailing Address : 4891 F ST OMAHA NE 68117-1406

Renewal : Yes

Start Date : 01-Jul-2025

End Date : 30-Jun-2026

License Fee : 100.00

Types of Sales : Over the Counter

Type of Establishment : Tobacco store

Types of Products Sold : Cigarettes, Tobacco, Vapor Products, Alternative Nicotine Products

Do you intend to make retail sales to ultimate consumers? : Yes

Do you have other permits issued under Iowa Code chapter 453A at this retail location? If yes, provide permit number(s) in the next step: : No

Corporate Officers

Title	Name	Address
WONER	NAGI, ABDULMALEK	4891 F ST OMAHA NE 68117-1406

Suppliers List

Cash-Wa, St. Joe Distribution, Maverick, Wildhorse, EZ World Distributors, Wahoo

Decision

Select the decision of whether you approve or deny this permit application.

Iowa Department of Revenue will be issuing a permit number if this application is approved. However, the local authority has the option to also issue a permit number. If the local authority decides to issue a local permit number, it can be entered in the "Local Permit Number" field. Otherwise, only the state-issued permit number will appear on the permit.

Select a Decision

Approve

Deny

Retail Tobacco License Review

CITY OF COUNCIL BLUFFS
1909373801

[Application Information](#)

Legal Ownership Information

Name of sole proprietor, partnership, corporation, LLC, or LLP : BROADWAY SMOKE SHOP LLC

Type of ownership : Limited Liability Company

Primary office address : 305 E BROADWAY COUNCIL BLUFFS IA 51503-4415

Legal Ownership Phone : 402-686-9822

Legal Ownership Email : omahatobacco@gmail.com

Application Information

City/County Permit Number : 1232918

Sales and Use Permit Number : 309703011

Location Name : VIP SMOKE SHOP

Location Phone Number : 712-796-4579

Location Address : 305 E BROADWAY COUNCIL BLUFFS IA 51503-4415

Location Mailing Address : 430 CONNER GRANT RD NEW BERN NC 28562-9813

Renewal : Yes

Start Date : 01-Jul-2025

End Date : 30-Jun-2026

License Fee : 100.00

Types of Sales : Over the Counter

Type of Establishment : Tobacco store

Types of Products Sold : Cigarettes, Tobacco, Vapor Products, Alternative Nicotine Products

Do you intend to make retail sales to ultimate consumers? : Yes

Do you have other permits issued under Iowa Code chapter 453A at this retail location? If yes, provide permit number(s) in the next step: : No

Corporate Officers

Title	Name	Address
OFFICER	ALAHDAL, HEITHAM	4891 F ST OMAHA NE 68117-1406

Suppliers List

Cash-Wa, St. Joe Distribution, Maverick, Wildhorse, EZ World Distributors, Wahoo

Decision

Select the decision of whether you approve or deny this permit application.

Iowa Department of Revenue will be issuing a permit number if this application is approved. However, the local authority has the option to also issue a permit number. If the local authority decides to issue a local permit number, it can be entered in the "Local Permit Number" field. Otherwise, only the state-issued permit number will appear on the permit.

Select a Decision

Approve

Deny

Retail Tobacco License Review

CITY OF COUNCIL BLUFFS
1909373801

Application Information

Legal Ownership Information

Name of sole proprietor, partnership, corporation, LLC, or LLP : WALGREEN CO

Type of ownership : Corporation

Primary office address : 300 WILMOT RD MS 3301 DEERFIELD IL 60015-4614

Legal Ownership Phone : 847-527-4612

Legal Ownership Fax : 847-368-6525

Legal Ownership Email : taxlicenser renewals@walgreens.com

Application Information

City/County Permit Number : 1232920

Sales and Use Permit Number : 178020980

Location Name : WALGREENS #3700

Location Phone Number : 712-329-0930

Location Address : 535 E BROADWAY COUNCIL BLFS IA 51503-4419

Location Mailing Address : PO BOX 901 DEERFIELD IL 60015-0901

Renewal : Yes

Start Date : 01-Jul-2025

End Date : 30-Jun-2026

License Fee : 100.00

Types of Sales : Over the Counter

Type of Establishment : Drug store

Types of Products Sold : Cigarettes, Tobacco, Alternative Nicotine Products

Do you intend to make retail sales to ultimate consumers? : Yes

Do you have other permits issued under Iowa Code chapter 453A at this retail location? If yes, provide permit number(s) in the next step: : No

Corporate Officers

Title	Name	Address
VICE PRESIDENT AND TREASURER	BROWN, BRIAN	500 GREENLEAF AVE WILMETTE IL 60091-1914

Suppliers List

McLane Co.

Decision

Select the decision of whether you approve or deny this permit application.

Iowa Department of Revenue will be issuing a permit number if this application is approved. However, the local authority has the option to also issue a permit number. If the local authority decides to issue a local permit number, it can be entered in the "Local Permit Number" field. Otherwise, only the state-issued permit number will appear on the permit.

Select a Decision

Approve

Deny

Retail Tobacco License Review

CITY OF COUNCIL BLUFFS
1909373801

Application Information

Legal Ownership Information

Name of sole proprietor, partnership, corporation, LLC, or LLP : WALGREEN CO

Type of ownership : Corporation

Primary office address : 300 WILMOT RD MS 3301 DEERFIELD IL 60015-4614

Legal Ownership Phone : 847-527-4612

Legal Ownership Fax : 847-368-6525

Legal Ownership Email : taxlicenser renewals@walgreens.com

Application Information

City/County Permit Number : 1232921

Sales and Use Permit Number : 178021052

Location Name : WALGREENS #4405

Location Phone Number : 712-328-2266

Location Address : 2508 W BROADWAY COUNCIL BLFS IA 51501-3509

Location Mailing Address : PO BOX 901 DEERFIELD IL 60015-0901

Renewal : Yes

Start Date : 01-Jul-2025

End Date : 30-Jun-2026

License Fee : 100.00

Types of Sales : Over the Counter

Type of Establishment : Drug store

Types of Products Sold : Cigarettes, Tobacco, Alternative Nicotine Products

Do you intend to make retail sales to ultimate consumers? : Yes

Do you have other permits issued under Iowa Code chapter 453A at this retail location? If yes, provide permit number(s) in the next step: : No

Corporate Officers

Title	Name	Address
VICE PRESIDENT AND TREASURER	BROWN, BRIAN	500 GREENLEAF AVE WILMETTE IL 60091-1914

Suppliers List

McLane Co.

Decision

Select the decision of whether you approve or deny this permit application.

Iowa Department of Revenue will be issuing a permit number if this application is approved. However, the local authority has the option to also issue a permit number. If the local authority decides to issue a local permit number, it can be entered in the "Local Permit Number" field. Otherwise, only the state-issued permit number will appear on the permit.

Select a Decision

ApproveDeny

Retail Tobacco License Review

CITY OF COUNCIL BLUFFS
1909373801

[Application Information](#)

Legal Ownership Information

Name of sole proprietor, partnership, corporation, LLC, or LLP : WALGREEN CO

Type of ownership : Corporation

Primary office address : 300 WILMOT RD MS 3301 DEERFIELD IL 60015-4614

Legal Ownership Phone : 847-527-4612

Legal Ownership Fax : 847-368-6525

Legal Ownership Email : taxlicenser renewals@walgreens.com

Application Information

City/County Permit Number : 1232922

Sales and Use Permit Number : 178022001

Location Name : WALGREENS #5306

Location Phone Number : 712-325-0619

Location Address : 301 W BENNETT AVE COUNCIL BLFS IA 51503-5179

Location Mailing Address : PO BOX 901 DEERFIELD IL 60015-0901

Renewal : Yes

Start Date : 01-Jul-2025

End Date : 30-Jun-2026

License Fee : 100.00

Types of Sales : Over the Counter

Type of Establishment : Drug store

Types of Products Sold : Cigarettes, Tobacco, Alternative Nicotine Products

Do you intend to make retail sales to ultimate consumers? : Yes

Do you have other permits issued under Iowa Code chapter 453A at this retail location? If yes, provide permit number(s) in the next step: : No

Corporate Officers

Title	Name	Address
VICE PRESIDENT AND TREASURER	BROWN, BRIAN	500 GREENLEAF AVE WILMETTE IL 60091-1914

Suppliers List

McLane Co.

Decision

Select the decision of whether you approve or deny this permit application.

Iowa Department of Revenue will be issuing a permit number if this application is approved. However, the local authority has the option to also issue a permit number. If the local authority decides to issue a local permit number, it can be entered in the "Local Permit Number" field. Otherwise, only the state-issued permit number will appear on the permit.

Select a Decision

Approve

Deny

Retail Tobacco License Review

CITY OF COUNCIL BLUFFS

1909373801

[Application Information](#)

Legal Ownership Information

Name of sole proprietor, partnership, corporation, LLC, or LLP : WALMART INC

Type of ownership : Corporation

Primary office address : 702 SW 8TH ST BENTONVILLE AR 72716-0555

Legal Ownership Phone : 479-371-8476

Legal Ownership Email : complic@wal-mart.com

Application Information

City/County Permit Number : 1232078

Sales and Use Permit Number : 178025685

Location Name : WALMART 3150

Location Phone Number : 479-277-0866

Location Address : 1800 N 16TH ST COUNCIL BLFS IA 51501

Location Mailing Address : 702 SW 8TH ST BENTONVILLE AR 72712-6209

Renewal : Yes

Start Date : 01-Jul-2025

End Date : 30-Jun-2026

License Fee : 100.00

Types of Sales : Over the Counter

Type of Establishment : Other

If Other, Explain : GROCERY STORE

Types of Products Sold : Cigarettes, Tobacco, Alternative Nicotine Products

Do you intend to make retail sales to ultimate consumers? : Yes

Do you have other permits issued under Iowa Code chapter 453A at this retail location? If yes, provide permit number(s) in the next step: : No

Corporate Officers

Title	Name	Address
PRESIDENT & CEO	MCMILLON, CARL	702 SW 8TH ST BENTONVILLE AR 72716-0001
ASSISTANT TREASURER	ALLEN, MATTHEW	702 SW 8TH ST BENTONVILLE AR 72716-0001
SENIOR VICE PRESIDENT	WADDELL, EMMA	702 SW 8TH ST BENTONVILLE AR 72716-0001
ASSISTANT SECRETARY	LITTLE, SARAH	702 SW 8TH ST BENTONVILLE AR 72716-0001

Suppliers List

McLane Company, Inc.

Decision

Select the decision of whether you approve or deny this permit application.

Iowa Department of Revenue will be issuing a permit number if this application is approved. However, the local authority has the option to also issue a permit number. If the local authority decides to issue a local permit number, it can be entered in the "Local Permit Number" field. Otherwise, only the state-issued permit number will appear on the permit.

Select a Decision

Approve	Deny
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Council Communication

Department: City Clerk
Case/Project No.:
Submitted by:

Retail Device Permit - (3) (New permit per
SF345)
ITEM 8.C.

Council Action: 6/9/2025

Description

Background/Discussion

Recommendation

ATTACHMENTS:

Description	Type	Upload Date
Device Retail Permit	Other	6/4/2025

CITY OF COUNCIL BLUFFS

Device Retailer License Review

CITY OF COUNCIL BLUFFS

1909373801

[Application Information](#)

Legal Ownership Information

Name of sole proprietor, partnership, corporation, LLC, or LLP : R T CONVENIENT STORE LLC

Type of ownership : Limited Liability Company

Primary office address : 1602 AVENUE G COUNCIL BLUFFS IA 51501-2517

Legal Ownership Phone : 402-515-4756

Legal Ownership Email : elsawolseb@yahoo.com

Application Information

Sales Permit Number: : 300104520

Location Name : R T CONVENIENT STORE LLC

Location Phone Number : 712-890-5076

Location Address : 1602 AVENUE G COUNCIL BLUFFS IA 51501-2517

Location Mailing Address : 1602 AVENUE G COUNCIL BLUFFS IA 51501-2517

Renewal : No

Start Date : 01-Jun-2025

End Date : 30-Jun-2025

License Fee : 1,500.00

Types of Sales : Other

If Other, Explain : Convenience store every thing is behind a counter

Type of Establishment : Convenience store/gas station

Does this retail location ensure that : No
no person younger than 21 years of
age is present or permitted to enter
at any time?

Does this retail location provide an : Yes
age-restricted area and ensure that
no devices are visible to those
under 21 years of age?

Corporate Officers

Title	Name	Address
Authorized Individual	WOLDEAB, ELSA	1602 AVENUE G COUNCIL BLUFFS IA 51501-2517

Decision

Select the decision of whether you approve or deny this permit application.

Iowa Department of Revenue will be issuing a permit number if this application is approved. However, the local authority has the option to also issue a permit number. If the local authority decides to issue a local permit number, it can be entered in the "Local Permit Number" field. Otherwise, only the state-issued permit number will appear on the permit.

Does this retailer hold a valid retail tobacco permit at this location?

Yes	No
-----	----

Select a Decision

Approve	Deny
---------	------

Device Retailer License Review

CITY OF COUNCIL BLUFFS

1909373801

[Application Information](#)

Legal Ownership Information

Name of sole proprietor, partnership, : ALFARRA, ISMAIL A
corporation, LLC, or LLP

Type of ownership : Limited Liability - Single Member

Primary office address : 2024 5TH AVE BLDG 1 COUNCIL BLUFFS IA 51501-3731

Legal Ownership Phone : 402-917-6675

Legal Ownership Email : plusautollc@hotmail.com

Application Information

Sales Permit Number: : 305400823

Location Name : IN N OUT STP LLC

Location Phone Number : 402-917-6675

Location Address : 2024 5TH AVE BLDG 1 COUNCIL BLUFFS IA 51501-3731

Location Mailing Address : 2024 5TH AVE BLDG 1 COUNCIL BLUFFS IA 51501-3731

Renewal : No

Start Date : 01-Jun-2025

End Date : 30-Jun-2025

License Fee : 1,500.00

Types of Sales : Over the Counter

Type of Establishment : Convenience store/gas station

Does this retail location ensure that : Yes
no person younger than 21 years of
age is present or permitted to enter
at any time?

Corporate Officers

Title	Name	Address
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Decision

Select the decision of whether you approve or deny this permit application.

Iowa Department of Revenue will be issuing a permit number if this application is approved. However, the local authority has the option to also issue a permit number. If the local authority decides to issue a local permit number, it can be entered in the "Local Permit Number" field. Otherwise, only the state-issued permit number will appear on the permit.

Does this retailer hold a valid retail tobacco permit at this location?

Yes

No

Select a Decision

Approve

Deny

Device Retailer License Review

CITY OF COUNCIL BLUFFS

1909373801

[Application Information](#)

Legal Ownership Information

Name of sole proprietor, partnership, corporation, LLC, or LLP : JERUSALEM PETROLUM LLC DBA SPEEDY G

Type of ownership : Corporation

Primary office address : 430 S 35TH ST STE 1 COUNCIL BLUFFS IA 51501-3295

Legal Ownership Phone : 402-917-6675

Legal Ownership Email : plusautollc@hotmail.com

Application Information

Sales Permit Number: : 178025299

Location Name : SPEEDY GAS N SHOP

Location Phone Number : 712-256-3473

Location Address : 430 S 35TH ST STE 1 COUNCIL BLFS IA 51501-3295

Location Mailing Address : 430 S 35TH ST STE 1 COUNCIL BLUFFS IA 51501-3295

Renewal : No

Start Date : 20-May-2025

End Date : 30-Jun-2025

License Fee : 1,500.00

Types of Sales : Over the Counter

Type of Establishment : Convenience store/gas station

Does this retail location ensure that no person younger than 21 years of age is present or permitted to enter at any time?

Does this retail location provide an age-restricted area and ensure that no devices are visible to those under 21 years of age?

Corporate Officers

Title	Name	Address
Authorized Individual	HALE, ALEX	430 S 35TH ST STE 1 COUNCIL BLUFFS IA 51501-3295
Authorized Individual	FARRA, ALBERT	430 S 35TH ST STE 1 COUNCIL BLUFFS IA 51501-3295

Decision

Select the decision of whether you approve or deny this permit application.

Iowa Department of Revenue will be issuing a permit number if this application is approved. However, the local authority has the option to also issue a permit number. If the local authority decides to issue a local permit number, it can be entered in the "Local Permit Number" field. Otherwise, only the state-issued permit number will appear on the permit.

Does this retailer hold a valid retail tobacco permit at this location?

Yes	No
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Select a Decision

Approve	Deny
---------	------

Council Communication

Department: City Clerk
Case/Project No.:
Submitted by:

Special Event Application (Fireworks)
ITEM 8.D.

Council Action: 6/9/2025

Description

Annual Lake Manawa Fireworks Display 6-29-2025

Background/Discussion

Recommendation

ATTACHMENTS:

Description	Type	Upload Date
Special Event Application (Fireworks)	Other	6/4/2025



PERMIT SNAPSHOT REPORT 25-0004-SPEVT FOR CITY OF COUNCIL BLUFFS

Permit Type: Special Event Permit
Work Class: Special Event Permit
Status: In Review
Valuation: \$0.00

Project:
District: City of Council Bluffs
Square Feet: 0.00
Assigned To: Kopera, Amanda

App Date: 05/01/2025
Exp Date: NOT AVAILABLE
Completed: NOT COMPLETED
Approval Expire Date:

Description: Fireworks Display for Lake Manawa

Parcel: 744413102001 Main **Address:** 812 Comanche St Main **Zone:**
Council Bluffs, IA 51501

Applicant
Ray Sandoval
17783 Allis Rd
Council Bluffs, IA 51503-6479
Mobile: (402) 980-1800

Permit Custom Fields

Organization/Person Requesting	Friends of Lake Manawa / J&M Displays	Name of Event	Annual Fireworks Display	Contact Name	Ray Sandoval
Contact Phone	402-980-1800	Contact Email	ray@jandmdisplays.com	Address of event	Boat Dock Parking Lot on North Shore Peninsula
Estimated of number of 1000 participants		Type of Event	Professional Fireworks Display	Date of Event	Jun 29 2025 12:00AM
Does this have recurring dates in calendar year?	No	If yes, please list the additional dates:		Time of Event	9:55PM
Set up time	0800	Take down time	Post Show	Description of Event	Fireworks Show for Lake Manawa
Are you planning on food trucks at your event?	No	If yes, provide list of food truck vendors		Do you need EMS Services at the event?	No
Will you need city supplied electrical services?	No	Will you be selling alcoholic beverages?	No	Are you planning of selling food products?	No
Are you planning on having fireworks?	Yes	Are you having music,a No live band or noise of kind?		Request police assistance for:	Already being planned with CBPD and Iowa DNR
Are you planning on street closures?	No	Select all that apply	None	Are you using the 712 block party trailer?	No

Attachment File Name	Added On	Added By	Attachment Group	Notes
'25 Lake Manawa Permit Packet.pdf	05/01/2025 11:29	Sandoval, Ray	Available Online	Certificate of Insurance

Invoice No.	Fee	Fee Amount	Amount Paid
INV-00000305	Special Event No Road Closure	\$25.00	\$25.00
Total for Invoice INV-00000305		\$25.00	\$25.00
Grand Total for Permit		\$25.00	\$25.00

Submittal Name	Status	Received Date	Due Date	Complete Date	Resubmit	Completed
Special Event Review v.1	Approved	05/01/2025	05/09/2025	05/12/2025	No	No
Item Review Name	Department	Assigned User	Status	Assigned Date	Due Date	Completed Date
CBO 14	Building	Schultz, Rodney	Approved	06/02/2025	06/19/2025	06/03/2025
Item Review Name	Department	Assigned User	Status	Assigned Date	Due Date	Completed Date
Fire Marshal 14	Fire Marshal	Ford, Alex	Approved	05/01/2025	05/21/2025	05/02/2025

PERMIT SNAPSHOT REPORT (25-0004-SPEVT)

Item Review Name	Department	Assigned User	Status	Assigned Date	Due Date	Completed Date
Legal 15	Legal	Dobson, Mimi	Approved	05/28/2025	06/06/2025	06/04/2025
Item Review Name	Department	Assigned User	Status	Assigned Date	Due Date	Completed Date
Parks & Recreation 14	Parks & Recreation	Bettmann, Daniel	Approved	05/01/2025	05/21/2025	05/16/2025
Item Review Name	Department	Assigned User	Status	Assigned Date	Due Date	Completed Date
Community Development 15	Planning & Zoning	Gibbons, Chris	Approved	05/01/2025	05/21/2025	05/06/2025
Item Review Name	Department	Assigned User	Status	Assigned Date	Due Date	Completed Date
Police 15	Police	Hughes, Josh	Approved	05/01/2025	05/22/2025	05/12/2025
Item Review Name	Department	Assigned User	Status	Assigned Date	Due Date	Completed Date
Traffic 15	Public Works Operations	Wicks, Andrew	Approved	05/01/2025	05/22/2025	05/22/2025
Comments: CBPD to handle traffic control coordination with Iowa DOT. PWT has no involvement for this event.						
Item Review Name	Department	Assigned User	Status	Assigned Date	Due Date	Completed Date
Risk Management 15	Risk Management	Branigan, Ron	Approved	05/01/2025	05/22/2025	05/07/2025
Comments: COI approved						
Workflow Step / Action Name			Action Type	Start Date	End Date	
Application Review v.1				05/01/2025	14:56	
Confirm application complete v.1			Generic Action		05/01/2025 14:59	
Add needed steps for PW Traffic, Council Approval, Police Contract, Verify Liquor License v.1			Generic Action		05/01/2025 14:59	
Special Event Review v.1			Receive Submittal	05/01/2025	0:00	
Issue Permit v.1						
Issue Permit v.1			Generic Action			