



**AGENDA**  
**PLANNING COMMISSION**  
**COUNCIL BLUFFS PUBLIC LIBRARY,**  
**400 WILLOW AVENUE, COUNCIL BLUFFS, IA**  
**Tuesday, June 10, 2025 - 6:00 PM**

- 1. CALL TO ORDER**
- 2. ROLL CALL**
- 3. ADOPTION OF AGENDA**
- 4. APPROVAL OF MINUTES**
- 5. PROOF OF PUBLICATION**
- 6. REVIEW OF MEETING PROCEDURES**
- 7. PUBLIC HEARINGS**

**A. CASE #PC-25-002**

Public hearing on the request of Huegerich Construction Inc., represented by FoleyShald Engineering, to adopt a PC/Planned Commercial development plan for a 124-unit extended stay hotel on property legally described as Lot 1, Morris Subdivision, Replat 1, City of Council Bluffs, Pottawattamie County, Iowa. Location: Undeveloped land located between 3501 23rd Avenue and 3320 Mid-America Drive.

**B. CASES #PR-21-001(M) and #SUB-25-005**

Combined public hearings on the request of Arbor Creek, LLC, represented by Neal Drickey, for preliminary plan approval of a 17-lot residential subdivision to be known as Arbor Creek 2nd Addition, legally described as Lot 2, Arbor Creek, and to amend the adopted PR/Planned Residential development plan for said property to allow construction of 16 attached single-family residential dwellings. Location: Undeveloped land lying south of 1020 Railroad Avenue.

- 8. OTHER BUSINESS**
- 9. ADJOURNMENT**

If you plan to attend this meeting and require special assistance please contact the Community Development Department at (712) 890-5350 at least 48 hours before the meeting.



## Planning Commission Communication

Department: Community  
Development

Case/Project No.: PC-25-002

CASE #PC-25-002

Council Action: 6/10/2025

Submitted by: Haley Weber,  
Planner

### Description

Public hearing on the request of Huegerich Construction Inc., represented by FoleyShald Engineering, to adopt a PC/Planned Commercial development plan for a 124-unit extended stay hotel on property legally described as Lot 1, Morris Subdivision, Replat 1, City of Council Bluffs, Pottawattamie County, Iowa. Location: Undeveloped land located between 3501 23rd Avenue and 3320 Mid-America Drive.

### Background/Discussion

See attached staff report.

### Recommendation

### ATTACHMENTS:

Description

Type

Upload Date

Staff report & Attachments

Other

6/5/2025



## Planning Commission Communication

Department: Community Development  CASE #PC-25-002  Applicant: Huegerich Construction Inc. Ryan Huegerich PO Box 203 Franktown, CO 80116  Property Owner: NXT Council Bluffs LLC 5050 Merle Hay Road Johnston, IA 50131  Represented by: FoleyShald Engineering 14503 Grover Street, Ste. 102 Omaha, NE 68144	Resolution No. _____	Planning Commission: 6/10/2025
---	----------------------	--------------------------------

### Subject/Title

**Request:** Public hearing on the request of Huegerich Construction Inc. to adopt a P-C/Planned Commercial development plan for a 124-unit extended stay hotel on property legally described as Lot 1, Morris Subdivision, Replat 1, City of Council Bluffs, Pottawattamie County, Iowa.

**Location:** Undeveloped land located between 3501 23<sup>rd</sup> Avenue and 3320 Mid-America Drive

### Background/Discussion

The Community Development Department has received an application from Huegerich Construction Inc., represented by FoleyShald Engineering, to adopt a planned commercial development plan for an extended stay hotel (Echo Suites Hotel) on property legally described as Lot 1, Morris Subdivision, Replat 1, City of Council Bluffs, Pottawattamie County, Iowa. The purpose of this request is to establish site development, off-street parking, architectural, landscaping and signage standards for the proposed hotel. The new hotel will consist of 124 guestrooms on a 2.24 acre (more/less) property. The submitted letter of intent, included as Attachment 'A', notes construction is intended to begin in late summer 2025 with a 14 to 16 month construction schedule.

### Land Use and Zoning

The subject property is zoned P-C/Planned Commercial District and is surrounded by the following land uses and zoning designations:

Direction	Zoning District(s)	Land Uses
North	I-2/General Industrial District	Automobile Sales and Rental Establishment (LazyDays RV)
South	P-C/Planned Commercial District	Indoor Recreation Facility (Iowa West Sports Plex)
East	P-C/Planned Commercial District	Restaurant (Quaker Steak and Lube)



West	I-2/General Industrial District	Warehousing and Distribution Facility (Doll Distributing)
------	---------------------------------	---

A location/zoning map is included as Attachment 'B'.

City Departments and Utilities

All appropriate City departments and utilities were notified of the proposed planned commercial development plan. The following comments were received:

A. The Council Bluffs Public Works Department had the following comments:

1. The site plan is noted. Engineering will continue to work with the Engineer of Record (EOR) to complete the plans to permit standards.
2. The EOR will need to provide a full drainage study for this project.
3. The EOR will need to supply additional documentation to support the ultimate design (i.e. Geotech, product specifications).

B. The Council Bluffs Fire Department stated they had no comment on the request.

C. The Council Bluffs Police Department stated they have no comment or objections to the request.

D. Council Bluffs Water Works stated they had no comment on the request.

E. Mid-American Energy stated they have no conflict with the request and noted the developer or their agent is required to contact MidAmerican Energy directly to discuss development plans, project timeline, costs, and responsibilities associated with the extension of electric service for the proposed project.

Planned Commercial Development Plan

Section 15.18.010, Statement of Intent, P-C/Planned Commercial District, of the Council Bluffs Municipal Code (Zoning Ordinance) states that "*the P-C district is intended to provide for the development of retail shopping centers, hotel/motel services, destination resorts, and office parks. Facilities in planned commercial districts are designed to be used in common, such as ingress and egress roads, extensive parking accommodations, proper relations to traffic arteries, and compatibility with surrounding uses. Because large retail/service centers have significant impact upon the development of the city, final authority over their development shall be retained by the city council, with extensive review by the planning commission.*" The applicant is proposing to adopt a planned commercial development plan for the subject property in order to establish site development, off-street parking, architectural, landscaping and signage standards for the proposed extended stay hotel (Echo Suites Hotel).

**A. Site Development**

1. All principal and accessory structures shall have a minimum perimeter setback of 10 feet from all property lines.
2. The maximum height for all structures shall not exceed 50 feet, as measured from finished grade to the peak of the roof.
3. No more than 15% of the total lot area shall be covered with structures.



4. No fencing is proposed at this time. Any future fencing shall be installed in accordance with Section 15.24.040, Fence Regulations, of the Council Bluffs Municipal Code (Zoning Ordinance).
5. All solar energy conversion systems shall be installed in accordance with Chapter 15.34.030, Solar Energy Conversion Systems, of the Council Bluffs Municipal Code (Zoning Ordinance).
6. The submitted site plan, included as Attachment 'C', shows an enclosed dumpster in the southwest corner of the parking lot. Per the submitted plans, the dumpster enclosure will be eight (8) feet tall wall comprised of split face concrete masonry unit (CMU) with a metal gate. Said dumpster and any trash receptacles and/or dumpsters visible from a public right-of-way shall be enclosed on three sides with a masonry, wood, or vinyl fence and have a lockable gate that when closed completely eliminates view of the dumpster. Any walls or fencing installed to enclose a trash receptacle/dumpster shall be allowed to extend no more than six inches from the peak of the trash receptacle/dumpster it is screening.
7. Outdoor storage of materials, products, equipment, or packaging shall not be permitted. This includes the semi-permanent and/or permanent placement of inter-modal storage/shipping containers.
8. All exterior lighting shall conform to Section 15.24.050, Lighting Controls, of the Council Bluffs Municipal Code (Zoning Ordinance). Any proposed outdoor light poles shall be constructed out of painted or finished aluminum or steel. Wood poles shall not be accepted. The maximum height shall not exceed 25 feet.
  - a. A detailed photometric plan showing the location and type of light fixtures shall be submitted at +the time of permit review.
9. The submitted site plan, included as Attachment 'C', shows a sidewalk along the westerly side of the entrance drive off Mid America Loop and a sidewalk stubbed out to the northerly property line to facilitate future sidewalk connections in this area. All sidewalks shown on the proposed site plan shall be installed prior to issuance of a Certificate of Occupancy for the hotel.
10. All utilities shall be installed underground. Any cost to remove, relocate, modify, and/or extend utilities to this site shall be at the sole cost of the developer and not the City.
11. All grading and drainage activity for this development shall be completed in accordance with Public Works standards.

## **B. Off-Street Parking**

1. The minimum number of off-street parking spaces shall be calculated using the parking requirements in Section 15.23.060, Parking Spaces Required, of the Council Bluffs Municipal Code (Zoning Ordinance). In cases where several uses occupy a structure or parcel of land, the total requirement for off-street parking shall be the sum of the requirement of the different uses.
  - a. The total number of required off-street parking for a 'hotel/motel' is based on a calculation of one parking space per guest room, as per Section 15.23.060, Parking Spaces Required, of the Council Bluffs Municipal Code (Zoning Ordinance). The submitted application states the hotel will contain 124 guestrooms, which equates to a minimum of 124 required off-street parking spaces. The submitted site plan shows that 124 parking spaces will be provided, which meets the minimum required.
2. The Americans with Disabilities Act (ADA) requires a minimum of five (5) accessible parking spaces for parking lots containing 101 to 150 off-street parking stalls. The submitted plans show a total of 124



stalls but only three (3) accessible parking spaces. The parking lot plan submitted at the time of permit applications shall be revised to meet the minimum five (5) accessible spaces required. All off-street parking lots shall comply with Chapter 661-18, Parking for Persons with Disabilities, of the Iowa Administrative Code.

3. All off-street parking areas, driveways and drive aisles shall comply with the standards in Chapter 15.23, Off-Street Parking, Loading and Unloading, of the Council Bluffs Municipal Code (Zoning Ordinance), and Iowa's Statewide Urban Design and Specifications (SUDAS) manuals for public improvements.
4. Bicycle parking shall be incorporated into the overall layout of the site.
  - a. Designated bicycle parking areas shall be located within a reasonable distance of, and clearly visible from, the main entrance of each building. Bicycle parking may alternatively be provided in a publicly accessible indoor location within a convenient distance of the main building entrance.
  - b. Bicycle racks shall be secured to the pavement in a location that does not conflict with pedestrian or vehicular circulation routes.
  - c. A minimum of four (4) bicycle parking spaces shall be provided for the proposed development.
  - d. Bicycle parking shall be installed prior to the issuance of the Certificate of Occupancy for the proposed hotel.
5. A parking lot permit shall be submitted with every building permit application, and shall include the number, location, and dimension of all drive aisles and spaces, bicycle parking, pedestrian ways, islands, landscaped areas, loading areas and lighting.

## **C. Architecture**

1. Architectural renderings/building elevations for the proposed hotel are shown in Attachment 'D.' The building exterior is primarily made up of EIFS, with a brick veneer base on the south, east, and west facades. The north façade partially utilizes a brick base with a vertical green EIFS accent breaking up said base. The facades utilize four different colors of EIFS to help provide visual interest and horizontal and vertical breaks. The Community Development Department recommends the proposed architectural renderings be accepted as proposed.
2. Louvers, vents, or similar features shall be generally compatible with the façade to which it is attached.
3. All rooftop mounted mechanical equipment that is visible from an adjacent public street right-of-way shall be screened from view using architectural design features.
4. All ground-mounted mechanical equipment that is visible from an adjacent public street right-of-way shall be completely screened from view using architectural design features, fencing, masonry wall, landscaping, or a combination thereof.

## **D. Landscaping**

1. The submitted landscaping plan, included as Attachment 'E', shows the following landscape plantings:
  - a. Three (3) Ginkgo trees along the southerly property line;



b. Two (2) Ginkgo, Three (3) Swamp White Oaks, Six (6) Dogwood, and Four (4) Magnolia Trees in parking perimeter and/or landscape peninsulas; and

c. 103 Wintercreeper foundation plantings evenly spaced around all four building facades, exclusive of entrances.

The Community Development Department recommends that the landscaping plan be accepted as shown.

2. A landscaping plan shall be submitted with the building permit application. The plan shall clearly identify plant materials, quantity, and size and shall show dimensions of all areas to be landscaped.
3. Not less than 10% of the total lot area shall be landscaped with trees, shrubs, and other plant materials.
4. All parking lot islands and peninsulas shall be planted with a minimum of one canopy shade tree and ground cover vegetation (e.g., shrubs, sod, mulch or river rock, etc.).
5. A minimum five-foot wide landscape strip shall be provided between all parking surfaces and each abutting property line. The five foot-wide strips may be included in the 10% landscaping lot coverage requirement.
6. All tree species planted along the frontage of a public right-of-way shall comply with the Council Bluffs Street Tree Guide and be reviewed and approved by the City prior to installation. Trees planted on private property shall consist of drought resistant species native to Iowa.
7. Landscaping shall not impede the vision of any motorist, cyclist or pedestrian at the street, driveway or pedestrian way.
8. All disturbed areas without a specific landscape design shall be hydroseeded, or planted with sod, turf, and/or prairie grass.
9. Not more than 10% of the landscaped area shall be of inorganic materials such as brick, stone, aggregate, metal or artificial turf. Organic mulch may be used around trees and/or shrubs.
10. All landscaping shall be appropriately maintained and dead plant material replaced at a time appropriate to planting season(s) but in all cases shall be replaced within one year.

#### **E. Signage**

1. The submitted architectural elevations, included as Attachment 'D', show the following signage:

<b><u>Facade</u></b>	<b><u>Attached Wall Signage</u></b>	<b><u>Approximate Size (Sq. Ft.)</u></b>
North	"Echo Suites"	68
East	Extended Stay by Wyndham"	15
West	"Echo Suites"	83
	"Extended Stay by Wyndham"	15
	"Extended Stay by Wyndham"	12
<i>Total:</i>		<i>193</i>

No detached signs were included in the submitted plans.



2. The following signage shall be allowed on the property:
  - a. The total maximum amount of signage for the property shall not exceed 450 square feet.
  - b. Detached signage. A maximum of one detached ground/monument sign shall be allowed per street frontage, and shall be limited to a maximum height of ten feet, as measured from finished grade to the highest point of the sign structure. The entire monument sign shall be counted as signage as measured from finished grade to the highest point of the monument and from one side of the monument structure to the other. The maximum sign area shall not exceed 100 square feet of signage per face.
  - c. Attached signage. Attached signage shall be limited to 15 percent of the building façade to which it is attached. Attached signage may be placed at any location on the building but shall not extend beyond the corner of the wall to which it is attached, nor beyond or above the roof of the building to which it is attached.
  - d. Directional signage. On-site directional signage shall count toward the overall amount of signage allowed on the subject property. Each sign shall be limited to a maximum height of six feet, as measured from finished grade to the highest point of the sign structure, and shall be limited to a maximum of eight square feet.
3. No sign listed in Section 15.33.070, Prohibited Signs, of the Council Bluffs Municipal Code (Zoning Ordinance) shall be permitted.
4. All signage shall be permitted separately prior to installation.

#### **Recommendation**

The Community Development Department recommends approval of the request of Huegerich Construction Inc. to adopt a P-C/Planned Commercial development plan for a 124-unit extended stay hotel on property legally described as Lot 1, Morris Subdivision, Replat 1, City of Council Bluffs, Iowa, subject to the comments stated above and the following condition:

- A. Any modifications to the approved development plan which substantially alter the design, layout, configuration, and/or appearance of the project shall be reviewed the City Planning Commission and approved by City Council prior to such changes being made. All minor modifications to the adopted development plan may be administratively approved by the Community Development Director.

#### **Attachments**

Attachment A: Letter of Intent  
Attachment B: Location/Zoning Map  
Attachment C: Site Plan  
Attachment D: Architectural Elevations  
Attachment E: Landscaping Plan

Prepared by: Haley Weber, Planner, Community Development Department





To Whom it may concern:

NXT Development LLC in coordination with HCI is planning to bring a 124 unit extended stay hotel to the Mid American Loop in Council Bluffs IA. This hotel will be a 4 story, interior corridor property with a full elevator to all levels along with 124 parking stalls. This property will also have full on site stormwater detention and 1 form of ingress/egress from the site. We plan to begin construction on the building late summer 2025 with a 14-16 month construction schedule.

Sincerely, Ryan Huegerich  
President HCI  
Member NXT Development LLC






# CITY OF COUNCIL BLUFFS - CITY PLANNING COMMISSION

## CASE #PC-25-002 LOCATION/ZONING MAP

### Legend

 Subject Property  
Case #PC-25-002

0 75 150

1 inch = 114 feet

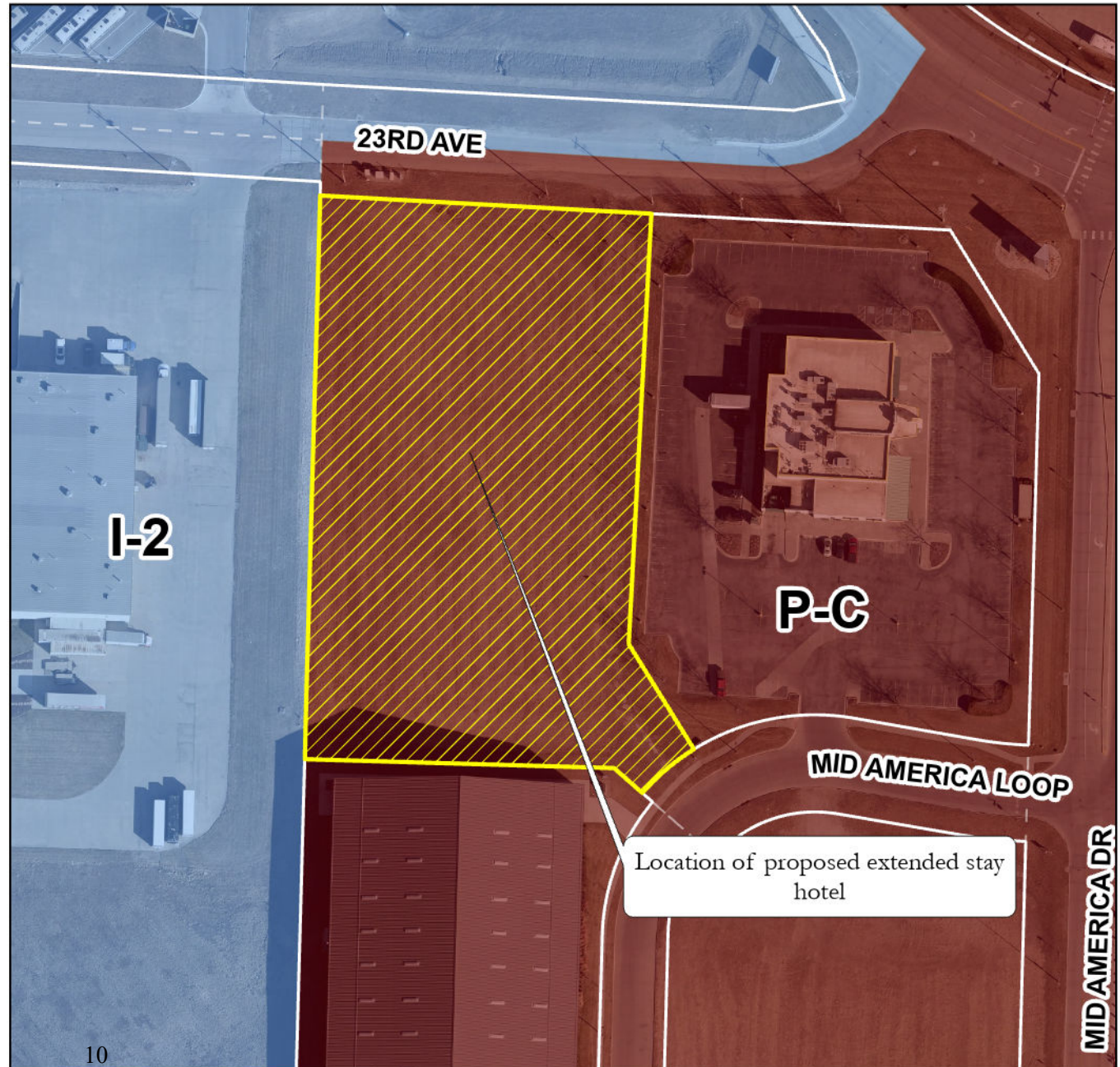


Last Amended: 5/20/2025

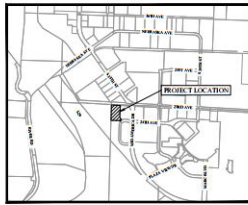


Council Bluffs Community  
Development Department  
209 Pearl Street  
Council Bluffs, IA 51503  
Telephone: (712) 890-5350

**DISCLAIMER**  
This map is prepared and compiled from City documents, plans and other public records data. Users of this map are hereby notified that the City expressly disclaims any and all responsibility for errors, if any, in the information contained on this map of the nature of the same by the user or anyone else. The user should verify the accuracy of information/data contained on this map before using it. The City assumes no legal responsibility for the information contained on this map.





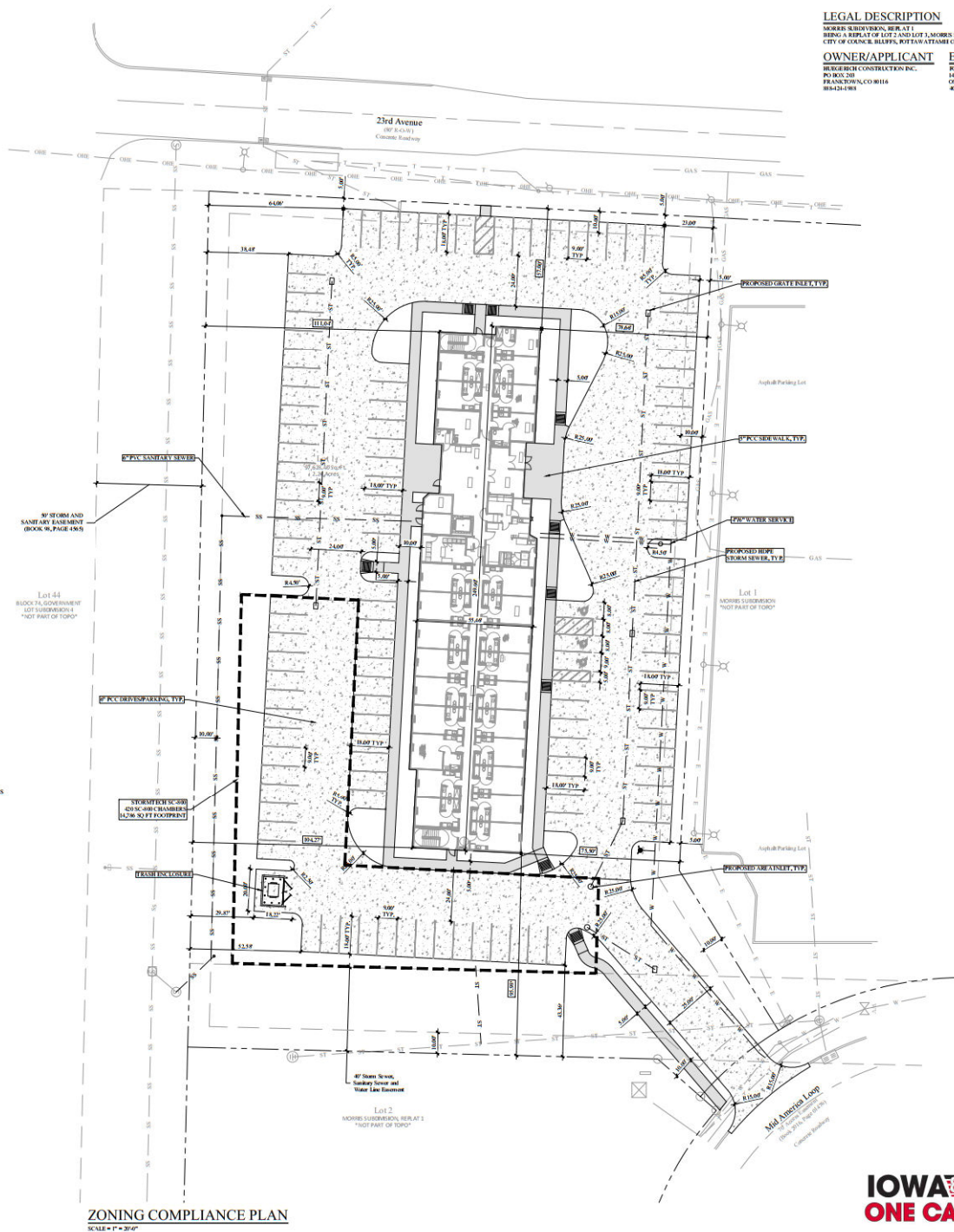
VICINITY MAP  
NOT TO SCALE

## LEGEND

---	EXISTING MAJOR CONTOUR
---	EXISTING MINOR CONTOUR
---	EXISTING PAVEMENT
---	EXISTING PROPERTY LINE
---	EXISTING EASEMENT
SS	EXISTING SANITARY SEWER
E	EXISTING UNDERGROUND ELECTRIC
OH	EXISTING OVERHEAD ELECTRIC
W	EXISTING WATER MAIN
ST	EXISTING STORM SEWER
ST	EXISTING COMMUNICATION LINES
---	PROPOSED SANITARY SEWER
SS	PROPOSED UNDERGROUND DETENTION SYSTEM
---	PROPOSED SANITARY SEWER
W	PROPOSED WATER MAIN
---	PROPOSED PROPERTY LINE
---	PROPOSED BUILDING WALL
---	PROPOSED 6" PCC PARKING DRIVEWAYS
---	PROPOSED 5" PCC SIDEWALK
---	PROPOSED CURB INLET
---	GAS VALVE
---	FIRE HYDRANT
---	POWER POLE
---	SANITARY MANHOLE
---	STORM MANHOLE
---	CURB INLET
---	LIGHT POLE

## SITE REGULATORS

	ALLOWED BY AC. MIN.	PROPOSED 2.17 AC. (97,261.46 SQ. FT.)	COMMENTS
A. SITE AREA	-	-	
B. MINIMUM WIDTH	-	-	
C. GROSS FLOOR AREA (TOTAL FINISHED)	-	12,792 SF	
D. FAR (CA)	-	0.13	
E. SETBACK			
FRONT YARD	30 FT	30.36 FT	
STREET SIDE YARD	30 FT	N/A	
INTERIOR SIDE YARD	30 FT	75.30 FT	
REAR YARD	30 FT	30 FT	
F. HEIGHT	-	45 FT	
G. BUILDING COVER (%)	40%	17%	
H. BUFFER VIEWS COVER (%)	50%	45%	
I. PARKING REQUIREMENTS	124 STALLS (1 SMALL CAR AND 8000)	124 STALLS	INCLUDES ADA STALLS
J. ACCESSIBLE PARKING STALL	N/A	3 STALLS	
K. BUFFER YARDS	N/A	N/A	
L. LANDSCAPING	9,783 SQ. FT. MIN. 10% SITE LANDSCAPING	36,737 SQ. FT.	

ZONING COMPLIANCE PLAN  
SCALE = 1" = 30' 0"

## LEGAL DESCRIPTION

MORRIS SUBDIVISION, HEREIN AT 1  
BEING A REPLAT OF LOT 2 AND LOT 3, MORRIS SUBDIVISION,  
CITY OF COUNCIL BLUFFS, IOWA, ATTACHE COUNTY, IOWA.

OWNER/APPLICANT  
BIRCHBACH CONSTRUCTION INC.  
PO BOX 20  
PRINCETON, CO 80116  
303-424-1363

## LEGAL DESCRIPTION

SITE INFORMATION  
ZONING: PC

ENGINEER  
FOLEYSHALD ENGINEERING  
14301 GROVER STREET, SUITE 102  
OMAHA, NE 68144  
402-493-3783

SURVEYOR  
CATLETT SURVEYING  
14301 GROVER STREET, SUITE 102  
OMAHA, NE 68144  
402-493-3783



## CIVIL SHEET INDEX

SHEET NO.	DESCRIPTION
C1.01	ZONING COMPLIANCE PLAN
C1.02	EXISTING CONDITIONS PLAN
C1.03	GRADING PLAN
C1.04	EROSION CONTROL PLAN
C1.05	EROSION CONTROL NOTES
C1.06	UTILITY PLAN
C1.07	STORM SEWER PLAN
C1.08	SEWER PLAN
C1.09	PAVING NOTES
C1.10	LANDSCAPE PLANS
C1.11	CONSTRUCTION DETAILS
C1.12	STORMWATER DETAILS

## REVISIONS

NUMBER	DATE	DESCRIPTION
--------	------	-------------

HCI Council Bluffs Hotel

Council Bluffs, IA

FSE: CA-4197

FSE #: 105.001

May 13, 2025



Zoning Compliance Plan

C1.01

IOWA  
ONE CALL





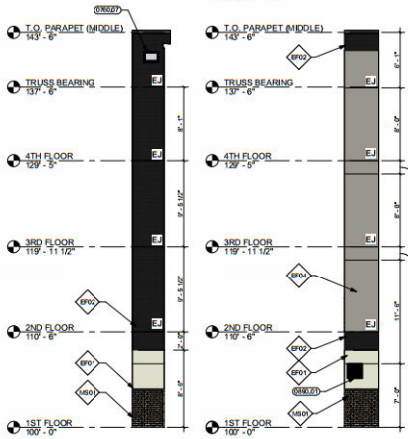








**6 ENLARGED WEST ELEVATION B**  
3/16" = 1'-0"



**5 ENLARGED NORTH ELEVATION F**  
3/16" = 1'-0"

**4 ENLARGED NORTH ELEVATION E**  
3/16" = 1'-0"



**3 ENLARGED NORTH ELEVATION D**  
3/16" = 1'-0"

**2 ENLARGED NORTH ELEVATION C**  
3/16" = 1'-0"



**1 ENLARGED WEST ELEVATION A**  
3/16" = 1'-0"

#### GENERAL NOTES

1. SEE SHEET 0200 FOR ADDITIONAL GENERAL NOTES THAT ARE APPLICABLE.
2. CONTRACTOR TO VERIFY LOCATION OF SIGN WITH OWNER AND PROVIDE BLOCKING AND ELECTRICAL AS REQUIRED.
3. DIMENSIONS SHOWN ON THE EXTERIOR ELEVATIONS ARE TO THE FACE OF EXTERIOR WALL, FACE OF MASONRY, FINAL FACE OF CONCRETE WALLS/COLUMNS AND COLUMN GRIDDLE LINES, OTHERWISE NOTED OR INDICATED.
4. RE: THE WINDOW TYPES SHEET FOR ALL EXTERIOR WINDOW TYPES AND GLASS TYPES.
5. EXTERIOR DOORS TO MATCH ADJACENT FINISH COLOR.
6. INSTALL EXPANSION JOINTS AT ENTRY CORNERS AND FLOOR LINES.
7. CONTRACTOR TO PROVIDE SAMPLE OF EXTERIOR WALL FINISH AND COLOR TO ARCHITECT AND ARCHITECT FOR APPROVAL PRIOR TO FINISHING.
8. REINFORCE ALL EPS BELOW 8" AFF WITH DRYVIT PAPER MESH IN ADDITION TO STANDARD PLUS MESH.
9. ALL EPS JOINT LINES ARE AESTHETIC TYPE JOINTS (NO LUG).
10. ALL CONDENSATE LINES THAT DRAINAGE TO BE PAINTED TO MATCH ADJACENT BUILDING COLOR.
11. EXTERIOR LOUVERS EXCEPT FOR IN-TAC LOUVERS ARE TO MATCH ADJACENT FINISH COLOR.
12. RE: INSIDE ELEVATIONS FOR INTERIOR FINISHES.
13. WHERE EPS THROUGH WALLS, PROVIDE 45 DEGREE BEND ROOF DRAIN LEADER LINES. EXTERIOR ROOF DRAIN SHALL BE INSTALLED AS CLOSE TO THE BUILDING STRUCTURE AS FEASIBLE TO MINIMIZE GAPS.
14. PROVIDE MFR APPROVED PAINT TO PAINT EXTERIOR EXPOSED P/FAC SLABES TO MATCH COLOR OF ADJACENT GRILLE.

#### LEGEND

PATTERN	DESCRIPTION
	GLAZING G1 STOREFRONT WINDOW ALUMINUM FRAME COLOR: DARK BRONZE ANOD. G2 7" CLEAR INSULATED LOW-E POST APPLIED W/SL COLOR: WHITE FLAT
	PREFINISHED METAL CORNERS & SOFFITS COLOR: PAINT TO MATCH DARK BRONZE WHEN DARK METAL IS REQUIRED BY: KODIBLACK FOR PPG KOD-3 FINISH
	EPS WALL PANEL EPF1 COLOR: ECHO IS 1000 ST DRYVIT #102 NATURAL WHITE TEXTURE: SANDBLAST PAINT FOR DOORS, TRIMS, ADJACENT SURFACES: BY: KODIBLACK FOR PPG KOD-3 FINISH EPF2 COLOR: ECHO IS 1000S DRYVIT #102 NATURAL WHITE TEXTURE: SANDBLAST PAINT FOR DOORS, TRIMS, ADJACENT SURFACES: BY: KODIBLACK FOR PPG KOD-3 FINISH EPF3 COLOR: ECHO IS 1000S DRYVIT #102 NATURAL WHITE TEXTURE: SANDBLAST PAINT FOR DOORS, TRIMS, ADJACENT SURFACES: BY: KODIBLACK FOR PPG KOD-3 FINISH EPF4 COLOR: ECHO IS 1000 ST DRYVIT #102 NATURAL WHITE TEXTURE: SANDBLAST PAINT FOR DOORS, TRIMS, ADJACENT SURFACES: BY: KODIBLACK FOR PPG KOD-3 FINISH
	BASIS OF DESIGN SYSTEM DRYVIT OUTLINE FINISH 102 EPS WITH MOISTURE DRAINAGE
	POINT OF CONTACT BOB DAVIS, DRYVIT SYSTEMS BOARD, LITRECH.COM 734-766-6955 NOTE: PROVIDE "TITRATON" HIGH PERFORMANCE COLORANT FOR ALL COLOR MATCHES
	GRILLE COVER FOR LINE OF MOISTURE DRAINAGE AND LOUVERS DARK BRONZE
	POTENTIAL BRIDGE LOCATION
	OPTIONAL PRE-MANUFACTURED CANOPY, TBD BY OWNER
	MASONRY MSB1 MANUFACTURED CERAMICS COLOR: DUNE GREY 800 2 1/2" BRICK VENEER 2 1/2" MORTAR PATTERNS: HALF RUNNING BOND MSB2 MANUFACTURED CERAMICS COLOR: DUNE GREY 800 2 1/2" BRICK VENEER 2 1/2" MORTAR PATTERNS: HALF RUNNING BOND MORTAR MORTAR LA TONITE 1000S PORTLAND CEMENT COLOR: 17 SANDS BEIGE CONTACT BRASS/BLACK BRONZE FOR 1/2" BRASS

#### KEYNOTES

- 020007 HOT-DIP GALVANIZED METAL OVERLAP WITH EPS  
020036 HOT-DIP GALVANIZED METAL SCUPPER, CONDUCTOR HEAD AND DOWNSPOUT WITH PREFINISHED METAL FACING  
020001 PREFINISHED ALUMINUM LOUVER (RE: MECHANICAL)

#### KEYNOTES

- 020005 CLOTHES DRYER VENT WITH FLAP  
020003 SURFACE-MOUNTED LIGHT FIXTURE



PROTOTYPE V2.0 DRAWINGS

**ECHO SUITES**  
1234 Street  
Council Bluffs, IA

PRELIMINARY

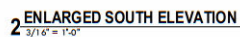
PROFESSIONAL SEAL

**A2.03**

ISSUE DATE: 4/2/25

EXTERIOR ELEVATIONS





- [illegible]

[illegible]

**ECHO SUITES**  
1234 Street  
Council Bluffs, IA

[illegible]

## PRELIMINARY

PROFESSIONAL SEAL

## A2.04











ISSUE DATE: 4/2/25

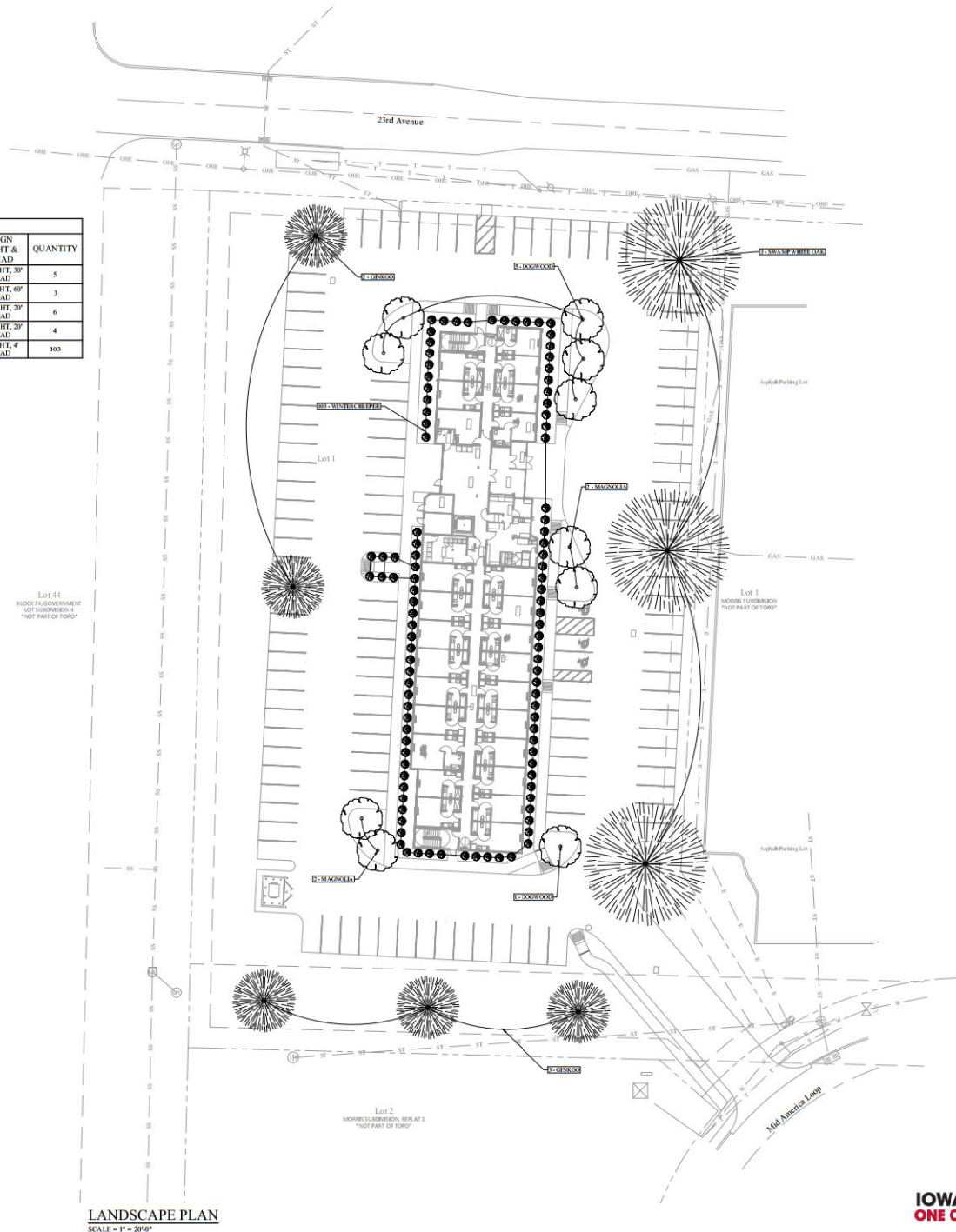
## EXTERIOR ELEVATIONS



PLANT SCHEDULE					
LOCATION	BOTANICAL NAME	COMMON NAME	SIZE & METHOD OF HANDLING	DESIGN HEIGHT & SPREAD	QUANTITY
STREET TREE ON-ART LANDSCAPING	GINKGO BILBOA	GINKGO	2" CAL. B & B	50' HEIGHT, 30' SPREAD	3
	QUERCUS BICOLOR	SWAMP WHITE OAK	2" CAL. B & B	60' HEIGHT, 60' SPREAD	5
	CORNUS MAS	DOGWOOD, CORNEL CHERRY	2" CAL. B & B	25' HEIGHT, 20' SPREAD	6
	MAGNOLIA SPP.	MAGNOLIA	2" CAL. B & B	25' HEIGHT, 20' SPREAD	4
	ELAUNOMY FORTUNEI	WINTERCREPER	2 GAL. D & D	3' HEIGHT, 4' SPREAD	100

### LEGEND

- |   |                                       |
|---|---------------------------------------|
| ----  | EXISTING PAVEMENT                     |
| ----  | EXISTING PROPERTY LINE                |
| ----  | EXISTING CASSEMENT                    |
| SS SS   | EXISTING SANITARY SEWER               |
| E E   | EXISTING UNDERGROUND ELECTRIC         |
| CHC CHC   | EXISTING OVERHEAD ELECTRIC            |
| W W   | EXISTING WATER MAIN                   |
| ST ST   | EXISTING STORM SEWER                  |
| T T   | EXISTING COMMUNICATION LINES          |
| ST ST   | PROPOSED STORM SEWER                  |
| -----   | PROPOSED UNDERGROUND DETENTION SYSTEM |
| W W   | PROPOSED WATER MAIN                   |
| -----   | PROPOSED PAVEMENT                     |
| -----   | PROPOSED PROPERTY LINE                |
| -----   | PROPOSED RETAINING WALL               |
| -----   | PROPOSED CURB INLET                   |
|    | GAS VALVE                             |
|    | FIRE HYDRANT                          |
|    | POWER POLE                            |
|    | SANITARY MANHOLE                      |
|   | STORM MANHOLE                         |
|  | CURB INLET                            |
|  | LIGHT POLE                            |
|  | PROPOSED SHRUB                        |
|  | PROPOSED ORNAMENTAL TREE              |
|  | PROPOSED CANOPY TREE                  |



## REVISIONS

NUMBER	DATE	DESCRIPTION
--------	------	-------------

HCI Council Bluffs Hotel

Council Bluffs, IA

FSE: CA-4197  
FSE #: 105.001

May 13, 2025



Landscape Plan

C6.01



## Planning Commission Communication

Department: Community  
Development

Case/Project No.: PR-21-001(M)  
and SUB-25-005

CASES #PR-21-001(M) and  
#SUB-25-005

Council Action: 6/10/2025

Submitted by: Christopher N.  
Gibbons, AICP, Planning Manager

### Description

Combined public hearings on the request of Arbor Creek, LLC, represented by Neal Drickey, for preliminary plan approval of a 17-lot residential subdivision to be known as Arbor Creek 2nd Addition, legally described as Lot 2, Arbor Creek, and to amend the adopted PR/Planned Residential development plan for said property to allow construction of 16 attached single-family residential dwellings. Location: Undeveloped land lying south of 1020 Railroad Avenue.

### Background/Discussion

See attached staff report.

### Recommendation

### ATTACHMENTS:

Description

Staff Report & Attachments

Type

Other

Upload Date

6/5/2025



## Planning Commission Communication

Department: Community Development  CASES #SUB-25-005 & PR-25-001(M)  Applicant/Property Owner: Arbor Creek, LLC 2023 South 181 <sup>st</sup> Circle Omaha, NE 68130  Engineer/Surveyor: HGM Associates, Inc. 640 5 <sup>th</sup> Avenue Council Bluffs, IA 51501	Resolution No. _____  Resolution No. _____	Planning Commission: 6/10/2025
<b>Subject/Title</b>		
<p><b>Requests:</b> Combined public hearings on the request of Arbor Creek, LLC, represented by Neal Drickey, for preliminary plan approval of a 17-lot residential subdivision to be known as Arbor Creek 2<sup>nd</sup> Addition, legally described as Lot 2, Arbor Creek, and to amend the adopted PR-1/Planned Residential development plan for said property to allow construction of 16 attached, single-family residential dwellings.</p> <p><b>Location:</b> Undeveloped land lying south of 1020 Railroad Avenue</p>		
<b>Background</b>		
<p>The Community Development Department has received the following requests from Arbor Creek, LLC, represented by Neal Drickey, for property legally described as Lot 2, Arbor Creek (see Attachments A through C):</p> <ol style="list-style-type: none"> <li>1. Case #SUB-25-005: Preliminary plan approval of a 17-lot residential subdivision to be known as Arbor Creek 2<sup>nd</sup> Addition; and</li> <li>2. Case #PR-21-001(M): Amend the adopted PR-1/Planned Residential development plan for said property to allow construction of 16 attached single-family residential dwellings.</li> </ol> <p>In May 2021, the Council Bluffs City Council granted approval of the applicant's request to develop the subject property into a 27-lot subdivision, to be known as Arbor Creek 2<sup>nd</sup> Addition (see Attachment E). The development was master planned to include a mixture of townhomes, single-family residential dwellings (detached), and outlots for stormwater detention. After receiving approval from the City, the applicant was notified by their engineer that a significant amount of floodplain/wetlands exist on the property. Due to the size and location of the floodplain/wetlands, the applicant determined their 27-lot residential subdivision was not feasible to construct and looked for other development alternatives for the property.</p> <p>In February 2024, the applicant proposed to rezone the property from R-2/Two-Family Residential District to C-1/Neighborhood Commercial District; amend the future land use plan of the Bluffs Tomorrow 2030 Comprehensive Plan by reclassifying the subject property from 'Medium Density Residential' to 'Local Commercial'; and repeal the previously approved PR/Planned Residential Overlay that was appended onto the subject property in 2021 to develop the property with a multi-tenant commercial strip. These requests were denied by City Council.</p>		



The applicant now proposes to develop the property with 16 attached single-family dwellings and one out lot. Proposed Lots 1-16 will be developed with the single-family attached dwellings with Outlot A being reserved for stormwater detention purposes. The subject property is zoned R-2/Two-Family Residential District, which allows “dwelling, single-family attached” as a “by-right” permitted use. The purpose of these requests is to subdivide the property and create site development/layout and design standards relevant to the proposed single-family attached dwellings. If approved, the previously approved PR/Planned Residential development plan, adopted by Resolution No. 21-144, will be repealed and replaced with the applicant’s new proposed plan.

### Zoning/Land Use

The subject property is zoned R-2/Two-Family Residential District with an appended PR/Planned Residential Overlay and is surrounded by the following zoning districts and land uses:

Direction	Existing Zoning Districts	Existing Land Uses
North	A-2/Parks, Estates, and Agricultural District, R-4/High Density Multi-Family Residential District, and C-2/Commercial District	Midlands Humane Society, commercial storage, multi-family apartments, and Sherwood Plaza Shopping Center
South	A-2/Parks, Estates, and Agricultural District and R-1/Single-Family Residential District	Single-family dwellings and undeveloped land
East	A-2/Parks, Estates and Agricultural District, R-3/Low Density Multi-Family Residential District, and R-1/Single-Family Residential District	Railroad Avenue, single-family residential dwelling, Burlington Northern Railroad, and Iowa Western Community College, College View Elementary, multi-family apartments, attached single-family dwellings, and St. Patrick’s Church
West	R-1/Single-Family Residential District and A-2, Parks, Estates, and Agricultural District	Single-family dwellings and undeveloped land

A location/zoning map is included with this report as Attachment ‘D.’

Public notices were mailed to all property owners within 200 feet of the subject property and to Mr. Ronald Wolfe (President, Indian Hills Neighborhood Association). Said notices are not required by ordinance since this request did not involve a change to the City’s Zoning Map. City staff sent the notices as a courtesy since the proposed development differs substantially from the single-family/townhome development, which was approved at this location in 2021. No comments have been received from the public as of the date of this report.

### **CASE #SUB-25-005**

The proposed Arbor Creek 2<sup>nd</sup> Addition subdivision is comprised of 6.19 acres (more/less) of land and contains 16 buildable lots and one outlot. Lots 1 - 16 will be developed with single-family attached dwellings and Outlot A will be utilized for stormwater detention. A new private street is proposed to be constructed to provide access to each of the attached, single-family dwellings from Railroad Avenue. All proposed lots will be fully served with utilities (e.g., sanitary/storm sewers, water, gas, electricity, telecommunications, etc.). The applicant intends to develop the entire subdivision as one phase.



### Comments

1. Approval of the preliminary plan is tentative and does not constitute acceptance of the final plat, “but shall be deemed to be an authorization to proceed with the preparation of the final construction plans or performance guarantee and the final plat” (§14.11.060(D)—Subdivision Ordinance). A final plat application for the first phase must be filed within one year of the date of action by the City Council. A request for extension may be made by the sub-divider in writing prior to the expiration date. One-year extensions are considered by the City Planning Commission.
2. The proposed subdivision is generally consistent with the purpose and intent of Title 14: *Subdivisions* and Title 15: *Zoning* of the Council Bluffs Municipal Code. The future land use plan of the Bluffs Tomorrow: 2030 Plan (Comprehensive Plan) designates the subject property as Medium Density Residential. The proposed single-family attached development is consistent with the Medium Density designation.
3. The subject property is zoned R-2/Two-Family Residential District with an appended PR/Planned Residential Overlay. Single-family attached dwellings are allowed by-right within an R-2 District with a minimum lot size of 2,500 square feet, as per Section 15.09, *R-2/Two-family Residential District* of the Council Bluffs Municipal Code. The proposed preliminary subdivision plan shows Lots 1-16 will range in size between 40 and 45 feet wide by 100 feet deep. The proposed lot sizes comply with the minimum 2,500 square feet required for an attached single-family dwelling in an R-2 District.
4. Lots 1 - 16 will be developed with single-family attached dwellings. Each buildable lot will be contained to the raised area of the site that is not located within a floodplain and/or wetland area. All construction activity on Lots 1-16 shall comply with the amended PR/Planned Residential development plan for Arbor Creek 2<sup>nd</sup> Addition (see Case #PR-21-001(M)).
5. Outlot A will be utilized as stormwater detention. A note shall be stated on the final plat that dedicates all maintenance of Outlot A to the subdivision’s homeowner’s association.
6. A private roadway with a hammerhead turnaround is proposed to be constructed to provide vehicular and utility access to each lot. The private driveway will be 25 feet wide and centered within a 50-foot-wide access/utility easement area. The private driveway must be identified as an out lot on the final plat for the purpose of establishing a boundary for said access/utility easement area and front property lines for each of the proposed attached single-family dwellings units. If the developer wants to dedicate the private driveway to the city as a public roadway, they will need to work with the City’s Public Works Department on a revised design for the street prior to the commencement of road construction and submitting a final plat.
7. The land within this subdivision is located within Flood Zones ‘AE’ and ‘0.2%’ according to FEMA map panel number 19155C0418F, dated 4/16/2013. With adequate engineering and construction controls, the land in this subdivision is suitable for development, subject to compliance with all applicable floodplain regulations.
8. The standard 5-foot and 10-foot utility easement along the front and side lot lines are shown on the preliminary subdivision plan. Since Lots 1 through 16 will be developed with an attached single-family dwelling, the five-foot-wide utility easement, along the property lines with a shared common wall, will need to be omitted from the final plat.
9. Any future street lights shall meet the Public Works Department standards and shall be installed when the roadway is constructed. All costs associated with the installation of street lights shall be the responsibility of the developer and not the City.
10. All proposed lots will be fully served with utilities (e.g., sanitary/storm sewers, water, gas, electricity, telecommunications, etc.). Any costs to construct, remove, and/or relocate any utilities for the proposed subdivision shall be the responsibility of the applicant and not the City.
11. A five-foot-wide sidewalk is shown to be constructed on both sides of the private roadway. Sidewalk installation along the frontage of proposed Lots 1 through 16 shall be completed prior to issuance of a Certificate of Occupancy on each lot, at no cost to the City. Sidewalk installation along the sides of the private roadway that do not immediately front a developable lot shall be completed at the time of roadway construction. All costs to construct said sidewalks shall be at the expense of the applicant and not the City of Council Bluffs.



12. Council Bluffs Fire and Police Departments stated they have no comments for the proposed subdivision.
13. Council Bluffs Water Works stated they're able to serve the development with water.
14. Council Bluffs Public Works Department stated all of their previous comments regarding utilities, grading, stormwater management, and roadway design still apply to the property. Public Works also noted they will continue to work with the applicant's engineer of record on their final civil plan designs.
15. MidAmerican Energy stated they have no conflicts with the proposed subdivision and that the applicant and/or their engineer should contact them to discuss project timelines and provide the necessary documentation for extending electrical service within the development.

#### **Case #PR-21-001(M) – Planned Residential Development Plan**

Section 15.28.010, Statement of Intent, PR/Planned Residential Overlay, of the Council Bluffs Municipal Code (Zoning Ordinance) states that *"the Planned Residential Overlay is established to permit flexibility in the use and design of structures and land in situations where conventional development may be inappropriate and where modifications of requirements of the underlying zone would not be inconsistent with the comprehensive plan or harmful to the surrounding neighborhoods in which it is located."* Furthermore, Section 15.28.020, Applicability, of the CBMC (Zoning Ordinance) states that *"A PR Overlay may be applied to all residential zoning districts, except the R-1M/Single-Family Manufactured Housing District, and the A-P/Administrative-Professional District"* and *"The PR-1 Overlay is intended for general master planned development. The minimum tract of land considered for a PR-1 Overlay shall be one and a half (1 ½) acres."* The purpose of this request is to adopt a site-specific PR-1/Planned Residential development plan for Arbor Creek 2<sup>nd</sup> Addition for the purpose of regulating site development standards, building architecture, landscaping, off-street parking, stormwater management, signage, etc. associated with this subdivision, as follows:

#### **A. Site Development**

1. The minimum tract of land required for a PR-1/Planned Residential Overlay is 1.5 acres. The subject property contains 6.19 acres, which complies with minimum lot size requirement of the P-R-1 Overlay. The applicant's request is to amend their adopted PR-1/Planned Residential development plan for said property to allow construction of 16 attached single-family residential dwellings.
2. All land uses within the subdivision shall comply with Chapter 15.09 R-2/Two-Family Residential District and Chapter 15.28, P-R/Planned Residential Overlay of the Council Bluffs Municipal Code (Zoning Ordinance). Any home occupations within the subdivision shall comply with 15.24.030, Home-Based Business of the Council Bluffs Zoning Ordinance.
3. All land development activity within the subdivision shall comply with Section 15.09.050, Site Development Regulations, R-2/Two-Family Residential District of the Council Bluffs Zoning Ordinance with the following exceptions:
  - i. The maximum lot coverage for Lots 1-16 shall not exceed 60%, rather than the 35% maximum allowed, in an R-2 District. This increased lot coverage amount accounts for the possibility of the private roadway being dedicated to the City as a public roadway and each lot losing some of their square footage;
  - ii. A minimum 15-foot front-yard setback, rather than the minimum 25 feet allowed, in an R-2 District shall be allowed for Lots 1-16. This reduced setback accounts for the possibility of the private roadway being dedicated to the City as a public roadway and each lot losing some of their frontage area; and
  - iii. A minimum 10-foot rear yard setback, rather than the minimum 20 feet allowed, in an R-2 District shall be allowed for Lots 1-16. This reduced setback accounts for the possibility of the private roadway being dedicated to the City as a public roadway and each lot losing some of their depth.
4. All fencing in the subdivision shall comply with the standards stated in Section 15.24.040, Fence Regulations, of the Council Bluffs Municipal Code (Zoning Ordinance).
5. All exterior lighting shall comply with the standards stated in Section 15.24.050, Lighting Controls, of the Council Bluffs Municipal Code (Zoning Ordinance).
6. Minor modifications to building setbacks, heights, and/or lot coverage which are deemed to be compatible with other homes in the subdivision, and are not detrimental to the subdivision and/or



properties outside the boundary of the subdivision, shall be administratively approved by the Community Development Director or their designee.

## **B. Off-Street Parking**

1. A minimum of two off-street parking spaces are required for an attached single-family dwelling, as per Section 15.23.060, Parking Spaces Required, of the Council Bluffs Municipal Code (Zoning Ordinance). The submitted architectural plans shows each attached single-family dwelling will be constructed with an attached two-stall garage.
2. All off-street parking areas, driveways and drive aisles shall be constructed and designed to comply with the standards stated in Chapter 15.23, Off-Street Parking, Loading and Unloading, of the Council Bluffs Municipal Code (Zoning Ordinance).
3. Parking and storage of recreational vehicles and/or vessels on lots in the subdivision shall comply with standards stated in Chapter 15.23, Off-Street Parking, Loading and Unloading, of the Council Bluffs Municipal Code (Zoning Ordinance).

## **C. Architecture**

1. The submitted house plans show one-story dwelling units with a pitched roof and two-stall garage. Additionally, each attached dwelling unit will have an approximate 2,100 square foot footprint, which includes a covered rear porch. The submitted architectural renderings are generally acceptable and shall be adopted as submitted with the following considerations:
  - i. Each attached dwelling unit shall have a minimum of 40 square feet of stone, brick, and/or decorative architectural metal on the front façade facing the new roadway; and
  - ii. Minor modifications to design, layout, or appearance of the single-family attached dwellings, which are deemed to be compatible with the other homes in the subdivision, shall be approved administratively by the Community Development Director or their designee.

## **D. Landscaping**

1. The submitted landscaping plan shows a mixture of shade, ornamental, and conifer trees along the perimeter of Outlot A abutting Railroad Avenue and College Road. The proposed landscaping plan is generally acceptable and shall be adopted as submitted with the following conditions:
  - i. All proposed trees shall comply with the Council Bluffs Street Tree Guide;
  - ii. A row of deciduous and evergreen trees shall be planted on the north side of Outlot A, behind Lots 1-16, for purpose of screening and buffering the residential development from the Midlands Humane Society;
  - iii. All landscaping shall be appropriately maintained and dead plant material replaced at a time appropriate to planting seasons but in all cases shall be replaced within one year;
  - iv. All landscaping plantings within Outlot 'A' shall be installed after the new roadway is constructed and shall be maintained by the homeowner's association at all times; and
  - v. Minor modifications to the submitted landscaping plan shall be approved administratively by the Community Development Director or their designee.

## **E. Signage**

1. A signage plan was not submitted with the development plan. All signage (detached and attached) shall comply with Section 15.33.160(C), P-R/Planned Residential District Sign Regulations, of the Municipal Code (Zoning Ordinance).

## **Recommendations**

The Community Development Department recommends the following for the subject property legally described as Lot 2, Arbor Creek Subdivision, City of Council Bluffs, Pottawattamie County, Iowa:

1. Approval of a preliminary plan for a 17-lot residential subdivision to be known as Arbor Creek 2<sup>nd</sup> Addition, legally described as being a replat of Lot 2, Arbor Creek Subdivision, subject to the comments above and the following conditions:



- a. Approval of the preliminary plans is tentative and does not constitute acceptance of the final plat, but is “deemed to be an authorization to proceed with the preparation of final construction plans or performance guarantee and the final plat” (Section 14.11.060(D)—Subdivision Ordinance);
  - b. All applicable permits necessary to meet all local, state, and federal requirements shall be the developer’s responsibility; and
  - c. All utilities shall be installed underground. All costs to construct, remove, and/or relocate any utilities for the proposed subdivision shall be the responsibility of the developer and not the City; and
  - d. All future streetlights shall meet Public Works Department standards. All costs associated with the installation of streetlights shall be the responsibility of the developer and not the City.
2. Approval of the request to amend the adopted PR-1/Planned Residential development plan for Lot 2, Arbor Creek Subdivision, subject to the comments above and following conditions:
- a. Repealing the previously approved PR/Planned Residential development on subject property, as adopted by Resolution No. 21-144; and
  - b. Any modifications to the approved development plan which substantially alters the design, layout, configuration, and/or appearance of the project shall be reviewed by City Planning Commission and approved by City Council prior to such changes being made. Minor modifications to the adopted development plan that result in a product that is considered compatible with the overall development may be administratively approved by the Community Development Director or their designee.

#### **Attachments**

Attachment A: Letter of intent

Attachment B: Preliminary subdivision plans

Attachment C: Architectural renderings and floor plans

Attachment D: Location/zoning map

Attachment E: CASE #PR-21-001 approved development plan

Prepared by: Christopher N. Gibbons, AICP, Planning Manager, Community Development Department



**ARBOR CREEK SUBDIVISION**

**Preliminary Plan**

**Letter of Intent**

May 13th, 2025

The owner of parcel number 7543 29 201 002 within the City of Council Bluffs wishes to create a subdivision creating 16 residential lots. The parcel is currently zoned R-2, The owner/developer wishes to establish a Planned Residential (PR) Overlay zoning district for the 16 residential lots to establish structure setback distances that differ from standard R-2 zoning district regulations. Eight single-family, attached homes/townhomes are to be constructed.

Access to the residential lots will be provided by an access drive from Railroad Avenue and north of College Drive that dead ends to the northwest. A 120-foot T-shaped emergency vehicle turnaround will be constructed at this terminus of the access drive. The access drive's 26-foot-wide pavement will be centered in a 50-foot-wide ingress/egress, pedestrian, and utility easement. The City of Council Bluffs Public Works Department asked that this be a private roadway in earlier meetings and discussions regarding this parcel development. The 26-foot-wide pavement will be constructed per the typical section detail included with the preliminary plans. Driveways and sidewalks will be constructed as individual lots are developed. Sidewalks on both sides of the access drive and streetlights are planned as part of this development. The sidewalks will be connected to the trail along Railroad Avenue.

The residential lots will be acre each and utilize proposed, respective sanitary sewer laterals and a proposed new sanitary sewer main extended from Railroad Avenue. Domestic water services will be provided by the Council Bluffs Water Works from the new services and proposed water main extending from Railroad Avenue. Water Services will be constructed as individual lots are developed. A detention basin and stormwater outlet structure will be constructed in Outlot A for the purposes of stormwater runoff treatment, attenuation, and detention. Power will be provided by MidAmerican Energy and natural gas will be provided by Black Hills Energy.

A handwritten signature in black ink, appearing to read "R. R. Ruy", with a long horizontal flourish extending to the right.



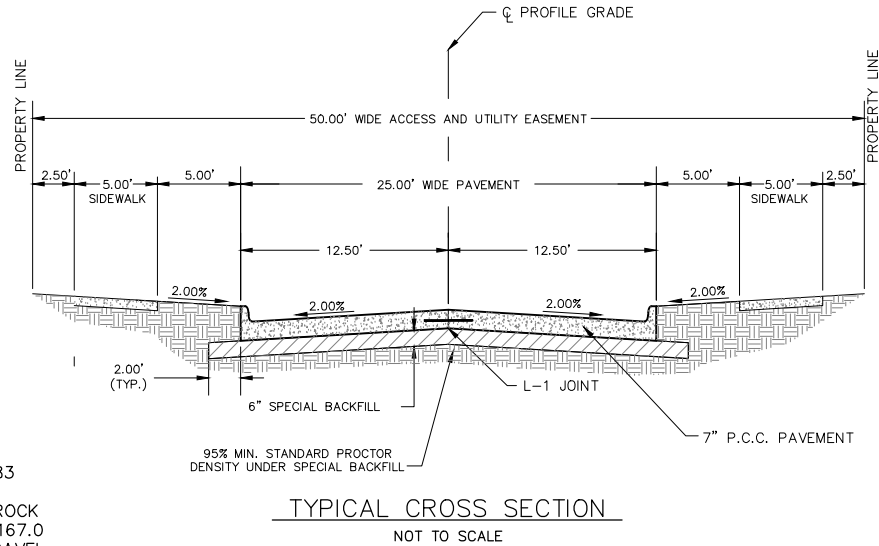
ESTIMATED QUANTITIES

ITEM NO.	ITEM CODE	DESCRIPTION	ESTIMATED QUANTITY
DIVISION I: GENERAL			
1-1.	2010-1.0-E	EARTHWORK	1.0 LS
1-2.	7010-1.08-H	PAVEMENT REMOVAL	17.0 SY
1-3.	7010-1.08-N	TRAFFIC CONTROL	1.0 LS
1-4.	9010-1.08-A	CONVENTIONAL SEEDING, FERTILIZING AND MULCHING	2.5 AC
1-5.	9040-1.08-R	STABILIZED CONSTRUCTION ENTRANCE	1.0 EA
1-6.	11050-1.08-A	CONCRETE WASHOUT	1.0 LS
1-7.		EROSION CONTROL/CLEAN OUT DETENTION POND	1.0 LS
DIVISION II: PAVEMENT AND APPURTENANCES			
2-1.	2010-1.08-I	SUBGRADE PREPARATION	2,190.0 SY
2-2.	2010-1.08-I	SUBBASE, 6" GRANULAR	2,190.0 SY
2-3.	7010-1.08-A	PAVEMENT, PCC, 7" NON-REINFORCED	1,905.0 SY
2-4.	7010-1.08-I	PCC PAVEMENT SAMPLES & TESTING	1.0 LS
2-5.	7030-1.08-C	SIDEWALK , PCC, 4"	436.0 SY
2-6.	7030-1.08-C	SIDEWALK , PCC, 6"	80.0 SY
2-7.	7030-1.08-G	DETECTABLE WARNINGS	80.0 SF
DIVISION III: STORM SEWER AND APPURTENANCES			
3-1.	3010-1.08-C	TRENCH FOUNDATION	100.0 TN
3-2.	4010-1.08-H	PIPE APRON, RCP, 24 INCH	5.0 EA
3-3.	4020-1.08-A-1	STORM SEWER, TRENCHED, RCP, 24" DIA.	159.0 LF
3-4.	6010-1.08-B	STORM SEWER INTAKE, TYPE SW-507	2.0 EA
3-5.	4060-1.08-B	CLEAN AND INSPECT STORM SEWER	159.0 LF
3-6.	2010-1.08-H	ENGINEERING FABRIC FOR UNSTABLE SOILS	100.0 SY
DIVISION IV: SANITARY SEWER AND APPURTENANCES			
4-1.	3010-1.08-C	TRENCH FOUNDATION	100.0 TN
4-2.	4010-1.08-A-1	SANITARY SEWER GRAVITY MAIN, TRENCHED, PVC, 8"	930.0 LF
4-3.	4010-1.08-E	SANITARY SEWER SERVICE STUB, 6"	576.0 LF
4-4.	4060-1.08-A	CLEAN, INSPECT AND TEST SANITARY SEWER	930.0 LF
4-5.	6010-1.08-A	SANITARY SEWER MANHOLE, TYPE SW-301, 48" DIA.	6.0 EA
4-6.	6020-1.08-A	CHIMNEY SEAL, RUBBER	6.0 EA
4-7.	4010-1.08-E	SANITARY SEWER WYES, 8" X 6"	16.0 EA
4-8.	2010-1.08-H	ENGINEERING FABRIC FOR UNSTABLE SOILS	100.0 SY
DIVISION V: WATER MAIN IMPROVEMENTS			
5-1.	5010-1.08-A-1	8-INCH DIP WATER MAIN WITH POLYETHYLENE ENCASEMENT	456.0 LF
5-2.	5010-1.08-C-1	8 IN. X 8 IN.X 8 IN. MJ TEE	1.0 EA
5-3.	5010-1.08-C-1	8 IN. X 8 IN. X 6 IN. MJ TEE	2.0 EA
5-4.	5010-1.08-C-1	8 IN. PLUG	1.0 EA
5-5.	5010-1.08-C-1	8-INCH STANDARD SIZE SLEEVE	2.0 EA
5-6.	5020-1.08-C	FIRE HYDRANT ASSEMBLY	2.0 EA
5-7.	5020-1.08-A	8 IN. DI GATE VALVE WITH BOX	1.0 EA
5-8.		CUT AND CONNECT TO EXISTING WATER MAIN	1.0 EA
5-9.		SELECT BACKFILL	150.0 CY
5-10.	3010-1.08-C	GRANULAR BEDDING FOR WATER MAIN, 1-1/2" CLEAN	150.0 TON
5-11.	5010-1.08-D	1-INCH K-COPPER SERVICE, COMPLETE - NEAR SIDE	8.0 EA
5-12.	5010-1.08-D	1-INCH K-COPPER SERVICE, COMPLETE - FAR SIDE	8.0 EA

PRELIMINARY PLAN  
LOT 2, ARBOR CREEK

LEGAL DESCRIPTION:

LOT 2, ARBOR CREEK, A PLATTED SUBDIVISION IN THE CITY OF COUNCIL BLUFFS, POTTAWATTAMIE COUNTY, IOWA, BEING MORE FULLY DESCRIBED AS FOLLOWS;  
SAID PARCEL CONTAINS AN AREA OF 6.19 ACRES, MORE OR LESS, SUBJECT TO EASEMENTS OF RECORD.



VERTICAL CONTROL

BENCHMARK OF ORIGIN: NGS E 134      NAVD '88 ELEV.=1009.83

1.7 MILES SOUTHEAST AND 3.0 MILES NORTHEAST ALONG THE CHICAGO, ROCK ISLAND AND PACIFIC RAILROAD FROM THE STATION AT COUNCIL BLUFFS, 167.0 FEET WEST NORTHWEST OF THE WEST END OF A STEEL BRIDGE FOR A GRAVEL ROAD OVER MOSQUITO CREEK, 38.5 FEET NORTH OF THE CENTER LINE OF A GRAVEL ROAD, 19.2 FEET WEST OF THE WEST RAIL, 2.0 FEET EAST OF A TELEPHONE POLE, 1.5 FEET SOUTH OF A 4 X 4 REFERENCE POST, ACROSS MOSQUITO CREEK FROM A LARGE ERODED PORTION OF A BLUFF, SET IN THE TOP OF A CONCRETE POST WHICH PROJECTS 0.4 FEET ABOVE THE GROUND.

CURRENT OWNER/DEVELOPER:

NBG ENTERPRISES, INC  
2023 S. 181ST CIRCLE  
OMAHA, NE 681330

ZONING:

EXISTING ZONING OF PROPOSED SUBDIVISION IS CLASS R-2.

PR OVERLAY DISTRICT PROPOSED TO ADDRESS IDENTIFIED BUILDING SETBACKS.

ENGINEER:

HGM ASSOCIATES INC.  
640 FIFTH AVENUE  
COUNCIL BLUFFS, IOWA 51501

EXISTING FLOOD PLAIN:

ZONE AE WITH BASE FLOOD ELEVATION OF 1009.0.

SPECIAL FLOOD HAZAD AREA (SFHAs) SUBJECT TO INUNDATION BY THE 1% ANNUAL CHANCE FLOOD

BOUNDARY SURVEY:

BOUNDARY SURVEY WILL BE PROVIDED BY HGM ASSOCIATES INC.

STORM WATER DETENTION:

DETENTION TO BE LOCATED IN OUTLOT

NOTES:

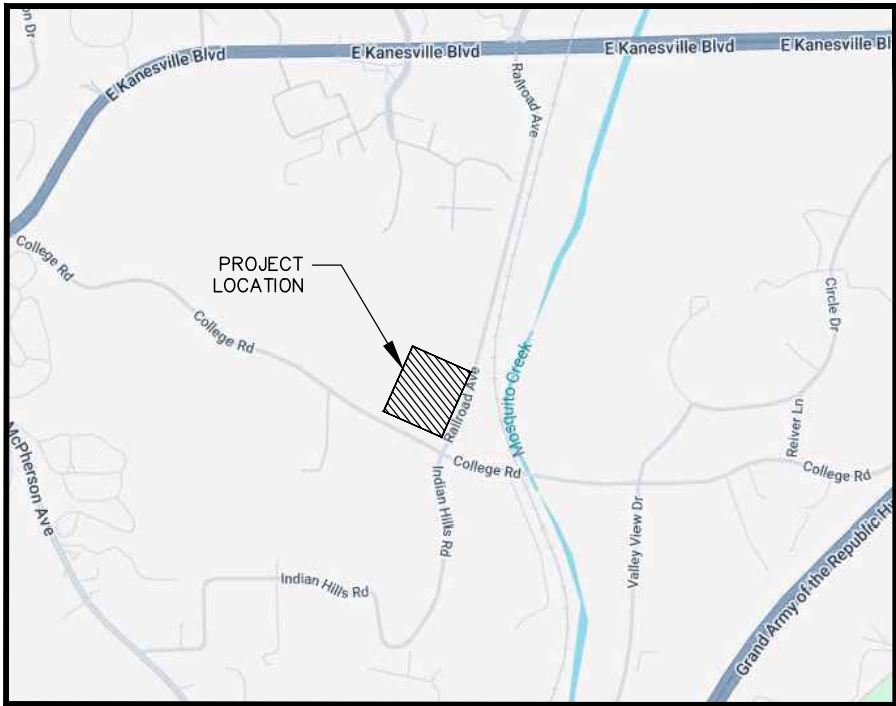
PROPOSED SEWER: CONSTRUCT NEW PRIVATE SANITARY SEWER WITH PRIVATE LATERAL CONNECTIONS. CONSTRUCT NEW STORM SEWER AND INTAKES. NEW SEWER TO BE DEDICATED TO CITY OF COUNCIL BLUFFS.

PROPOSED WATER: CONSTRUCT PRIVATE WATER MAIN AND CONNECTIONS TO EACH LOT

DEDICATION OF R-O-W: NO

SURFACE RUNOFF: STORM SEWER TO PROPOSED SUBDIVISION DETENTION.

EASEMENTS: A 50.00 FOOT WIDE PERMANENT ACCESS AND UTILITY EASEMENT FRONTING EACH LOT, A 5.00 FOOT WIDE PERMANENT EASEMENT ON EACH SIDE OF ALL SIDE LOT LINES, A 10.00 FOOT WIDE PERMANENT EASEMENT ALONG ALL FRONT LOT LINES, AND A 5.00 FOOT WIDE PERMANENT EASEMENT ALONG ALL REAR LOT LINES, ARE RESERVED FOR THE INSTALLATION AND MAINTENANCE OF UTILITIES.



LOCATION MAP  
NO SCALE

INDEX

PAGE NO.	DESCRIPTION
A.01	TITLE SHEET
A.02	AREA MAP
G.01	OVERALL LOT LAYOUT
G.02	SITE PLAN
G.03	LANDSCAPE PLAN

SPECIFICATIONS

THE URBAN STANDARD SPECIFICATIONS FOR PUBLIC IMPROVEMENTS, 2025, AND CITY OF COUNCIL BLUFFS SUPPLEMENTAL SPECIFICATIONS 2025, SHALL APPLY TO THIS PROJECT.

	<p>I hereby certify that this engineering document was prepared by me or under my direct personal supervision and that I am a duly licensed Professional Engineer under the laws of the State of Iowa.</p> <p>PAUL J. GONZALES</p> <p>My license expires on the date of December 31, _____.</p> <p>Pages or sheets covered by this seal:</p> <p>A.01, A.02, G.01 AND G.02</p>
--	---

PRELIMINARY  
PLAN  
MAY 1, 2025  
NOT FOR  
CONSTRUCTION

hgm  
ASSOCIATES INC.  
ENGINEERING ARCHITECTURE SURVEYING  
council bluffs omaha

this drawing is being made available by hgm associates inc. for use on this project in accordance with hgm associates inc. agreement for use on this project. hgm associates inc. assumes no liability for any use of this drawing or any part thereof except as provided with the terms of the above agreement.

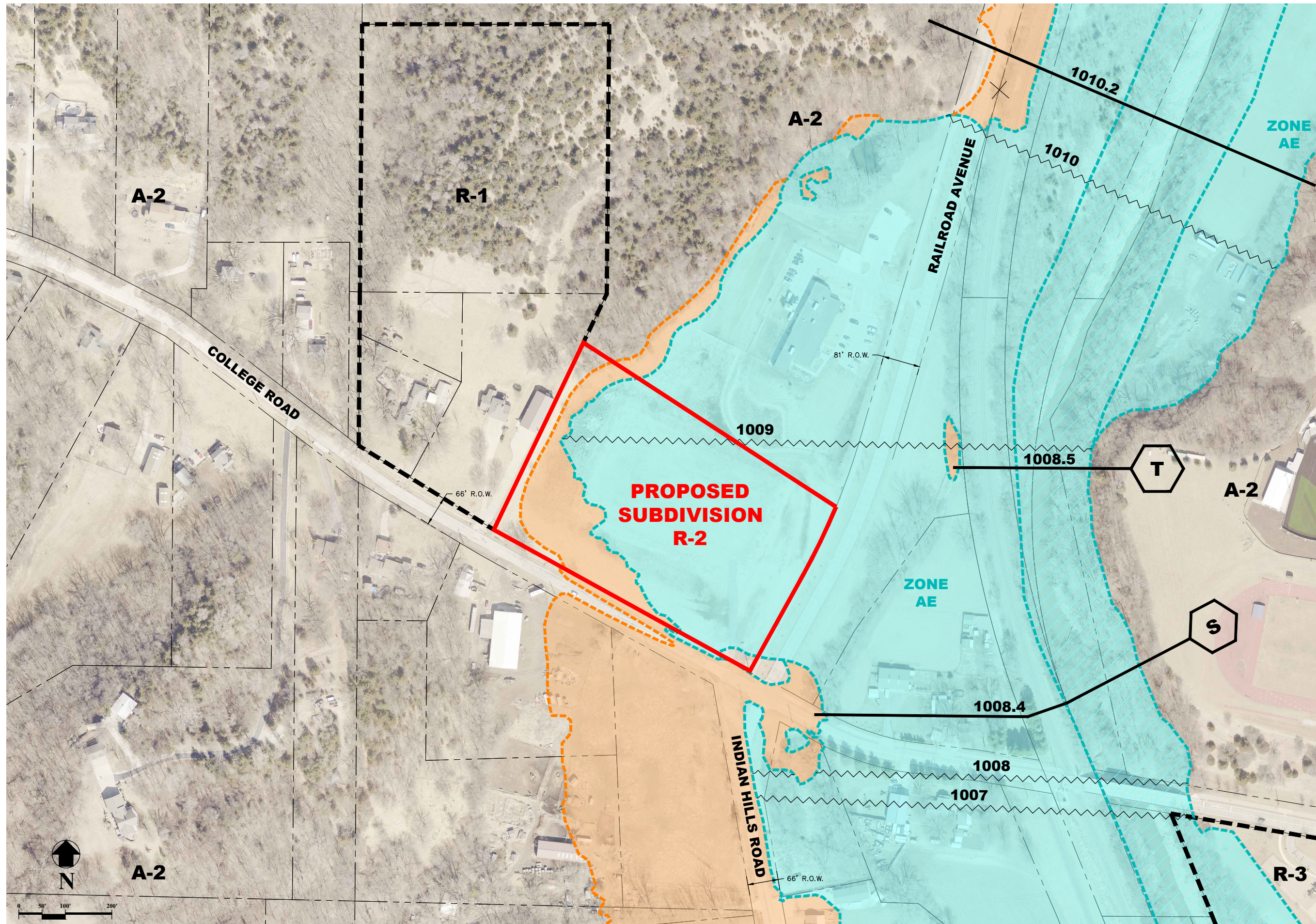
date	revision	date
JNS	drawn	
PIG	designed	
PIG	approved	
MAY 2025		

project LOT 2, ARBOR CREEK  
RAILROAD AVE/COLLEGE RD (COUNCIL BLUFFS, IOWA)  
client NBG ENTERPRISES, INC  
2023 S. 181ST CIR OMAHA, NE 68130  
sheet TITLE SHEET


project no.  
103525  
sheet  
A.01



FILENAME: S:\Blue\_Team\Projects\103525 Lot 2 Arbor Creek Residential Subdivision\Engineering\Drawings\103525 PRELIM PLAN 4-25.dwg  
DRAWN BY: Jns, SAVE DATE: Apr 28, 2025 12:11 PM DATE PLOTTED: 4/28/2025 2:17 PM, PLOT SCALE: 1:2



PRELIMINARY  
PLAN  
MAY 1, 2025  
NOT FOR  
CONSTRUCTION



ASSOCIATES INC.  
ENGINEERING ARCHITECTURE SURVEYING  
council bluffs omaha

this drawing is being made available by hgm associates inc. for use on this project in accordance with hgm associates inc. agreement for use of this drawing or any part thereof except as provided with the terms of the above agreement.

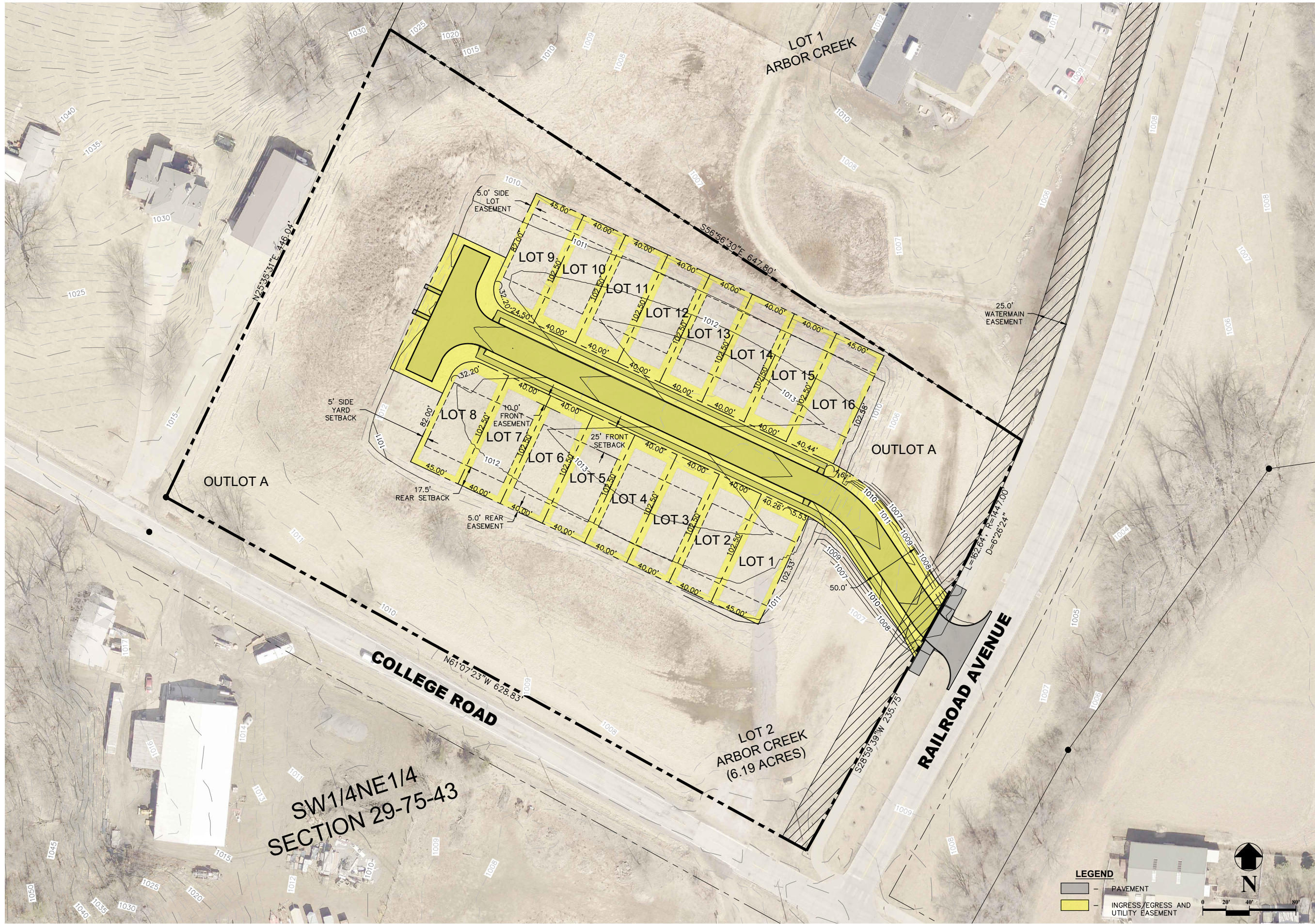
JNS	drawn	date
PIG	designed	revision
PIG	approved	date
MAY 2025		

project	LOT 2, ARBOR CREEK RAILROAD AVE/COLLEGE RD (COUNCIL BLUFFS, IOWA)
client	NBG ENTERPRISES, INC 2023 S. 181ST CIR OMAHA, NE 68130
sheet	AREA MAP

project no.  
103525  
sheet  
A.02



FILENAME: S:\Blue\_Team\Projects\103525 Lot 2 Arbor Creek Residential Subdivision\Engineering\Drawings\103525 PRELIM PLAN 4-25.dwg  
DRAWN BY: Jns, SAVE DATE: Apr 28, 2025 2:10 PM DATE PLOTTED: 4/28/2025 2:25 PM, PLOT SCALE: 1:2



**PRELIMINARY  
PLAN**  
MAY 1, 2025  
NOT FOR  
CONSTRUCTION

**hgm**  
**ASSOCIATES INC.**  
ENGINEERING ARCHITECTURE SURVEYING  
council bluffs omaha

this drawing is being made available by hgm associates inc. for use on this project in accordance with hgm associates inc. agreement for use of this drawing. hgm associates inc. assumes no liability for any use of this drawing or any part thereof except as provided with the terms of the above agreement.

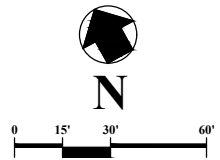
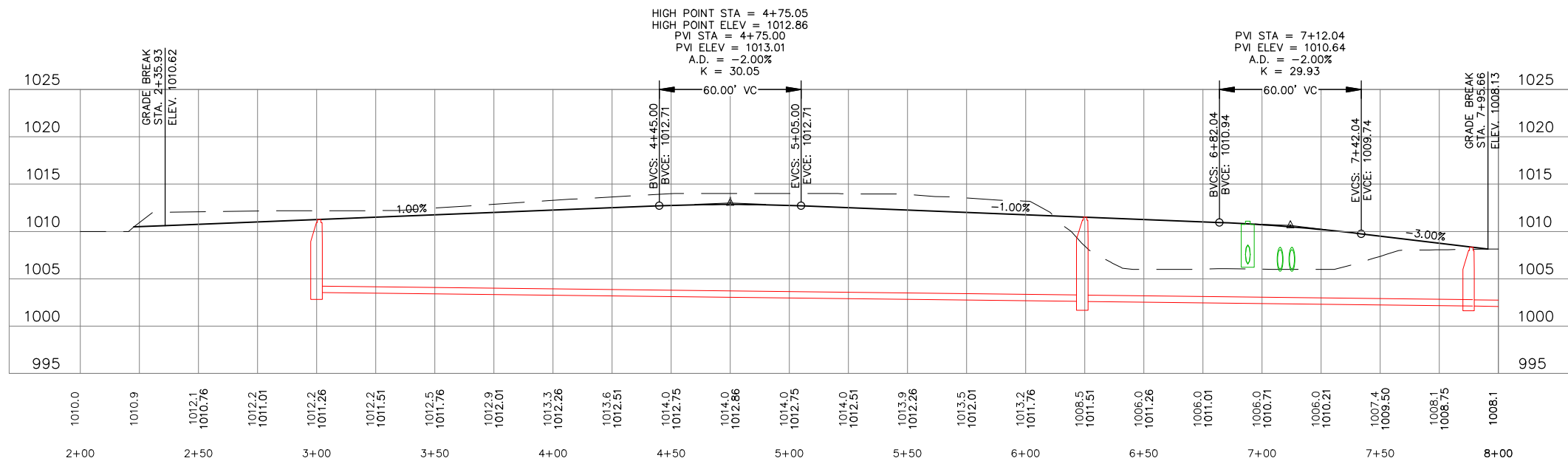
JNS		
drawn		
PIG		
designed		
PIG		
approved		
MAY 2025		
date	revision	date

project	LOT 2, ARBOR CREEK RAILROAD AVE/COLLEGE RD (COUNCIL BLUFFS, IOWA)
client	NBG ENTERPRISES, INC 2025 S. 181ST CIR OMAHA, NE 68130
sheet	OVERALL LOT LAYOUT

project no.  
103525  
sheet  
**G.01**



FILENAME: S:\Blue\_Team\Projects\103525 Lot 2 Arbor Creek Residential Subdivision\Engineering\Drawings\103525 PRELIM PLAN 4-25.dwg  
DRAWN BY: Jns, SAVE DATE: Apr 28, 2025 12:11 PM, DATE PLOTTED: 4/28/2025 2:19 PM, PLOT SCALE: 1:2



**PRELIMINARY  
PLAN**  
MAY 1, 2025  
NOT FOR  
CONSTRUCTION

**hgm**  
**ASSOCIATES INC.**  
ENGINEERING ARCHITECTURE SURVEYING  
council bluffs omaha

this drawing is being made  
available by hgm associates  
inc. for use on this project in  
accordance with hgm  
associates inc. agreement for  
this project. hgm associates  
inc. assumes no liability for  
any use of this drawing or  
any part thereof in excess of  
the terms of the above  
agreement.

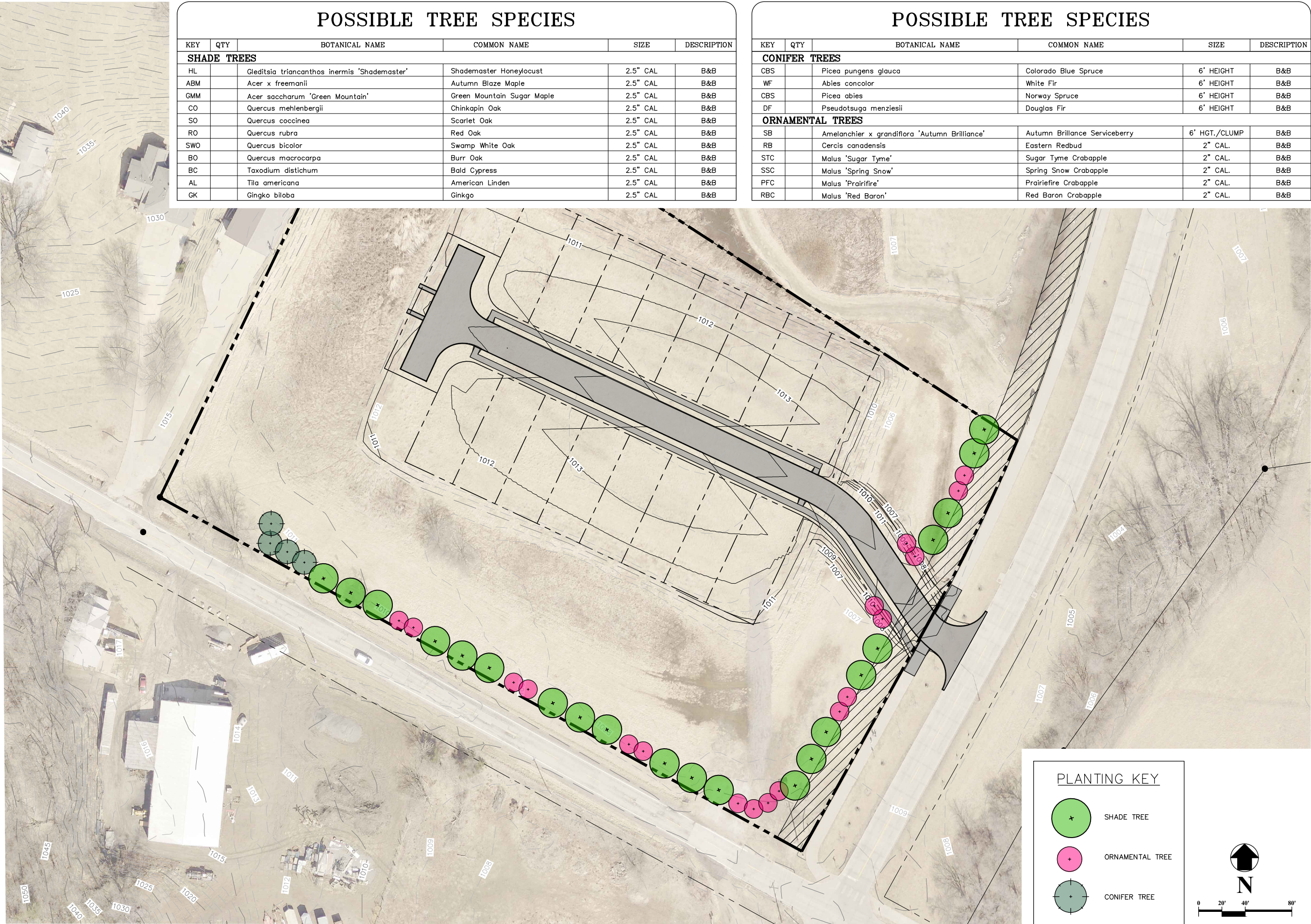
JNS	drawn	
PIG	designed	
PIG	approved	
MAY 2025	date	revision
		date

**LOT 2, ARBOR CREEK**  
RAILROAD AVE/COLLEGE RD (COUNCIL BLUFFS, IOWA)  
project  
client  
NBG ENTERPRISES, INC  
2023 S. 181ST CIR OMAHA, NE 68130  
sheet  
**SITE PLAN**

project no.  
**103525**  
sheet  
**G.02**



FILENAME: s:\Blue\_Team\Projects\103525 Lot 2 Arbor Creek Residential Subdivision\Engineering\Drawings\103525 PRELIM PLAN 4-25.dwg  
DRAWN BY: jns, SAVE DATE: Apr 28, 2025 2:10 PM DATE PLOTTED: 4/30/2025 12:45 PM, PLOT SCALE: 1:2



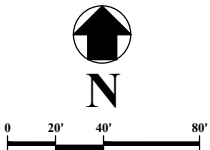
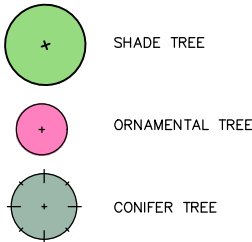
## POSSIBLE TREE SPECIES

KEY	QTY	BOTANICAL NAME	COMMON NAME	SIZE	DESCRIPTION
SHADE TREES					
HL		Gleditsia triacanthos inermis 'Shademaster'	Shademaster Honeylocust	2.5" CAL	B&B
ABM		Acer x freemanii	Autumn Blaze Maple	2.5" CAL	B&B
GMM		Acer saccharum 'Green Mountain'	Green Mountain Sugar Maple	2.5" CAL	B&B
CO		Quercus mehlenbergii	Chinkapin Oak	2.5" CAL	B&B
SO		Quercus coccinea	Scarlet Oak	2.5" CAL	B&B
RO		Quercus rubra	Red Oak	2.5" CAL	B&B
SWO		Quercus bicolor	Swamp White Oak	2.5" CAL	B&B
BO		Quercus macrocarpa	Burr Oak	2.5" CAL	B&B
BC		Taxodium distichum	Bald Cypress	2.5" CAL	B&B
AL		Tilia americana	American Linden	2.5" CAL	B&B
GK		Ginkgo biloba	Ginkgo	2.5" CAL	B&B

## POSSIBLE TREE SPECIES

KEY	QTY	BOTANICAL NAME	COMMON NAME	SIZE	DESCRIPTION
CONIFER TREES					
CBS		Picea pungens glauca	Colorado Blue Spruce	6' HEIGHT	B&B
WF		Abies concolor	White Fir	6' HEIGHT	B&B
CBS		Picea abies	Norway Spruce	6' HEIGHT	B&B
DF		Pseudotsuga menziesii	Douglas Fir	6' HEIGHT	B&B
ORNAMENTAL TREES					
SB		Amelanchier x grandiflora 'Autumn Brilliance'	Autumn Brilliance Serviceberry	6' HGT./CLUMP	B&B
RB		Cercis canadensis	Eastern Redbud	2" CAL.	B&B
STC		Malus 'Sugar Tyme'	Sugar Tyme Crabapple	2" CAL.	B&B
SSC		Malus 'Spring Snow'	Spring Snow Crabapple	2" CAL.	B&B
PFC		Malus 'Prairifire'	Prairifire Crabapple	2" CAL.	B&B
RBC		Malus 'Red Baron'	Red Baron Crabapple	2" CAL.	B&B

### PLANTING KEY



PRELIMINARY  
PLAN  
MAY 1, 2025  
NOT FOR  
CONSTRUCTION

**hgm**  
ASSOCIATES INC.  
ENGINEERING ARCHITECTURE SURVEYING  
council bluffs omaha

this drawing is being made  
available by hgm associates  
inc. for use on this project in  
accordance with hgm  
associates inc. agreement for  
this project. hgm associates  
inc. assumes no liability for  
any use of this drawing or  
any part thereof except as  
provided in the terms of the  
agreement.

JNS	drawn	date
PIG	designed	revision
PIG	approved	date
MAY 2025		

project LOT 2, ARBOR CREEK  
RAILROAD AVE/COLLEGE RD (COUNCIL BLUFFS, IOWA)  
client NBG ENTERPRISES, INC  
2023 S. 181ST CIR OMAHA, NE 68130  
sheet LANDSCAPE PLAN

project no.  
103525  
sheet  
G.03



Attachment C

JPA\_0146



JPA\_0147



JPA\_0148



JPA\_0149



JPA\_0150



JPA\_0152





JPA\_0153



JPA\_0156



JPA\_0157



JPA\_0158



JPA\_0159



JPA\_0160

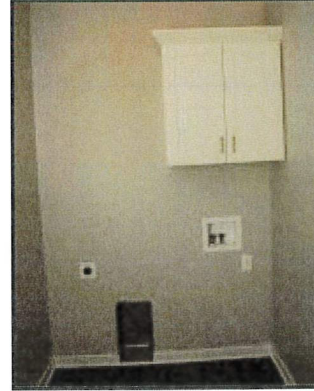




JPA\_0161



JPA\_0162



JPA\_0163



JPA\_0164



JPA\_0165

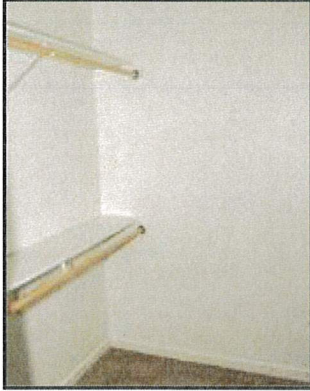


JPA\_0168





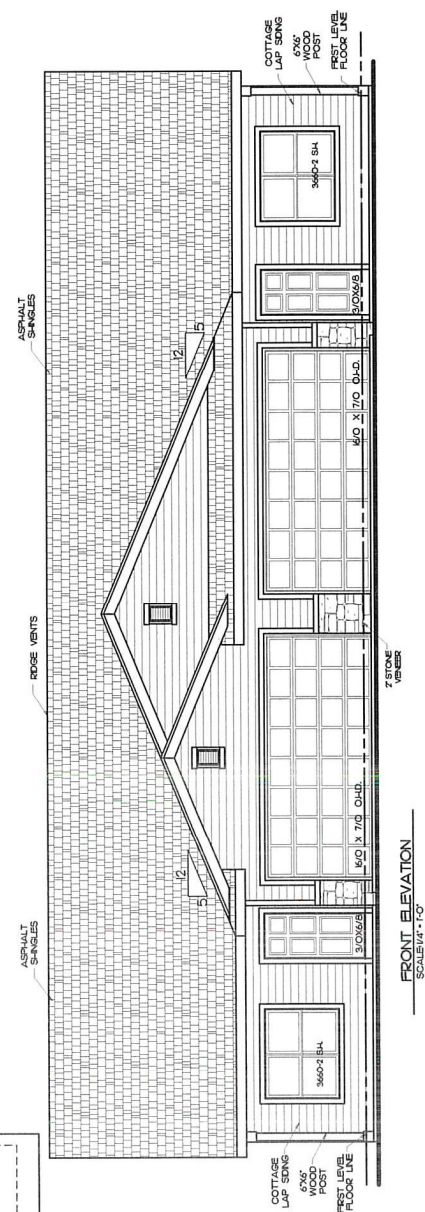
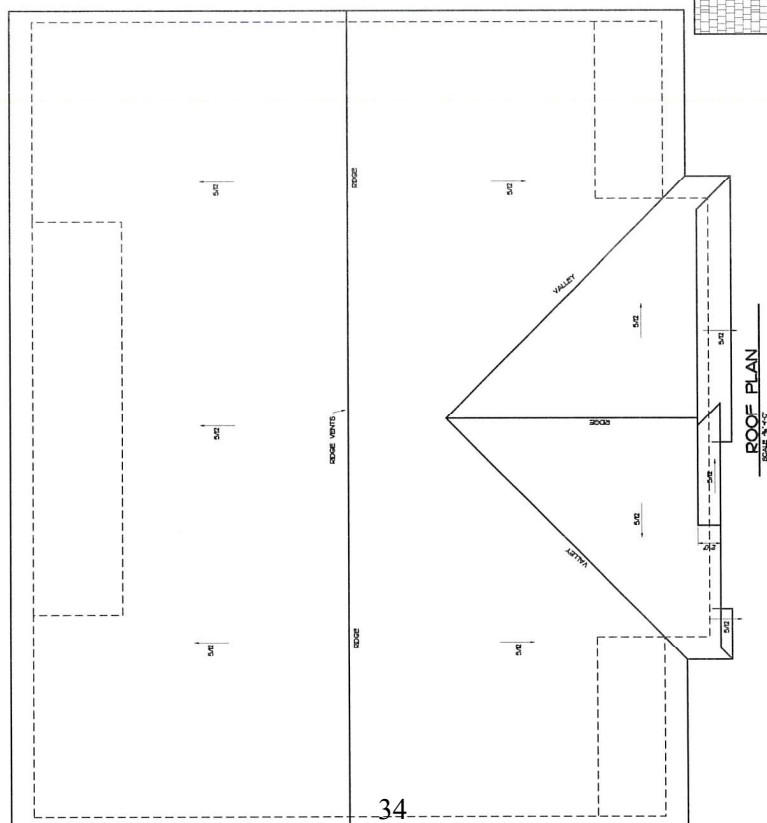
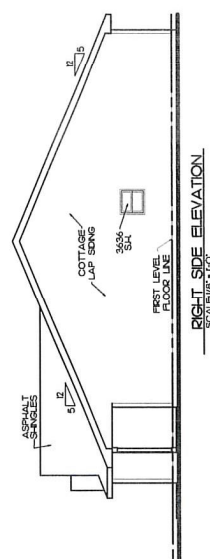
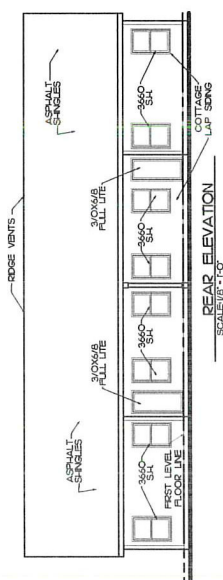
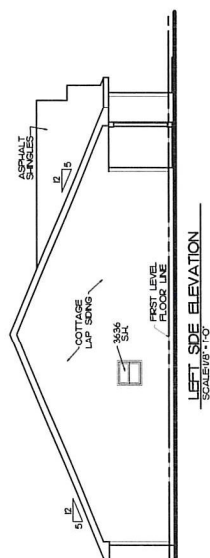
JPA\_0173



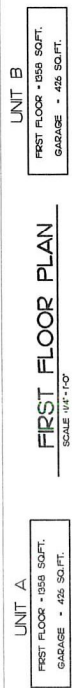
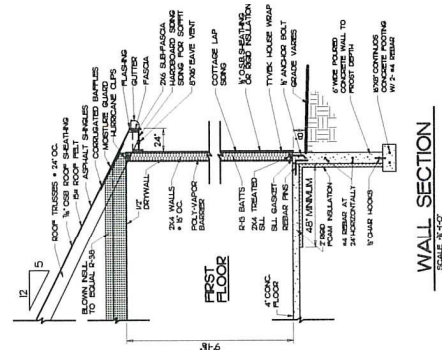
JPA\_0174















# CITY OF COUNCIL BLUFFS - CITY PLANNING COMMISSION CASES #SUB-25-005, PR-21-001(M) LOCATION/ZONING MAP

## Attachment D

### Legend

 Subject Property Case #SUB-25-005, PR-21-001(M)

 Parcels

0 150 300



1 Inch = 300 Feet



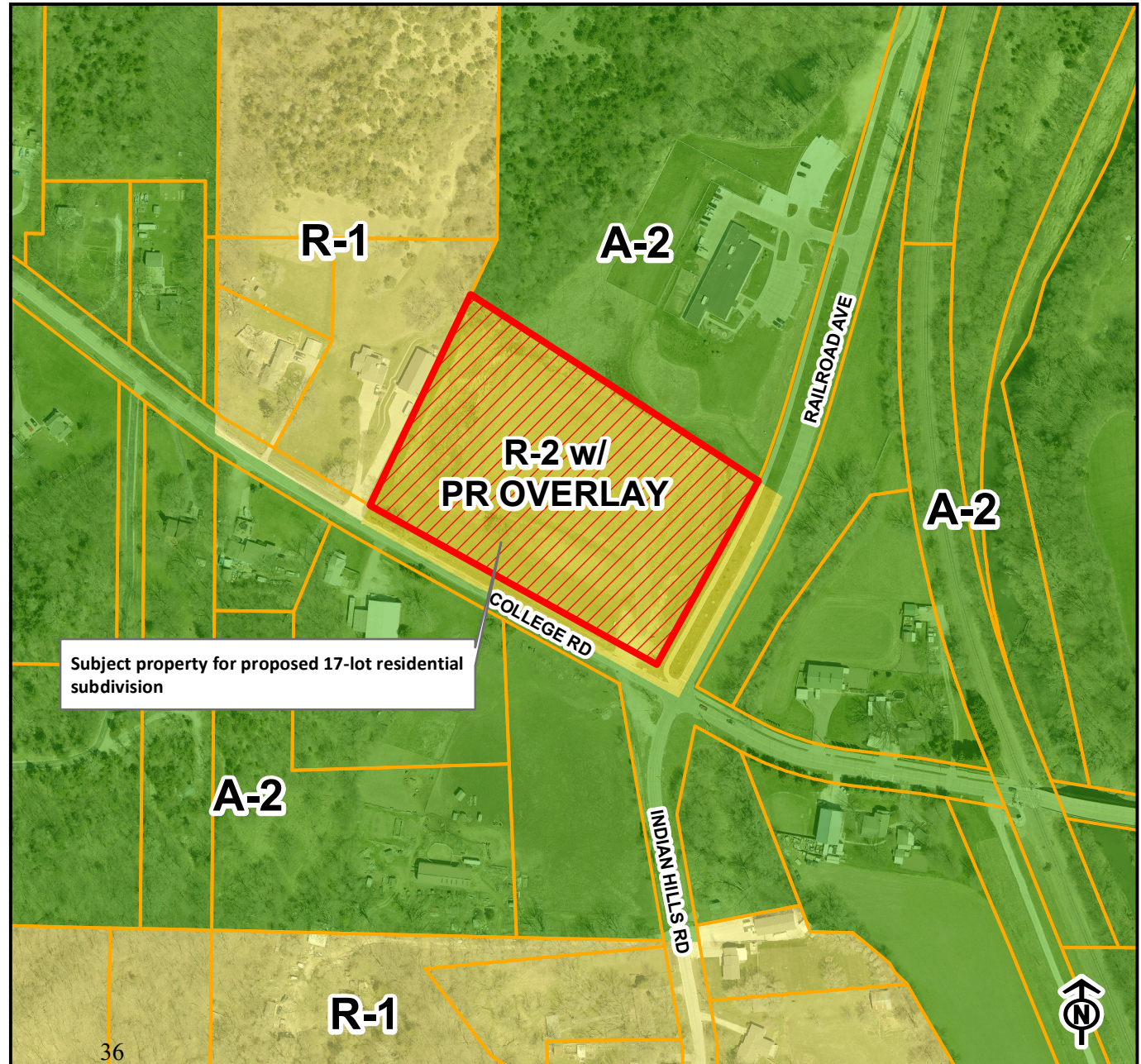
Last Amended: 5/20/2025



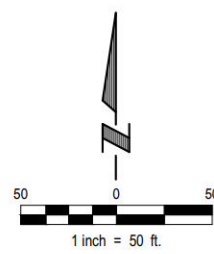
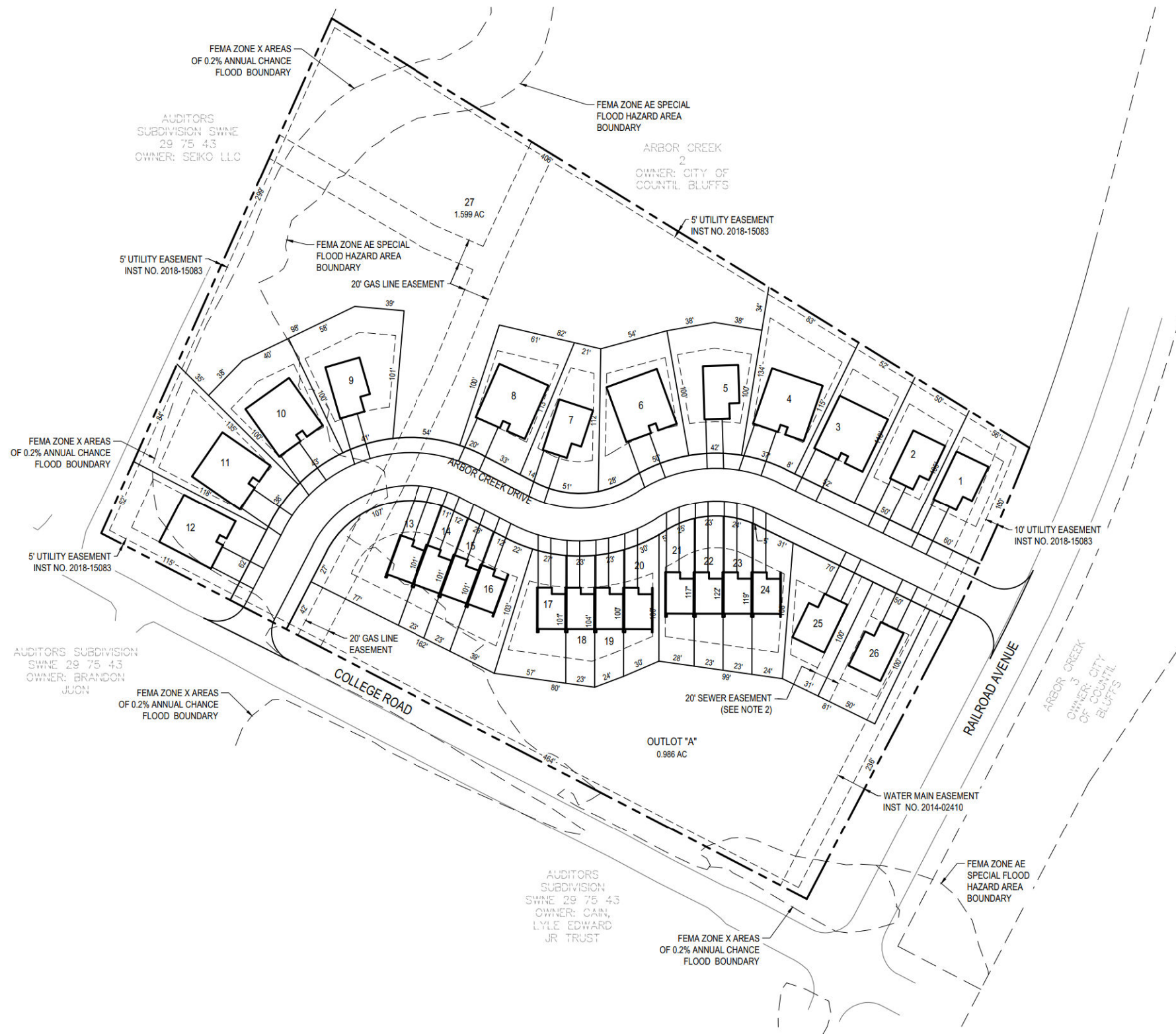
Council Bluffs Community  
Development Department  
209 Pearl Street  
Council Bluffs, IA 51503  
Telephone: (712) 890-5350

#### DISCLAIMER

This map is prepared and compiled from City documents, plans and other public records data. Users of this map are hereby notified that the City expressly denies any and all responsibilities for errors, if any, in the information contained on this map; the misuse of the same by the user or anyone else. The user should verify the accuracy of information/data contained on this map before using it. The City assumes no legal responsibility for the information contained on this map.







SETBACK TABLE (LOTS 1 THRU 26)	
FRONT YARD	25'
INTERIOR SIDE YARD	0/5*
STREET SIDE YARD	15'
REAR YARD	20'

\*INTERIOR SIDE YARD ALONG A COMMON WALL CAN BE SET A ZERO-LOT SETBACK AS LONG AS THE OPPOSITE SIDE YARD IS AT THE REQUESTED SIDE YARD SETBACK REQUIREMENT.

ZONING WAIVER REQUESTS

- ① SEC. 15.09.050  
INTERIOR LOT AREA  
REQUIRED 2,500 S.F. MIN.  
PROVIDED 2,300 S.F.
- ② SEC. 15.09.050  
CORNER LOT WIDTH  
REQUIRED 55' MIN.  
PROVIDED 50'
- ③ SEC. 15.09.050  
INTERIOR LOT WIDTH  
REQUIRED 50' MIN.  
PROVIDED 23'
- ④ SEC. 14.14.020 (3)  
LOT DEPTH TO WIDTH RATIO  
REQUIRED 3:1 MAX.  
PROVIDED 5.2:1

E & A CONSULTING GROUP, INC.  
Engineering • Planning • Environmental & Field Services

10009 Mill Valley Road, Suite 100 • Omaha, NE 68154  
Phone: 402.895.4700 • Fax: 402.895.5599  
www.eagcg.com

E & A CONSULTING GROUP, INC.  
Engineering Answers

ARBOR CREEK  
2ND ADDITION  
LOTS 1 THRU 27 AND  
OUTLOT "A" INCLUSIVE  
COUNCIL BLUFFS, IOWA

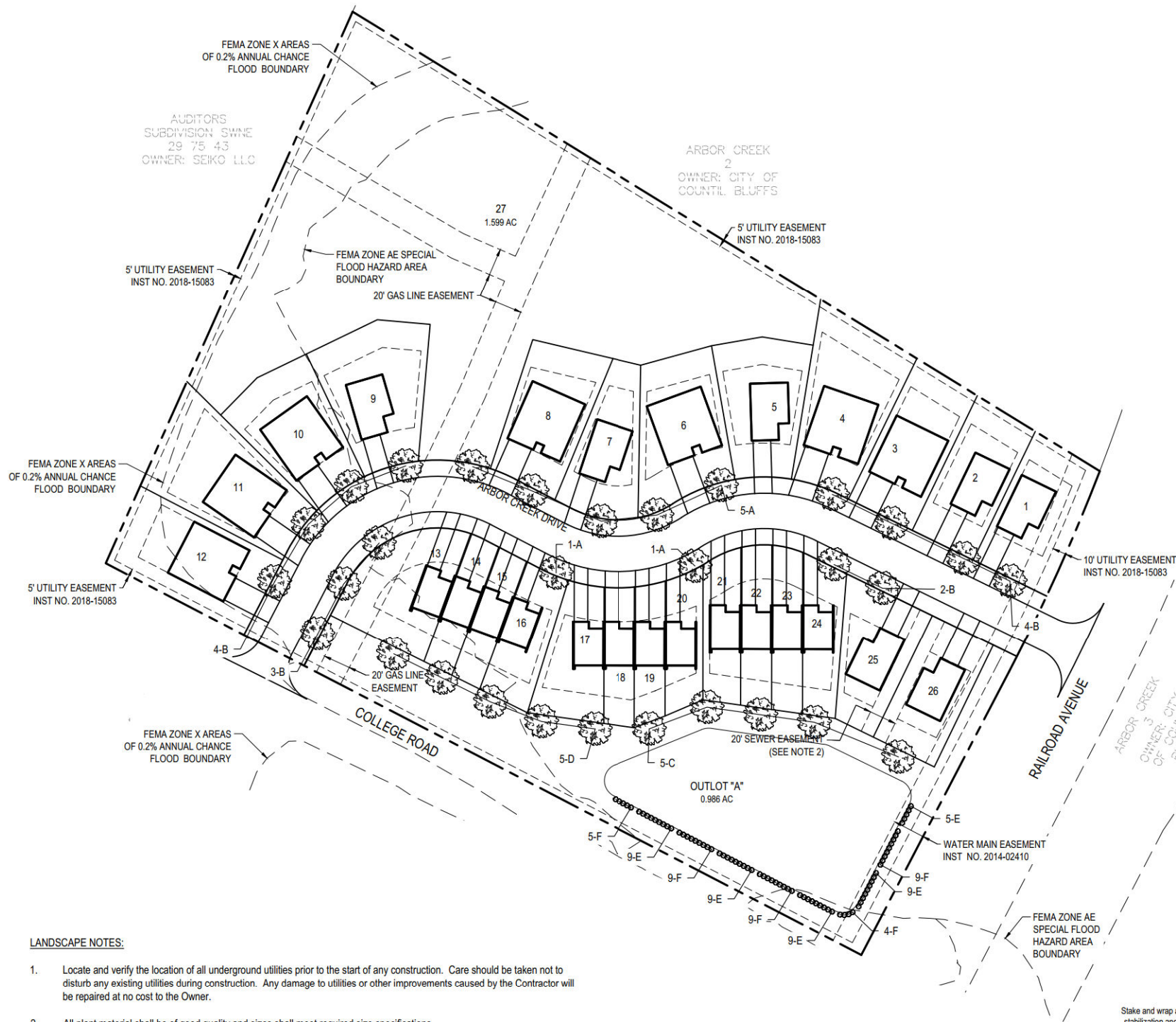
PLANNED RESIDENTIAL  
SITE PLAN

Revisions	
Date	Description
03/16/2021	MAV
	NMM
AS SHOWN	

Proj No: P2020.240.001  
Date: 03/16/2021  
Designed By: MAV  
Drawn By: NMM  
Scale: AS SHOWN  
Sheet: 1 of 2

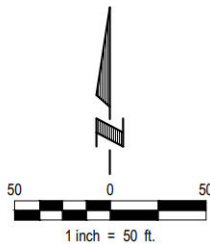
3/15/2021 1:44 PM  
K:\Projects\2020\240\201P\Planning & Public\Planning\PRPFS-000.dwg  
Nicole Nickels





**LANDSCAPE NOTES:**

- Locate and verify the location of all underground utilities prior to the start of any construction. Care should be taken not to disturb any existing utilities during construction. Any damage to utilities or other improvements caused by the Contractor will be repaired at no cost to the Owner.
- All plant material shall be of good quality and sizes shall meet required size specifications.
- All plants are to be watered in immediately after planting and then watered once a week for a period of two months from time of planting.
- All plant material shall be guaranteed to be in a live and healthy growing condition for two full growing seasons (trees) and one full growing season (perennials & shrubs) after final project acceptance or shall be replaced free of charge with the same grade and species including labor.
- Verify all dimensions and conditions prior to starting construction. The location of plant material is critical and shall be installed as indicated on plans. Field adjustments may be necessary based on field conditions (i.e., root ball and drop inlet conflict). All adjustments must be approved by the landscape architect.
- The Landscape Contractor shall remove all construction debris and materials injurious to plant growth from planting pits and beds prior to backfilling with planting mix. All planting areas shall be free of weeds and debris prior to any work.
- Provide locally available shredded hardwood mulch on all trees and in all planting beds to a 3-4 inch minimum depth unless otherwise noted. Mulch ring to extend 1'-0" minimum beyond planting pit. Minor site grading to be included if needed.
- All trees are to be staked for a period of not less than one year from time of planting.
- Contractor to coordinate work with other amenities contractors.

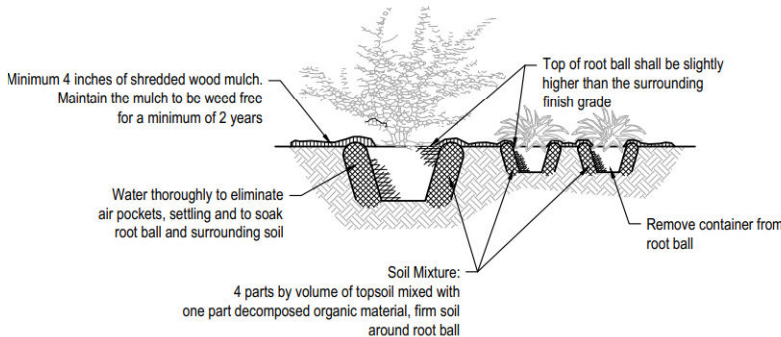


**PLANT SCHEDULE**

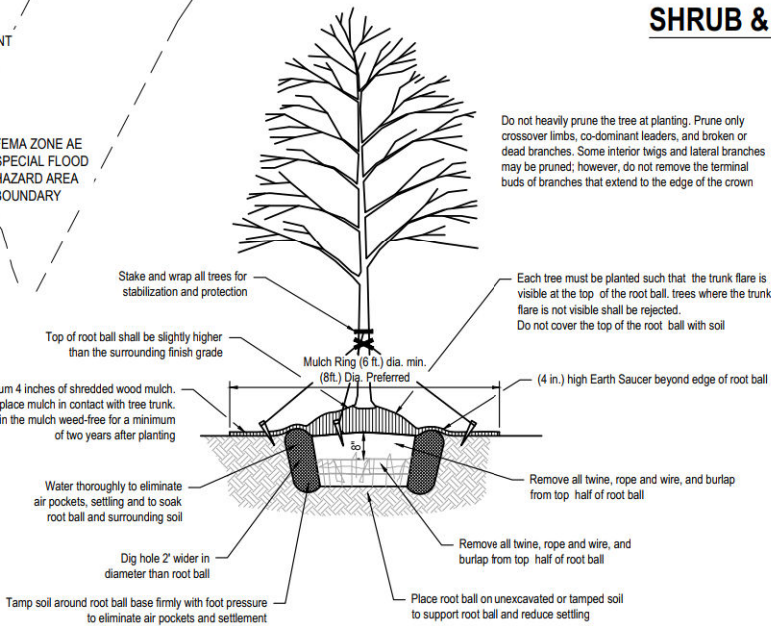
SYM	QTY	BOTANICAL NAME	COMMON NAME	SIZE	TYPE
A	7	Gleditsia triacanthos 'Skyline'	Skyline Honeylocust	2"	B&B
B	13	Acer freemanii 'Jeffersred'	Autumn Blaze Maple	2"	B&B
C	5	Quercus bicolor	Swamp White Oak	2"	B&B
D	5	Quercus rubra	Red Oak	2"	B&B
E	41	Viburnum dentatum 'Christom'	Blue Muffin Arrowwood Viburnum	3 Gal.	Cont
F	36	Juniperus chinensis 'Monlep'	Mint Julep Juniper	3 Gal.	Cont

**TREE NOTES:**

- Landscape contractor must coordinate with all utilities and general contractor to field verify all utility locations that may conflict with all proposed tree planting locations on the project site.



**SHRUB & PERENNIAL PLANTING DETAIL**  
NOT TO SCALE



**TREE PLANTING DETAIL - B & B TREE**  
NOT TO SCALE