



**AGENDA  
PLANNING COMMISSION  
COUNCIL BLUFFS PUBLIC LIBRARY,  
400 WILLOW AVENUE, COUNCIL BLUFFS, IA  
Tuesday, May 13, 2025 - 6:00 PM**

- 1. CALL TO ORDER**
- 2. ROLL CALL**
- 3. ADOPTION OF AGENDA**
- 4. APPROVAL OF MINUTES**
- 5. PROOF OF PUBLICATION**
- 6. REVIEW OF MEETING PROCEDURES**
- 7. PUBLIC HEARINGS**

**A. CASE #PI-24-001(M)**

Continued public hearing on the request of EDC Omaha Landco LLC, represented by John Dolan, to amend the adopted PI/Planned Industrial Development Plan for a new 'data center' on property legally described as being a parcel of land located in part of the SE1/4 of Section 21-75-43 and part of the NE1/4 of Section 28-75-43, all lying south of East Kanesville Boulevard (U.S. Highway 6), City of Council Bluffs, Pottawattamie County, Iowa. Location: Undeveloped land at the southeast corner of the intersection of College Road and East Kanesville Boulevard. Case PI-24-001(M)

**B. CASE #ZC-25-003**

Public hearing on the request of LKM Investments, LLC, represented by Michael Earl, to rezone property legally described as a tract of land in part of the SE1/4 NW1/4 and part of NE1/4 SW1/4, lying east of Hunt Avenue and north of Highway 6, all in Section 22-75-43, City of Council Bluffs, Pottawattamie County, Iowa and being more particularly described in the case staff report from A-2/Parks, Estates, and Agricultural District to I-1/Light Industrial. Location: Undeveloped property lying south of 2025 Hunt Avenue. ZC-25-003

**C. CASE #ZC-25-004**

Public hearing on the request of LKM Investments, LLC, represented by Michael Earl, to rezone property legally described as a tract of land in part of the SE1/4 NW1/4, except the southerly 344.75 feet thereof, lying east of Hunt Avenue, all in Section 22-75-43, City of Council Bluffs, Pottawattamie County, Iowa and being more particularly described in the case staff report, from A-2/Parks, Estates, and Agricultural District to I-1/Light Industrial. Location: Undeveloped property lying north of 2025

Hunt Avenue ZC-25-004

D. CASES #SUB-25-004 and #ZC-25-002

Public hearings on the request of Patrick and Rhonda Cunningham for final plat approval of a two-lot residential estate subdivision to be known as Tweety's Landing, along with a subdivision variance to allow proposed Lot 1, Tweety's Landing to exceed the maximum 3:1 lot depth-to-width ratio, on property legally described as being a portion of North 1/2 of the South 1/2 of the SW 1/4 of Section 34-75-43, City of Council Bluffs, Pottawattamie County, Iowa and to rezone said property from A-2/Parks, Estates, and Agricultural District to R-1E/Single-Family Residential Estate District. Location: 1305 State Orchard Road. SUB-25-004 and ZC-25-002

E. CASE #PR-25-002

Public hearing on the request of Broadmoor Development, represented by Bob Stratton, to adopt a PR-1/Planned Residential Development Plan for a multi-family residential development on property legally described as being part of the SE1/4 NE1/4 of Section 4-74-43, City of Council Bluffs, Pottawattamie County, Iowa. Location: Undeveloped land lying northwest of the intersection of Eastern Hills Drive and Greenview Road. PR-25-002

F. CASE #URV-25-005

Public hearing on the request of the City of Council Bluffs for Amendment #2 for the Amended and Restated Consolidated Urban Revitalization Plan by adding two additional areas to be known as Kaneshville Subarea and Valley View South Subarea for properties legally described in the case staff report. Locations: Northwest corner of the intersection of Highway 6 and Hunt Avenue; and undeveloped parcels lying north of 585 Valley View Drive. URV-25-005

**8. OTHER BUSINESS**

**9. ADJOURNMENT**

If you plan to attend this meeting and require special assistance please contact the Community Development Department at (712) 890-5350 at least 48 hours before the meeting.



## Planning Commission Communication

Department: Community  
Development

Case/Project No.: PI-24-001(M)

CASE #PI-24-001(M)

Council Action: 5/13/2025

Submitted by: Moises Monrroy,  
Planner, Community Development  
Department

### Description

Continued public hearing on the request of EDC Omaha Landco LLC, represented by John Dolan, to amend the adopted PI/Planned Industrial Development Plan for a new 'data center' on property legally described as being a parcel of land located in part of the SE1/4 of Section 21-75-43 and part of the NE1/4 of Section 28-75-43, all lying south of East Kanesville Boulevard (U.S. Highway 6), City of Council Bluffs, Pottawattamie County, Iowa. Location: Undeveloped land at the southeast corner of the intersection of College Road and East Kanesville Boulevard. Case PI-24-001(M)

### Background/Discussion

See attached staff report.

### Recommendation

### ATTACHMENTS:

Description

Type

Upload Date

Staff Report and Attachments A - E

Staff Report

5/8/2025

## Planning Commission Communication

Department: Community Development  CASE #PI-24-001(M)  Applicant/Property Owner: EDC Omaha Landco LLC 30 Old Kings Highway South #1005 Darien, CT 06820  Representative: John Dolan 30 Old Kings Highway South #1005 Darien, CT 06820	Resolution No. _____	Planning Commission: 4/8/2024
<b>Subject/Title</b> <b>Request:</b> Public hearing on the request of EDC Omaha Landco LLC, represented by John Dolan, to amend the adopted planned industrial development plan for a new 'data center' on property legally described as being a parcel of land located in part of the SE ¼ of Section 21-75-43 and part of the NE ¼ of Section 28-75-43, all lying south of East Kanesville Boulevard (U.S. Highway 6), City of Council Bluffs, Pottawattamie County, Iowa.  <b>Location:</b> Undeveloped land at the southeast corner of the intersection of College Road and East Kanesville Boulevard (U.S. Highway 6)		
<b>Background/Discussion</b> The Community Development Department has received a request from EDC Omaha Landco LLC, represented by John Dolan, to amend the adopted planned industrial development plan for a new 'data center' on property legally described as being a parcel of land located in part of the SE ¼ of Section 21-75-43 and part of the NE ¼ of Section 28-75-43, all lying south of East Kanesville Boulevard (U.S. Highway 6), City of Council Bluffs, Pottawattamie County, Iowa.  The subject property consists of several undeveloped parcels of land located east of the Iowa Western Community College campus. A planned industrial development plan was previously adopted at this site for a logistics park via Resolution No. 21-308 (resolution approved by City Council on October 25, 2021). The project did not move forward and the land remained undeveloped. The City of Council Bluffs received a new proposal in April 2024 from EDC Omaha LLC to develop the subject property as a data center. The proposal from EDC Omaha LLC consisted of two 80-foot tall buildings, each containing 450,000 square feet in ground floor area, and a MidAmerican Energy substation to service the proposed data center. On June 10, 2024, City Council passed Resolution No. 24-166 to adopt a planned industrial development plan for the proposed data center. The new development plan superseded and replaced the previous development plan adopted for the logistics park.  The developer is proposing to alter the adopted development plan. The following components of the project will be modified:  (1) The ground floor area of each data center building (reduced from 450,000 square feet to 285,444 square feet);  (2) The height of the data center buildings (reduced from 80 feet to 36 feet 3 inches);  (3) The location of the proposed data center buildings on the subject property;		

- (4) The configuration of the outdoor electrical/mechanical yards; and
- (5) The required landscaping along the perimeter of the site.

Additionally, the developer is proposing to: (1) construct a 24,310-square foot office/administrative building, (2) install two owner-operated substations (each substation will service one of the proposed data center buildings; the MidAmerican Energy substation shown on the original proposal has been replaced with a switchyard), and (3) install additional overhead electric facilities to service the proposed substations. The proposed modifications will substantially alter the design and layout of the proposed ‘data center’ and thus must be reviewed by the City Planning Commission and approved by City Council.

**\*\*UPDATE\*\*** *This request was originally scheduled for public hearing by the City Planning Commission on April 8, 2025. However, the developer requested the Commission to continue the public hearing to the May 13, 2025 meeting after providing more information to the Community Development Department about the outdoor electrical/mechanical yards associated with the project. The schematics provided by the developer showed that the mechanical yards located east of the north data center building will consist of a row of modular cooling towers and two makeup water tank that will measure 60 feet in height and thus exceed the height of the data center building. The Community Development Department and the developer subsequently met to discuss how to properly screen the outdoor electrical/mechanical yards from view and enhance the aesthetics of the project. Following those discussions, the developer submitted a revised site plan and new architectural renderings. New components incorporated into the project include a 35-foot tall decorative metal walls that will screen the proposed cooling towers and water tanks on the northeast corner of the north mechanical yard, a 35-foot tall decorative wall that will screen the southeast corner of the south mechanical yard, and an enhanced façade design on the north elevation of the north data center building.*

The developer intends to subdivide the subject property into at least two lots (one lot for the data center and one lot for the substation) at a later date. The proposed subdivision should be completed prior to the commencement of any construction associated with this project; however, the final plat may be executed after to the construction is completed provided the necessary access easements are conveyed during the platting process.

**Land Use and Zoning** – The subject property is currently zoned P-I/Planned Industrial District. The following zoning and land uses surround the subject property:

Direction	Zoning District(s)	Land Uses
North	C-2/Commercial District and R-3/Low-Density Multifamily Residential District	East Kanesville Boulevard (U.S. Highway 6) and undeveloped land
South	P-I/Planned Industrial District	An office building (Black Hills Energy)
East	A-2/Parks, Estates and Agricultural District	Interstate 80 and undeveloped land
West	A-2/Parks, Estates and Agricultural District and R-3/Low-Density Multifamily Residential District	A college campus (Iowa Western Community College) and student housing

The Future Land Use Plan of the Bluffs Tomorrow: 2030 Plan (Comprehensive Plan) designates the subject property as ‘Office/Industrial’ and ‘Local Commercial.’

**City Departments and Utilities** – All appropriate City departments and utilities were notified of the planned industrial development plan request. The following comments were received:

- A. The Council Bluffs Parks and Recreation Department stated that they have no comments on the request.
- B. The Council Bluffs Police Department stated that they have no comments or objections to the request.
- C. The Iowa Department of Transportation stated that they have no conflicts with the request.
- D. Council Bluffs Water Works stated that they have no comments on the request.

### **Development Plan**

The developer is proposing to amend the adopted planned industrial development plan for the proposed 'data center.' Amendments to the adopted development plan reflecting the proposed modifications to this project are highlighted in gray or crossed out below. All other development standards outlined in the adopted development plan will remain in effect.

#### **A. Site Development**

1. All principal and accessory structures shall have a minimum perimeter setback of 25 feet.
2. The maximum height allowed for ~~principal~~ all structures, exclusive of any utility poles and associated equipment, shall be ~~80 feet~~ 40 feet, as measured from finished grade to the highest point of the parapet wall.
  - a. The revised architectural renderings (see page 2 of Sheet A200, Attachment 'C') show each proposed data center building will measure 36'-3" in height.
  - b. The revised architectural renderings (see page 1 of Sheet A200, Attachment 'C') show the proposed office/administrative building will measure 14'-4" in height.
  - c. The mechanical yards located east of the north data center building will consist of a row of modular cooling towers and two makeup water tanks that will measure 60 feet in height. The proposed cooling towers and water tanks shall be allowed to exceed the maximum building height allowed as per the adopted development plan as said equipment is necessary for the operation of the data center. The developer will also install a 35-foot tall decorative metal wall along the northeast corner of the north mechanical yard to lessen the visual impact of the proposed cooling towers and water tanks as viewed from East Kaneshville Boulevard (U.S. Highway 6) and Interstate 80.
- ~~3. The maximum height allowed for accessory structures shall be 50 feet, as measured from finished grade to the peak of the roof.~~
3. The maximum combined lot coverage for all structures shall not exceed 60% of the lot area.
  - a. The combined area of all buildings proposed to be constructed at this site will be 595,198 square feet, which is approximately 15% of the lot area.
  - b. Including the outdoor mechanical/electrical yards, the total lot coverage for all structures at this site will amount to approximately 36.3% of the lot area.
4. All fences/walls shall be installed in accordance with Section 15.24.040, Fence Regulations, of the Council Bluffs Municipal Code (Zoning Ordinance).

- a. The submitted site plan (Attachment 'C') shows an anti-climb Ameristar fence will be installed around the perimeter of the data center. The maximum height allowed for the proposed fence shall be 10 feet, as measured from finished grade to the highest point of the fence structure.
  - b. The submitted site plan (Attachment 'C') shows a 20-foot tall masonry wall will be installed along the north and west sides of the MidAmerican Energy substation switchyard. ~~A 20-foot tall masonry wall shall also be installed~~ will extend along the northerly 20 feet of the east side of the substation in order to adequately screen all ground-mounted equipment from public view. The two owner-operated substations that will service the proposed data center will also be partially screened from view along College Road using a 20-foot tall masonry wall.
    - i. ~~The proposed masonry wall shall have a minimum height of 10 feet and a maximum height of 20 feet, as measured from finished grade to the highest point of the wall.~~
  - c. The submitted site plan (Attachment 'C') shows a 35-foot tall decorative metal wall will be installed to screen the northeast corner of the north mechanical yard. A 35-foot tall decorative metal wall will also be installed to screen the southeast corner of the south mechanical yard. The proposed walls feature the use of various colors in rectangular patterns that match the design of the north elevation of the north data center building (see Sheet A200, Attachment 'C').
    - i. The proposed decorative metal walls are intended to lessen the visual impact of the mechanical yards associated with this project as viewed from East Kanesville Boulevard (U.S. Highway 6) and Interstate 80. As such, the installation of the 35-foot tall decorative metal walls shall be allowed as proposed.
  - d. No barbed wire shall be allowed on the proposed fence or masonry wall.
5. Any solar energy conversion systems installed at this site shall be subject to Section 15.34.030, Solar Energy Conversion Systems, of the Council Bluffs Municipal Code (Zoning Ordinance).
  6. All exterior lighting shall conform to Section 15.24.050, Lighting Controls, of the Council Bluffs Municipal Code (Zoning Ordinance). All outdoor light poles shall be limited to a maximum height of 40 feet, as measured from finished grade to the highest point of the pole structure. All light poles shall be painted or finished aluminum or steel. Wood poles shall not be allowed.
  7. Outdoor storage of materials, products, equipment, or packaging shall not be permitted. This includes the semi-permanent and/or permanent placement of inter-modal storage/shipping containers.
    - a. Power generators, cooling towers, water tanks, and other mechanical/electrical equipment ~~installed to service~~ required for operation of the proposed data center shall be allowed to be stored outdoors.

## B. Utilities

1. All utilities shall be installed underground. Any cost to remove, relocate, modify, and/or extend utilities to this site shall be at the sole cost of the developer and not the City.
  - a. Overhead facilities shall only be allowed to service the proposed MidAmerican substation switchyard and the owner-operated substations adjacent to each data center building. No other overhead facilities shall be allowed to be installed at this site.
    - i. According to MidAmerican Energy, the height of the power poles to service the proposed substations may range between 60 and 90 feet to meet clearance regulations. To ensure the proposed utility poles do not overwhelm the appearance of the data center, the height of the poles shall not exceed the minimum height required to meet clearance requirements. Additionally, said

utility poles shall be designed and/or painted in such manner as to lessen their visual impact on the aesthetics of the site. The applicant and/or MidAmerican Energy shall provide schematics and/or renderings of the proposed poles to the City prior to installation.

- As per an update provided by the developer on May 5, 2025, the power poles that will distribute power to the south substation will measure 60 feet in height. The developer also noted that the peak of all poles will be maintained at the same elevation.
- The developer is proposing to paint the proposed poles a bark color, but stated that they will continue to work with the City to find the right color to ensure the poles do not have an adverse impact on the aesthetics of the site as viewed from College Road and East Kanesville Boulevard (U.S. Highway 6). The Community Development Department recommends using a color that allows the proposed power poles to blend in with the surrounding environment.

2. All grading and drainage activity for this development shall be completed in accordance with Public Works standards.
3. Water, power, and gas service shall be coordinated with the appropriate utility provider.

### C. Off-Street Parking

1. The minimum number of off-street parking spaces is typically calculated using the parking requirements in Section 15.23.060, Parking Spaces Required, of the Council Bluffs Municipal Code (Zoning Ordinance). For a data center, the number of required parking spaces would be calculated using Schedule A in Section 15.23.060 of the Council Bluffs Municipal Code (Zoning Ordinance). The warehousing component of the data center would require one (1) space per 5,000 square feet and the office/administrative activity component would require one (1) space per 300 square feet. ~~This would result in approximately 200 parking spaces being required for the proposed data center.~~ The submitted site plan (see Sheet CS100, Attachment 'C') shows ~~80~~ 201 parking spaces will be provided at this site. City staff and the developer have discussed establishing site-specific parking standards for this project to ensure the off-street parking needs for the proposed development are adequately satisfied while not requiring an excessive amount of parking to be provided. In this regard, the developer shall submit a parking demand memo prior to building plans being finalized for building permit review to verify the amount of parking provided for the proposed development will be sufficient. ~~Shared parking between the two lots that will contain the proposed data center buildings shall be allowed.~~
2. All off-street parking areas, driveways and drive aisles shall comply with the standards in Chapter 15.23, Off-Street Parking, Loading and Unloading, of the Council Bluffs Municipal Code (Zoning Ordinance), and Iowa's Statewide Urban Design and Specifications (SUDAS) manuals for public improvements.
  - a. The ground surface for the proposed MidAmerican Energy substation may be constructed out of gravel.
3. All off-street parking lots shall comply with Chapter 661-18, Parking for Persons with Disabilities, of the Iowa Administrative Code.
4. Bicycle parking shall be incorporated into the overall layout of each lot.
  - a. Designated bicycle parking areas shall be located within a reasonable distance of, and clearly visible from, the main entrance of each building. Bicycle parking may alternatively be provided in a publicly accessible indoor location within a convenient distance of the main building entrance.
  - b. Bicycle racks shall be secured to the pavement in a location that does not conflict with pedestrian or vehicular circulation routes.

- c. Bicycle parking shall be provided at a rate of one bicycle parking space per 45,000 square feet of ground floor area. Using this calculation, a minimum of 20 bicycle parking spaces shall be provided for this project. Bicycle parking shall be distributed evenly between the two lots containing the data center buildings.
  - d. Bicycle parking shall be installed prior to the issuance of the Certificate of Occupancy for the proposed project.
5. A parking lot permit shall be submitted with the building permit application for the proposed data center, and shall include the number, location, and dimension of all drive aisles and spaces, bicycle parking, pedestrian ways, islands, landscaped areas, loading areas and lighting.
6. The submitted site plan in Attachment 'C' shows the proposed data center will be accessed via two driveways on College Road, which includes the shared driveway with the Black Hills Energy facility at 2287 College Road. The developer shall be subject to the terms and conditions in the shared access easement agreement at all times.

#### **D. Architecture**

1. ~~Architectural renderings/elevations for the proposed data center are shown in Attachment 'J.'~~ Architectural renderings/elevations for the proposed data center buildings and the office/administrative building are shown in Sheet A200, Attachment 'C.' The submitted renderings show the exterior of all buildings being constructed primarily out of insulated precast concrete panels. This material is acceptable and shall be painted in a pattern generally consistent with the submitted renderings.
  - a. The north elevation of the north data center building features the use of various colors in rectangular patterns to enhance the aesthetic of the proposed development as motorists enter the city from the I-80/Highway 6 interchange. This design will extend and create a continuous façade with the decorative metal wall that will screen the proposed cooling towers and water tanks from view.
2. All rooftop mounted mechanical equipment that is visible from an adjacent public street right-of-way shall be screened from view using architectural design features.
  - a. The rooftop mounted mechanical equipment on the proposed office/administrative building shall be screened from public view along College Road, East Kaneshville Boulevard (U.S. Highway 6), and Interstate 80 using a parapet wall or individually using architectural features.
3. All ground-mounted mechanical equipment that is visible from an adjacent public street right-of-way shall be completely screened from view using architectural design features, fencing, masonry wall, landscaping, or a combination thereof.
  - a. The landscape buffer proposed to be planted along the perimeter of the project site shall be acceptable provided it is sized and planted to adequately screen all ground-mounted equipment from public view.
4. All trash receptacles visible from a public right-of-way shall be enclosed on three sides with a masonry, wood, or vinyl fence and shall have a lockable gate that, when closed, completely eliminates view of the dumpster.

#### **E. Landscaping**

1. A landscaping plan shall be part of every building permit application. The plan shall clearly identify plant materials, quantity, and size and shall show dimensions of all areas to be landscaped.

2. A minimum of one evergreen tree and/or deciduous shade tree shall be planted every 30 linear feet along the frontages abutting College Road, East Kaneshville Boulevard (U.S. Highway 6), and Interstate 80, exclusive of any area containing a utility easement granted to accommodate the overhead facilities that will service the proposed switchyard and/or substations.
  - a. ~~The submitted landscaping plan (Attachment 'G') shows a double row of deciduous and evergreen trees will be planted on a 3 to 4 foot tall landscape berm along the perimeter of the project site.~~ The revised landscaping plan (see Sheet CS900, Attachment 'C') shows a row of deciduous and evergreen trees will be planted on earthen berms along the frontages abutting East Kaneshville Boulevard (U.S. Highway 6) and Interstate 80. Trees will also be planted along the northerly and southerly ends of the frontage abutting College Road; however, a significant portion of said frontage will remain unplanted as to not encumber the easement granted to MidAmerican Energy to accommodate the overhead electrical facilities that will service the proposed development. Additionally, a row of shrubs will be planted along the northern edge of the MidAmerican Energy switchyard in lieu of trees to ensure power lines connecting into the switchyard are not obstructed. The Community Development Department finds the proposed amount of landscaping will sufficiently screen the data center from public view.
  - b. All tree species planted along the frontage of a public right-of-way shall comply with the Council Bluffs Street Tree Guide and shall be reviewed and approved by the City prior to installation.
3. Not more than 10% of the landscaped area shall be of inorganic material such as brick, stone, aggregate, river rock, metal or artificial turf. Organic mulch may be used around trees and/or shrubs.
4. A minimum five foot-wide strip of landscaping, planted with trees, shrubs, and/or grass, shall be installed between the edge of all parking lot areas and any abutting property line. The five-foot wide strips may be included in the 10% requirement.
5. All parking lot islands shall be planted with a minimum of one canopy shade tree and ground cover vegetation (e.g., shrubs, sod, mulch, or river rock, etc.). Trees planted on along parking lot islands shall consist of drought resistant species native to Iowa.
6. All disturbed areas without a specific landscape design shall be seeded with sod, turf, and/or prairie grass.
7. All trees shall have a minimum caliper width of two inches at the time of planting.
8. Landscaping shall not impede the vision of any pedestrian and/or automobile traffic entering/exiting or circulating on the subject property.
9. All landscaping shall be appropriately maintained and dead plant material replaced at a time appropriate to planting seasons but in all cases shall be replaced within one year.

#### **F. Signage**

1. The total maximum amount of signage allowed shall be based on a calculation of one and one-half (1 ½) square feet of signage per each lineal foot of street frontage along a public street right-of-way or private drive. The easterly property line abutting Interstate 80 right-of-way shall be excluded from the calculation to determine the maximum amount of signage allowed for this project.
2. The total amount of attached signage shall be limited to 15% of the building façade to which it is attached. Attached signage can be placed at any location on the building but shall not extend beyond any building wall or above the peak of the roof.



- a. One attached wall sign is proposed to be installed above the main entrance of each building. Sign dimensions were not provided at the time of application submittal.
3. A maximum of one ground/monument sign shall be allowed per street frontage and shall be limited to a maximum height of 10 feet, as measured from finished grade to the highest point of the sign structure. The entire monument sign shall be counted as signage as measured from finished grade to the highest point of the monument and from one side of the monument structure to the other. The maximum sign area shall not exceed 100 square feet of signage per face.
  - a. One 5' × 6' monument sign is proposed to be installed near the south driveway entrance along College Road. The proposed monument sign is acceptable.
4. On-site directional/wayfinding signage shall count toward the overall amount of signage permitted on the subject property. Each sign shall be limited to a maximum height of six feet, as measured from finished grade to the highest point of the sign structure. The maximum sign area shall not exceed six square feet of signage per face.
5. No sign listed in Section 15.33.070, Prohibited Signs, of the Council Bluffs Municipal Code (Zoning Ordinance) shall be permitted.
6. A sign permit shall be submitted with every building permit application for any attached, detached and/or on-premise directional signage proposed to be installed on the subject property.

#### **Recommendation**

The Community Development Department recommends approval of the request to amend the adopted planned industrial development plan for a new 'data center' on property legally described as being a parcel of land located in part of the SE ¼ of Section 21-75-43 and part of the NE ¼ of Section 28-75-43, all lying south of East Kanesville Boulevard (U.S. Highway 6), City of Council Bluffs, Pottawattamie County, Iowa, subject to the comments stated above and the following conditions:

- A. Any modifications to the approved development plan which substantially alter the design, layout, configuration, and/or appearance of the project shall be reviewed the City Planning Commission and approved by City Council prior to such changes being made. All minor modifications to the adopted development plan may be administratively approved by the Community Development Director.


#### **Attachments**

Attachment A: Location/Zoning Map  
Attachment B: Project Lola/Edged Preliminary Plans – Original  
Attachment C: Project Lola/Edged Preliminary Plans – Revised  
Attachment D: Preliminary Plans Comparison Exhibit  
Attachment E: Conceptual Street View Illustrations

Prepared by: Moises Monrroy, Planner, Community Development Department

# CITY OF COUNCIL BLUFFS - CITY PLANNING COMMISSION CASE #PR-24-001(M) LOCATION/ZONING MAP

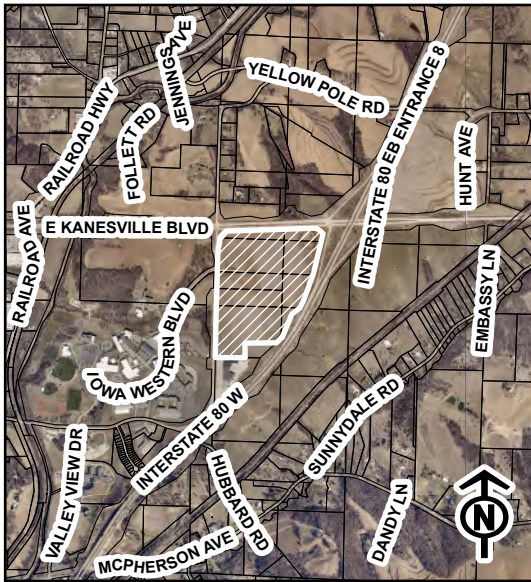
## Legend

 Subject Property

0 310 620



1 inch = 458 feet



Last Amended: 3/20/25



Council Bluffs Community  
Development Department  
209 Pearl Street  
Council Bluffs, IA 51503  
Telephone: (712) 890-5350

**DISCLAIMER**  
This map is prepared and compiled from City documents, plans and other public records data. Users of this map are hereby notified that the City expressly denies any and all responsibility for errors, if any, in the information contained on this map of the nature of the same by the user or anyone else. The user should verify the accuracy of information/data contained on this map before using it. The City assumes no legal responsibility for the information contained on this map.



# PROJECT LOLA

## PRELIMINARY PLANS

### COUNCIL BLUFFS, IA

#### PROJECT INFORMATION:

OWNER: EDC OMAHA LANDCO LLC

ENGINEER: BURNS & MCDONNELL ENGINEERING COMPANY, INC.  
9400 WARD PARKWAY  
KANSAS CITY, MO. 64114

ZONING: P-1 / PLANNED INDUSTRIAL DISTRICT



LOCATION MAP  
N.T.S



#### DRAWING INDEX

C-100	PRELIMINARY PLANNING COVER SHEET
VF100	EXISTING CONDITION PLAN
CS100	OVERALL SITE PLAN
CS200	PROPOSED SUBDIVISION PLAN
CG100	OVERALL GRADING & DRAINAGE PLAN
CU100	OVERALL UTILITY PLAN
LS100	OVERALL LANDSCAPE PLAN



I HEREBY CERTIFY THAT THIS ENGINEERING DOCUMENT WAS PREPARED BY ME OR UNDER MY DIRECT PERSONAL SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF IOWA.

(COREY KINGSLAND) DATE: 04/16/2024

MY LICENSE RENEWAL DATE IS 12/31/2024

PAGES OR SHEETS COVERED BY THIS SEAL: ALL SHEETS LISTED IN DRAWING INDEX

**BURNS  
& MCDONNELL**  
9400 WARD PARKWAY  
KANSAS CITY, MO 64114

date	detailed
04.16.2024	AER
designed	checked
EWV	CAK

EDC Omaha  
Landco LLC  
COUNCIL BLUFFS, IA

project	169987 - PROJECT LOLA
drawing	PRELIMINARY PLANNING COVER SHEET

drawing	rev.
C-100	A
sheet	1 of 7 sheets
file	

**IOWA 811**  
**ONE CALL** SM





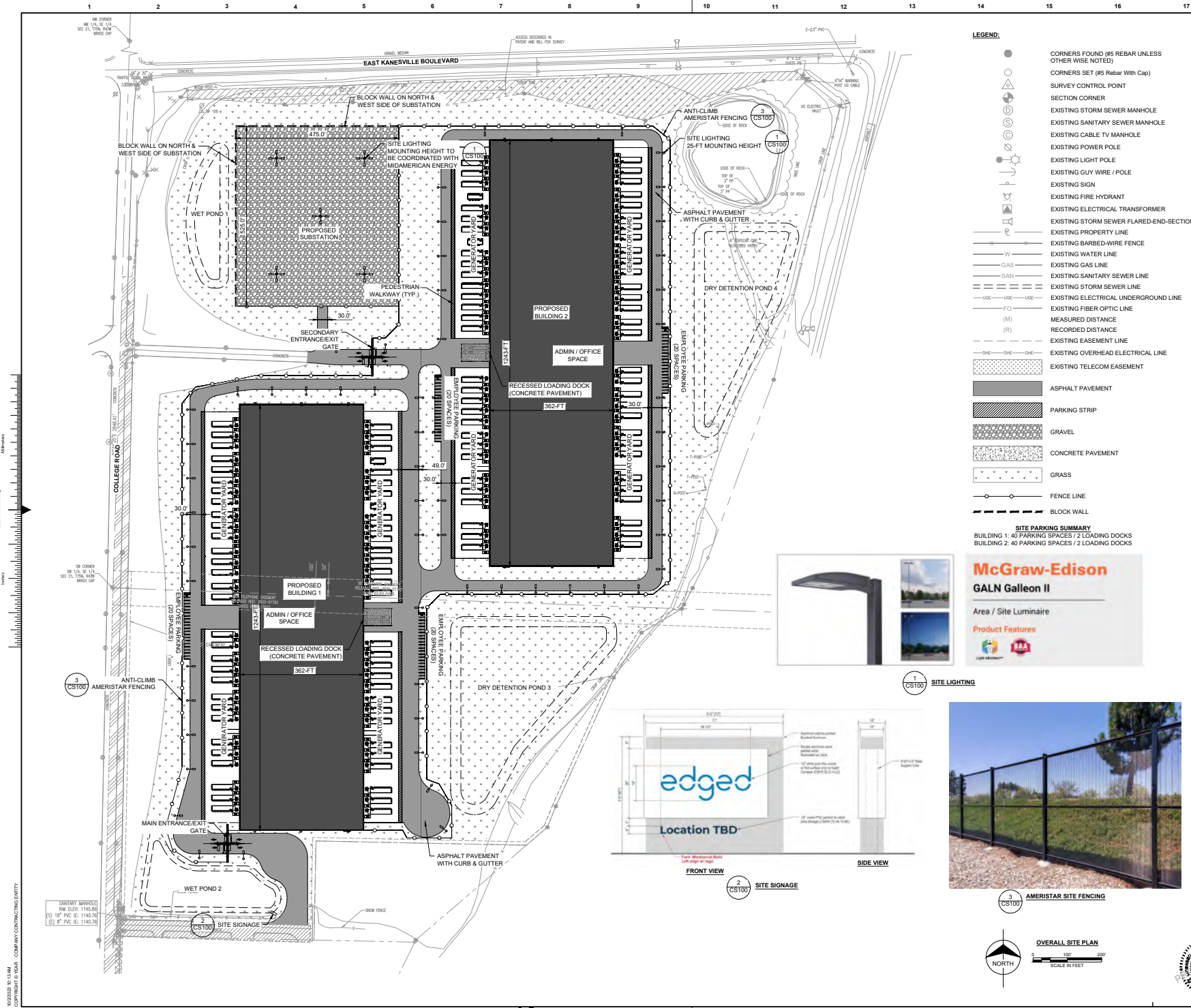
PARCEL 22070  
T. = 130,694 +/-  
RES = 3.00 +/-

BLACK HILLS SUBDIVISION

EXISTING 10'  
QWEST TELECOM



drawing	VF100	—	rev.	A
sheet	2	of	7	sheets
file				



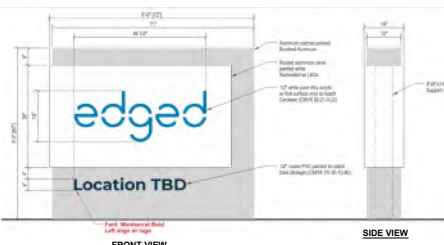
- LEGEND:**
- CORNERS FOUND (#5 REBAR UNLESS OTHERWISE NOTED)
  - CORNERS SET (#5 Rebar With Cap)
  - SURVEY CONTROL POINT
  - SECTION CORNER
  - EXISTING STORM SEWER MANHOLE
  - EXISTING SANITARY SEWER MANHOLE
  - EXISTING CABLE TV MANHOLE
  - EXISTING POWER POLE
  - EXISTING LIGHT POLE
  - EXISTING GUY WIRE / POLE
  - EXISTING SIGN
  - EXISTING FIRE HYDRANT
  - EXISTING ELECTRICAL TRANSFORMER
  - EXISTING STORM SEWER FLARED-END-SECTION
  - EXISTING PROPERTY LINE
  - EXISTING BARBED-WIRE FENCE
  - EXISTING WATER LINE
  - EXISTING GAS LINE
  - EXISTING SANITARY SEWER LINE
  - EXISTING STORM SEWER LINE
  - EXISTING ELECTRICAL UNDERGROUND LINE
  - EXISTING FIBER OPTIC LINE
  - MEASURED DISTANCE (M)
  - RECORDED DISTANCE (R)
  - EXISTING EASEMENT LINE
  - EXISTING OVERHEAD ELECTRICAL LINE
  - EXISTING TELECOM EASEMENT
  - ASPHALT PAVEMENT
  - PARKING STRIP
  - GRAVEL
  - CONCRETE PAVEMENT
  - GRASS
  - FENCE LINE
  - BLOCK WALL

**SITE PARKING SUMMARY**

BUILDING 1: 40 PARKING SPACES / 2 LOADING DOCKS
BUILDING 2: 40 PARKING SPACES / 2 LOADING DOCKS



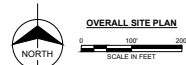
1 SITE LIGHTING



2 SITE SIGNAGE



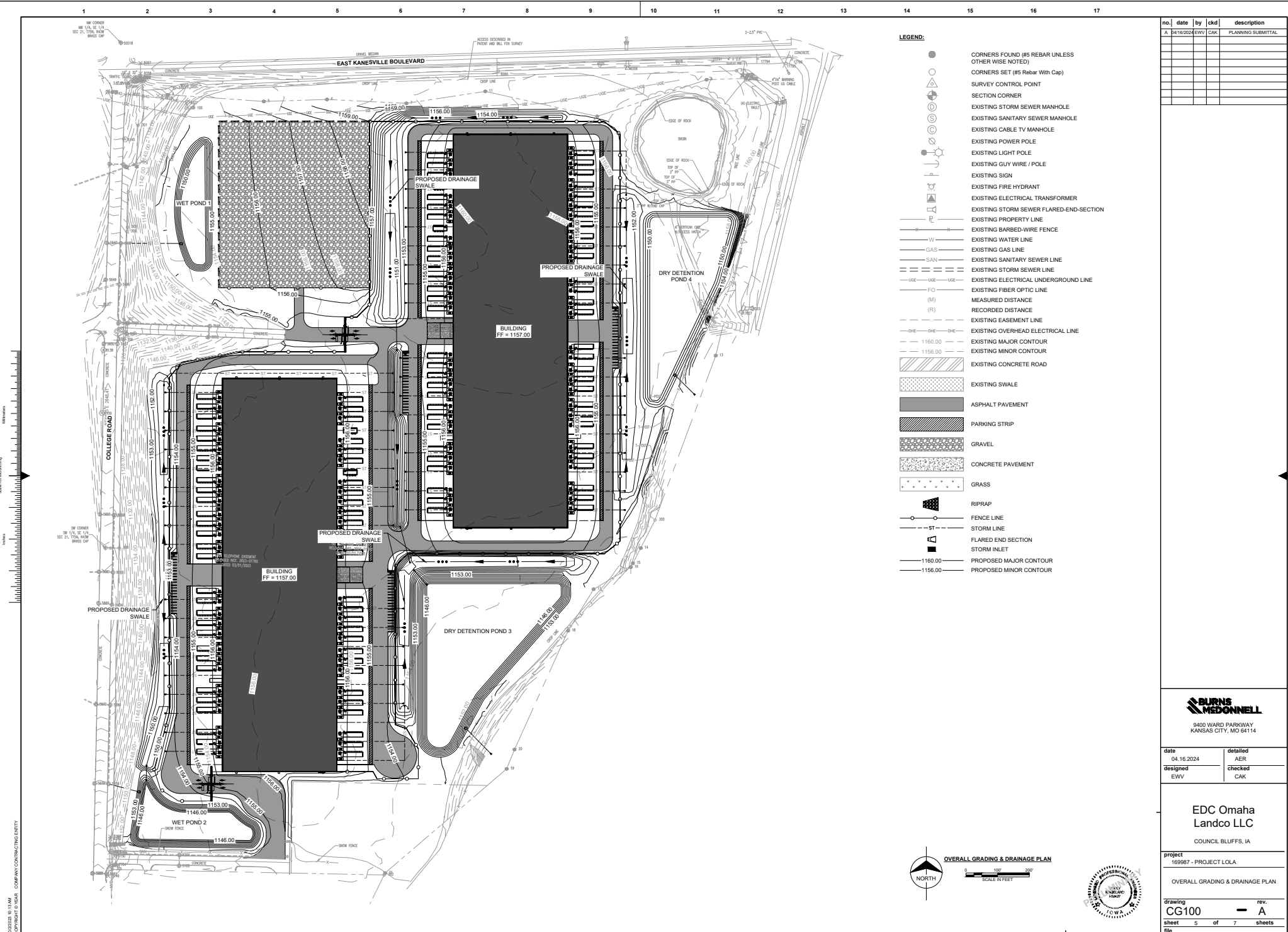
3 AMERISTAR SITE FENCING



no.	date	by	chkd	description
1	04/16/2024	EWV	CAK	PLANNING SUBMITTAL
2				
3				
4				
5				
6				
7				
8				
9				
10				
11				
12				
13				
14				
15				
16				
17				

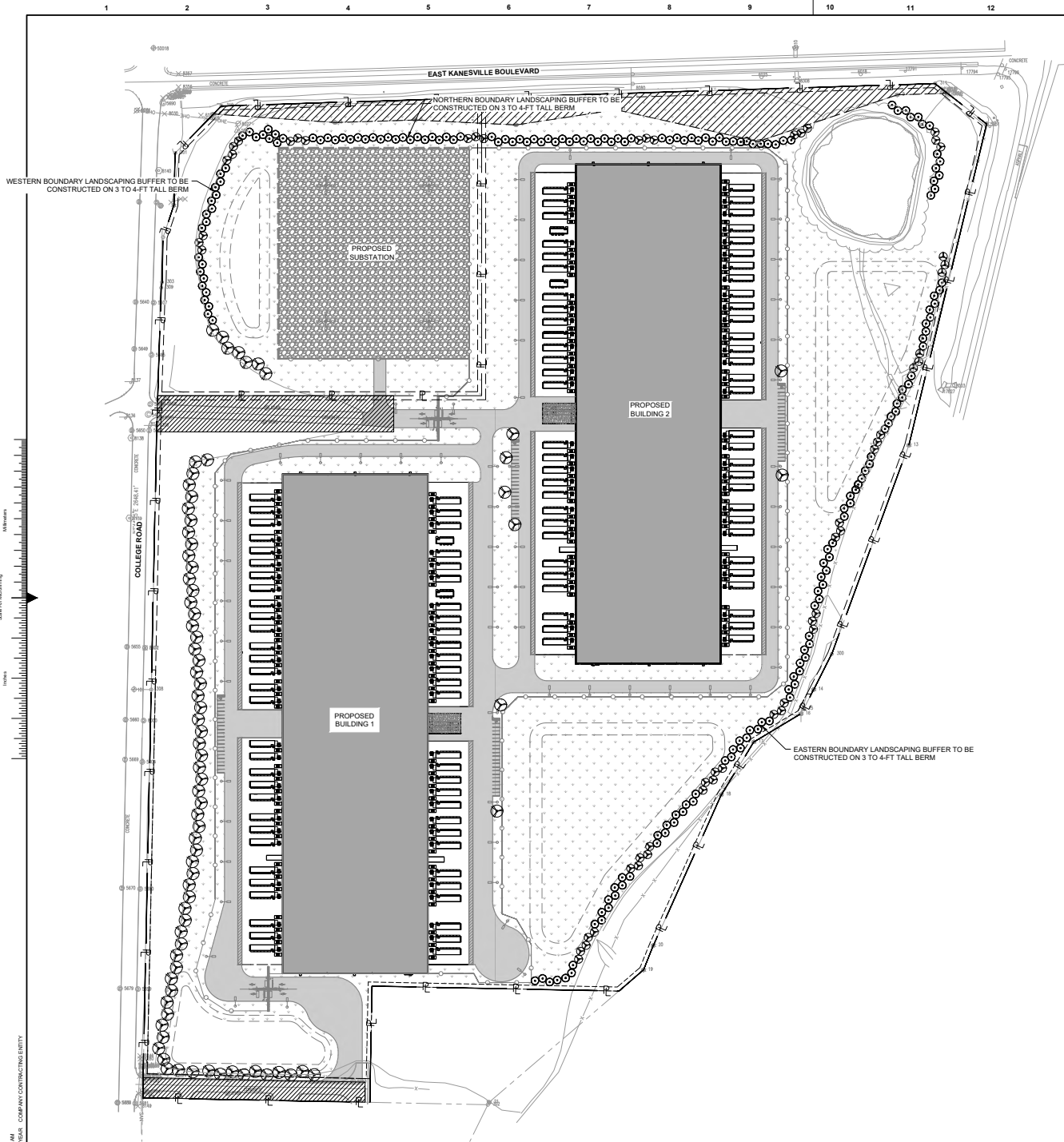
<b>BURNS MEDONNELL</b>	
9400 WARD PARKWAY KANSAS CITY, MO 64114	
date 04.16.2024	detailed AER
designed EWV	checked CAK
<b>EDC Omaha Landco LLC</b>	
COUNCIL BLUFFS, IA	
project 169967 - PROJECT LOLA	
OVERALL SITE PLAN	
drawing CS100	rev. A
sheet 3	of 7
file	sheets











- LEGEND:**
- DECIDUOUS TREE, SIZE: 2-INCH CAL.
  - EVERGREEN TREE, SIZE: 6-7 FT HT.
  - GRASS

no.	date	by	skd	description
A	04/16/2024	EWV	CAK	PLANNING SUBMITTAL

A

B

C

D

E

F

G

H

I

J

K

L

M

**BURNS MEDONNELL**  
 9400 WARD PARKWAY  
 KANSAS CITY, MO 64114

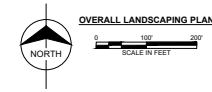
date	detailed
04.16.2024	AER
designed	checked
EWV	CAK

**EDC Omaha  
Landco LLC**  
 COUNCIL BLUFFS, IA

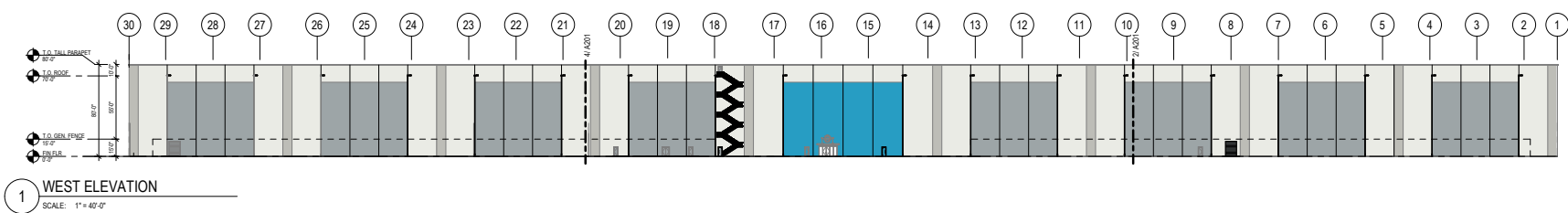
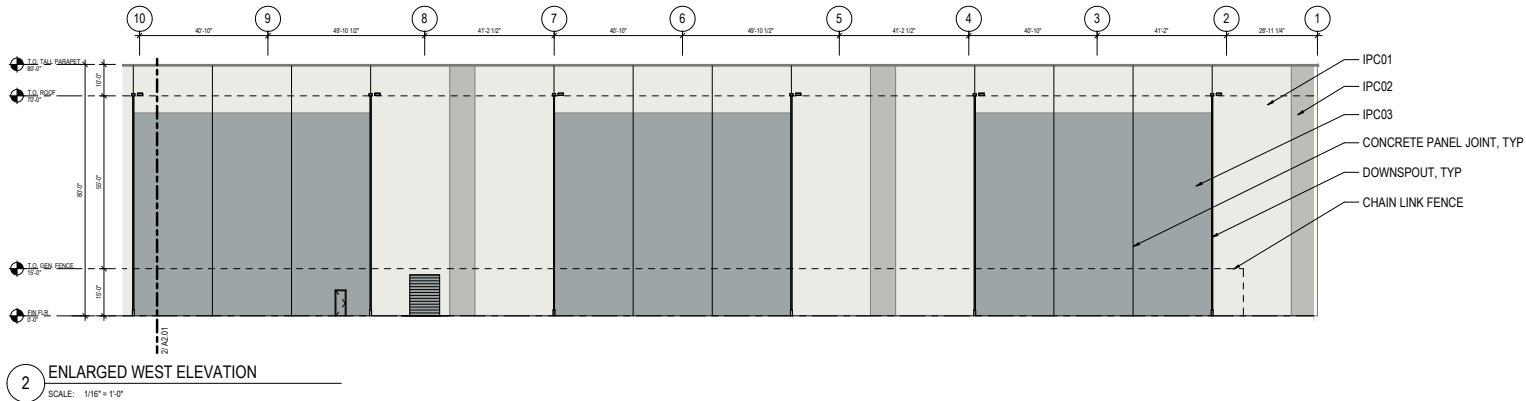
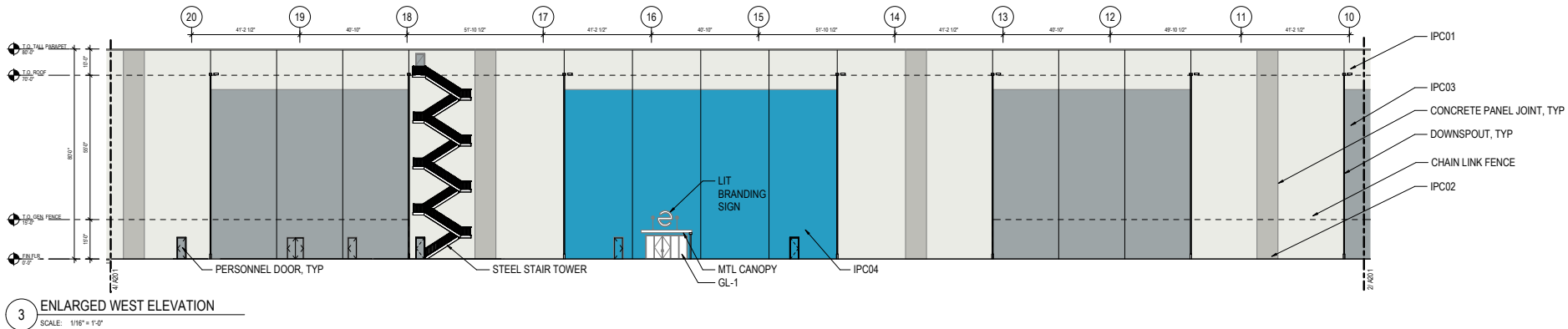
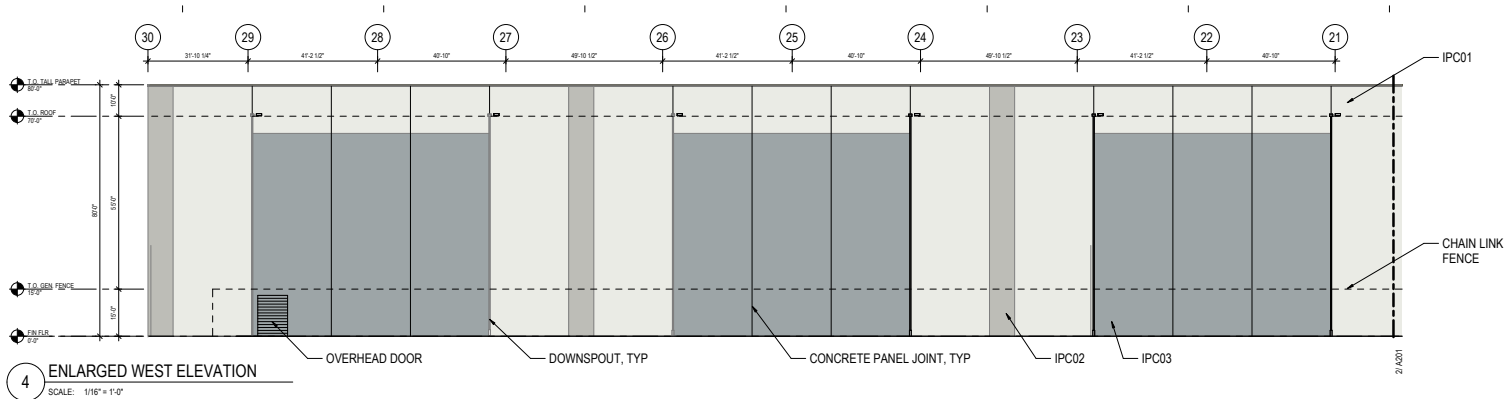
project  
 169967 - PROJECT LOLA

OVERALL LANDSCAPING PLAN

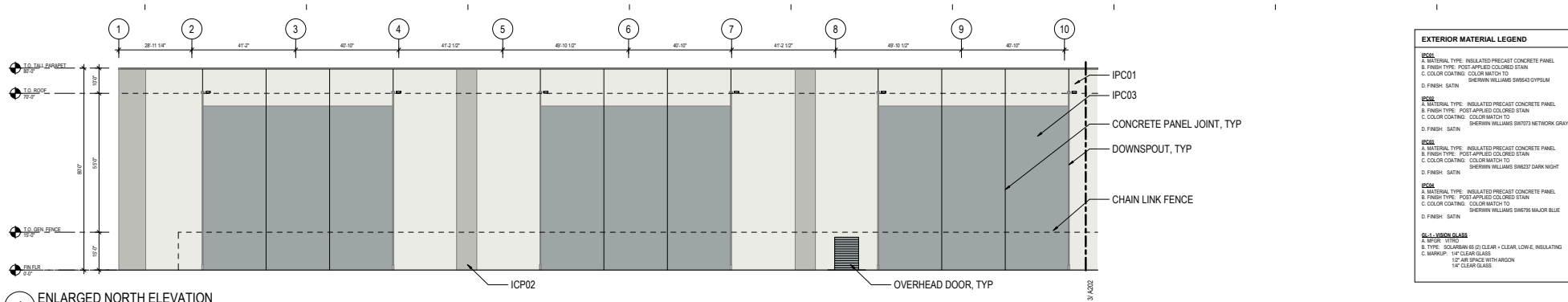
drawing	rev.
CS100	A
sheet	7 of 7
file	sheets



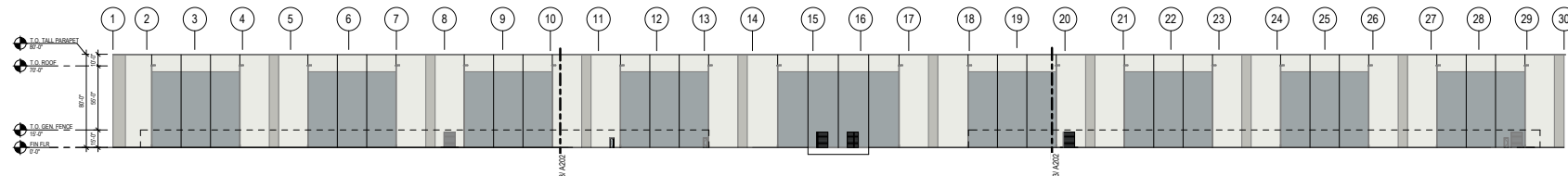
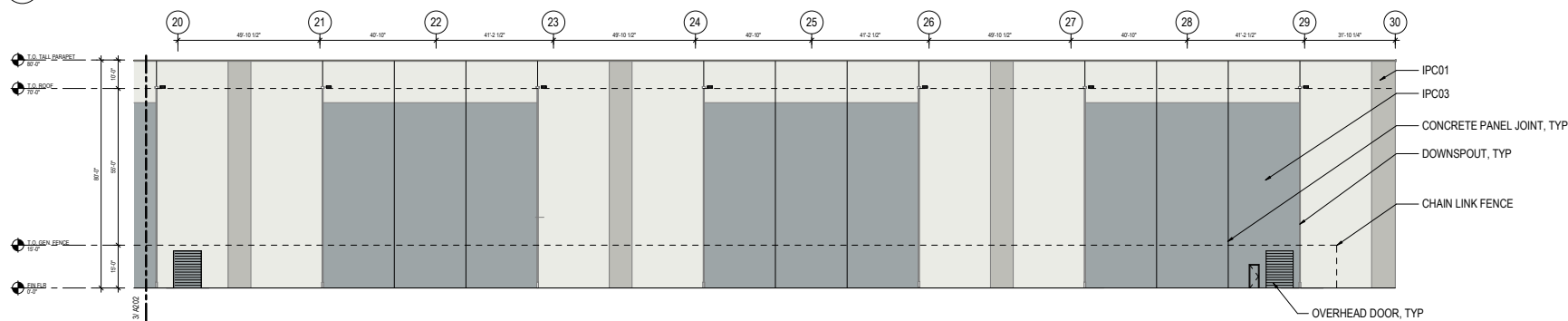
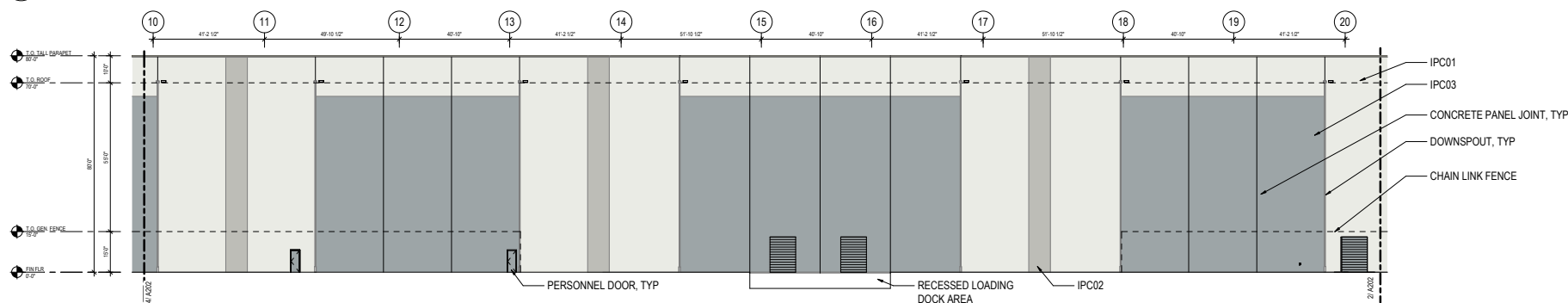
4/15/2024 4:46:18 PM Autodesk Docs://98987\_EDGED PROJECT/LOI/A199987\_Arch\_Edged Lofa.rvt



EXTERIOR MATERIAL LEGEND	
<b>CONC</b>	
A. MATERIAL TYPE: INSULATED PRECAST CONCRETE PANEL	
B. FINISH TYPE: POST APPLIED COLORED STAIN	
C. COLOR COATING: COLOR MATCH TO SHERWIN WILLIAMS SW6540 GYPSUM	
D. FINISH: SATIN	
<b>GLASS</b>	
A. MATERIAL TYPE: INSULATED PRECAST CONCRETE PANEL	
B. FINISH TYPE: POST APPLIED COLORED STAIN	
C. COLOR COATING: COLOR MATCH TO SHERWIN WILLIAMS SW7073 NETWORK GRAY	
D. FINISH: SATIN	
<b>GLASS</b>	
A. MATERIAL TYPE: INSULATED PRECAST CONCRETE PANEL	
B. FINISH TYPE: POST APPLIED COLORED STAIN	
C. COLOR COATING: COLOR MATCH TO SHERWIN WILLIAMS SW6527 DARK NIGHT	
D. FINISH: SATIN	
<b>GLASS</b>	
A. MATERIAL TYPE: INSULATED PRECAST CONCRETE PANEL	
B. FINISH TYPE: POST APPLIED COLORED STAIN	
C. COLOR COATING: COLOR MATCH TO SHERWIN WILLIAMS SW6790 MAJOR BLUE	
D. FINISH: SATIN	
<b>GLASS</b>	
A. MATERIAL TYPE: INSULATED PRECAST CONCRETE PANEL	
B. FINISH TYPE: POST APPLIED COLORED STAIN	
C. COLOR COATING: COLOR MATCH TO SHERWIN WILLIAMS SW6790 MAJOR BLUE	
D. FINISH: SATIN	



EXTERIOR MATERIAL LEGEND	
<b>ICP01</b>	A. MATERIAL TYPE: INSULATED PRECAST CONCRETE PANEL B. FINISH TYPE: POST APPLIED COLORED STAIN C. COLOR COATING: COLOR MATCH TO SHERWIN WILLIAMS SW6540 GYPSUM
<b>ICP03</b>	D. FINISH: SATIN
<b>CONC</b>	A. MATERIAL TYPE: INSULATED PRECAST CONCRETE PANEL B. FINISH TYPE: POST APPLIED COLORED STAIN C. COLOR COATING: COLOR MATCH TO SHERWIN WILLIAMS SW7073 NETWORK GRAY
<b>DOWN</b>	D. FINISH: SATIN
<b>CLF</b>	A. MATERIAL TYPE: INSULATED PRECAST CONCRETE PANEL B. FINISH TYPE: POST APPLIED COLORED STAIN C. COLOR COATING: COLOR MATCH TO SHERWIN WILLIAMS SW6732 DARK NIGHT
<b>OVERH</b>	D. FINISH: SATIN
<b>GLASS</b>	A. MATERIAL TYPE: INSULATED PRECAST CONCRETE PANEL B. FINISH TYPE: POST APPLIED COLORED STAIN C. COLOR COATING: COLOR MATCH TO SHERWIN WILLIAMS SW6732 DARK NIGHT
<b>GLASS</b>	D. FINISH: SATIN
<b>GLASS</b>	A. MATERIAL TYPE: INSULATED PRECAST CONCRETE PANEL B. FINISH TYPE: POST APPLIED COLORED STAIN C. COLOR COATING: COLOR MATCH TO SHERWIN WILLIAMS SW6732 DARK NIGHT
<b>GLASS</b>	D. FINISH: SATIN





## EXTERIOR MATERIAL LEGEND

<b>PC01</b>	
A. MATERIAL: INSULATED PRECAST CONCRETE PANEL.	
B. FINISH TYPE: POST-APPLIED COLORED STAIN	
C. COLOR COATING: COLOR MATCH TO	SHERWIN WILLIAMS SW6543 OYSTER
D. FINISH: SATIN	
<b>PC02</b>	
A. MATERIAL: INSULATED PRECAST CONCRETE PANEL.	
B. FINISH TYPE: POST-APPLIED COLORED STAIN	
C. COLOR COATING: COLOR MATCH TO	SHERWIN WILLIAMS SW7073 NETWORK GRAY
D. FINISH: SATIN	
<b>PC03</b>	
A. MATERIAL: INSULATED PRECAST CONCRETE PANEL.	
B. FINISH TYPE: POST-APPLIED COLORED STAIN	
C. COLOR COATING: COLOR MATCH TO	SHERWIN WILLIAMS SW6237 DARK NIGHT
D. FINISH: SATIN	
<b>PC04</b>	
A. MATERIAL: INSULATED PRECAST CONCRETE PANEL.	
B. FINISH TYPE: POST-APPLIED COLORED STAIN	
C. COLOR COATING: COLOR MATCH TO	SHERWIN WILLIAMS SW6795 MARBLE BLUE
D. FINISH: SATIN	

**GL - VISION GLASS**

A. MATERIAL: SOLARBAN 60 (CLEAR) + CLEAR LOW-E INSULATING GLASS  
 1"14" CLEAR GLASS  
 12" AS SPACE WITH ARGON  
 1"14" CLEAR GLASS

# PROJECT LOLA

## PRELIMINARY PLANS

### COUNCIL BLUFFS, IA

**PROJECT INFORMATION:**

OWNER:	EDC OMAHA LANDCO LLC
ENGINEER:	BURNS & MCDONNELL ENGINEERING COMPANY, INC. 9400 WARD PARKWAY KANSAS CITY, MO. 64114
ZONING:	P-1 PLANNED INDUSTRIAL DISTRICT



LOCATION MAP  
N.T.S

**DRAWING INDEX**

C-100	PRELIMINARY PLANNING COVER SHEET
VF100	EXISTING CONDITION PLAN
CS100	OVERALL SITE PLAN
CS200	PROPOSED SUBDIVISION PLAN
CG100	OVERALL GRADING & DRAINAGE PLAN
CU100	OVERALL UTILITY PLAN
LS100	OVERALL LANDSCAPE PLAN
CU100	OVERALL UTILITY PLAN
LS100	OVERALL LANDSCAPE PLAN

I HEREBY CERTIFY THAT THIS ENGINEERING DOCUMENT WAS PREPARED BY ME  
OR UNDER MY DIRECT PERSONAL SUPERVISION AND THAT I AM A DULY  
LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF IOWA  
(COREY KINGSLAND) DATE: \_\_\_\_\_  
MY LICENSE RENEWAL DATE IS 12/31/2026  
PAGES OR SHEETS COVERED BY THIS SEAL: ALL SHEETS LISTED IN DRAWING  
INDEX

**GENERAL NOTES:**

no.	date	by	chkd	description
A	03/11/25	JJJ	CAK	PLANNING
B	04/16/25	JJJ	CAK	PLANNING

**KEY NOTES LEGEND** **SHEET LEGEND**

PRELIMINARY - NOT  
FOR CONSTRUCTION



Burns & McDonnell Engineering Company, Inc.  
9400 WARD PARKWAY  
KANSAS CITY, MO 64114

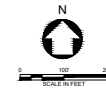
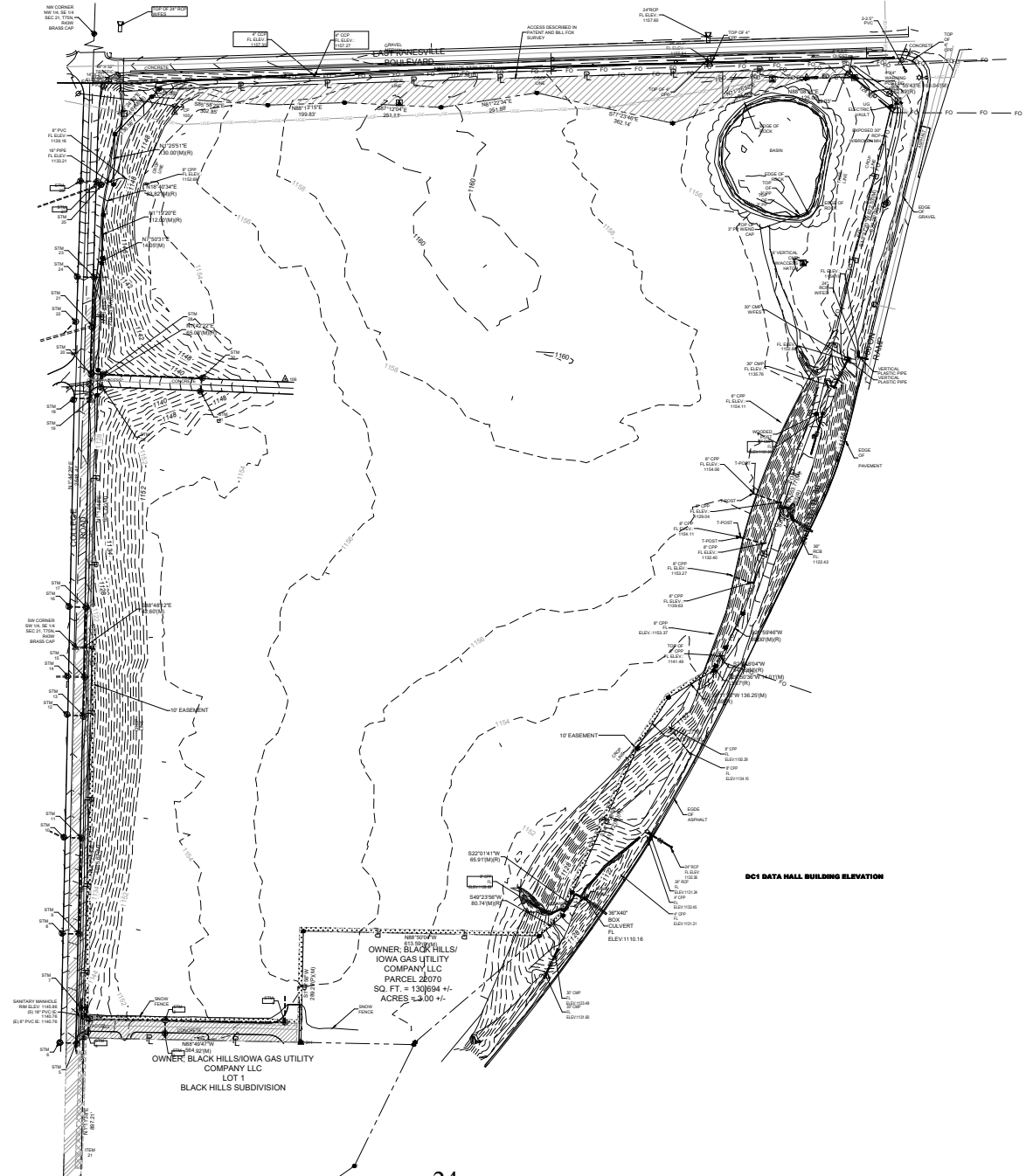
date	03/11/25	detailed	J. JENKINS
designed	C. KINGSLAND	checked	E. VADBRUNCKER

EDC Omaha  
Landco LLC  
COUNCIL BLUFFS, IA

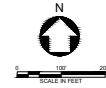
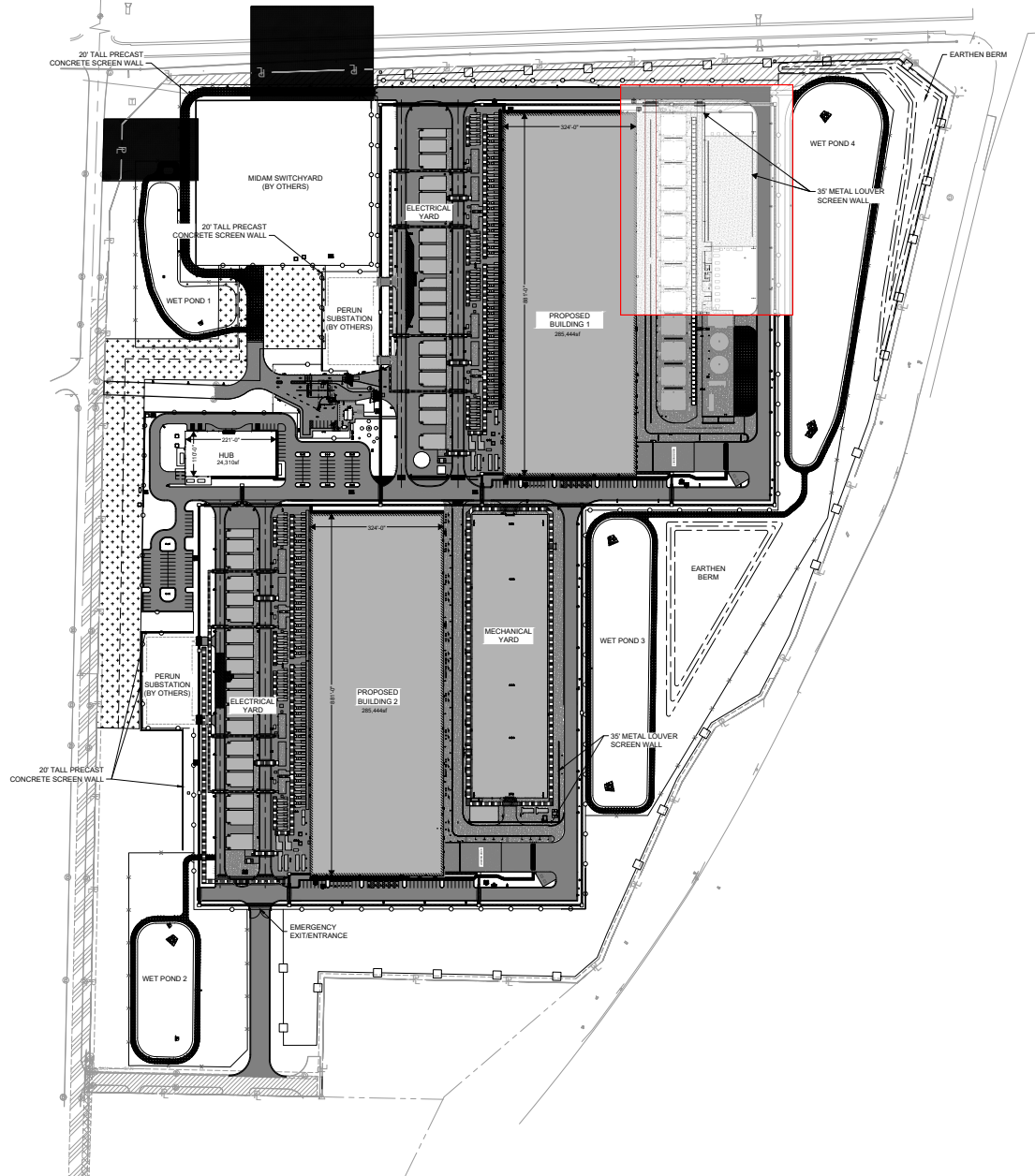
project  
169987 - PROJECT LOLA

PRELIMINARY PLANNING  
COVER SHEET

drawing	rev.
C-100	B
file	

[illegible]

THIS DRAWING IS THE PROPERTY OF BURNS & MCDONNELL ENGINEERING COMPANY, INC. AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF BURNS & MCDONNELL ENGINEERING COMPANY, INC. THIS DRAWING IS THE PROPERTY OF BURNS & MCDONNELL ENGINEERING COMPANY, INC. AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF BURNS & MCDONNELL ENGINEERING COMPANY, INC.



GENERAL NOTES:				
no.	date	by	chkd	description
A	03/11/25	JJJ	CAK	PLANNING
B	04/15/25	JJJ	CAK	PLANNING

KEY NOTES LEGEND

SHEET LEGEND

- LIGHT POLES
- CAMERA POLES
- PARKING COUNT
- FIBER TRENCH BOX
- CABLE VAULT (CV-3)
- HANDHOLE
- ELECTRIC MANHOLE
- SEWER MANHOLE
- INLINE DRAIN
- GRATE INLET
- KEEP OUT 20' ZONE
- HEAVY-DUTY ASPHALT PAVEMENT SEE DETAIL AC-201
- LIGHT-DUTY ASPHALT PAVEMENT SEE DETAIL AC-201
- HEAVY-DUTY CONCRETE PAVEMENT SEE DETAIL AC-201
- MEDIUM-DUTY REINFORCED CONCRETE PAVEMENT SEE DETAIL AC-202
- LIGHT-DUTY CONCRETE PAVEMENT SEE DETAIL AC-201
- FUEL DELIVERY CONCRETE PAVEMENT SEE DETAIL AC-201
- AGGREGATE SURFACING SEE DETAIL TC-201
- EQUIPMENT PAD
- ELECTRICAL TRENCH
- TELECOM TRENCH
- REINFORCED CONCRETE SEE STRUCTURAL PLAN FOR DETAILS
- CONCRETE SIDEWALK
- PROPERTY BOUNDARY FENCE (4-FT DECORATIVE RAIL)
- HIGH-SECURITY FENCE - SEE DETAIL TC-205
- PERIMETER FENCE (8-FT CHAIN-LINK)
- PROPERTY LINE
- MIDAM HIGH VOLTAGE EASEMENT
- OVERHEAD POWER ENTRY EASEMENT (300' F)
- RIP RAP
- STORM SEWER
- MANHOLE
- YARD INLET (Y)
- AREA INLET (A)
- TRENCH DRAIN
- STORM DRAIN CONNECTION / STUB (ST)

PRELIMINARY - NOT FOR CONSTRUCTION



COREY A. KINGSLAND  
CIVIL



date	designed	checked	drawn
02/17/25	C. KINGSLAND	J. JENKINS	C. KINGSLAND

EDC Omaha  
Landcoo LLC  
COUNCIL BLUFFS, IA

PROJECT  
169987  
LOLA  
OVERALL SITE PLAN

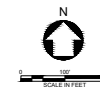
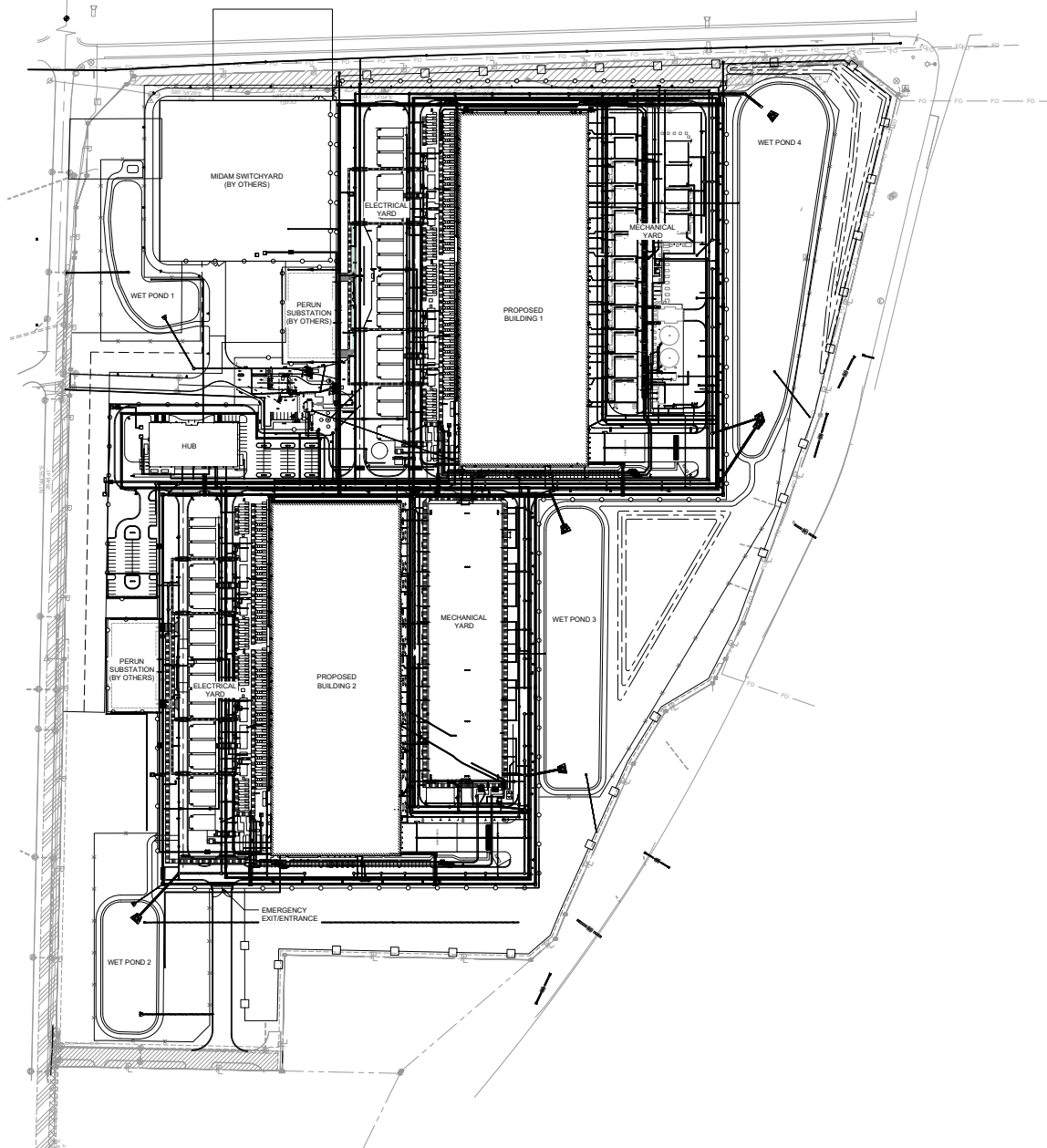
SITE CODE - BLDG #  
CBF-WSB-00


drawing	rev.
CS100	B







[illegible]

KEY NOTES LEGEND 

PRELIMINARY - NOT  
FOR CONSTRUCTION



**SHEET LEGEND**



Burns & McDonnell Engineering Company, Inc.  
9400 WARD PARKWAY  
KANSAS CITY, MO 64114

date	02/18/25	detailed	J. JENKINS
designed	C. KINGSLAND	checked	C. KINGSLAND

EDC Omaha  
Landco LLC

COUNCIL BLUFFS, IA

**PROJEC**

**LOLA**

**LOLA**

OVERALL COMPOSITE UTILITY PLAN

SITE CODE - BLDG #

CBF-WSB-00

drawing	rev.
CU100	— B
file	



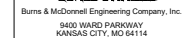
PRELIMINARY - NOT  
FOR CONSTRUCTION



COREY A. KINGSLAND  
CIVIL

**SHEET LEGEND**

-  EVERGREEN TREE:  
SIZE: 6-7 FT HEIGHT
-  DECIDUOUS TREE:  
SIZE: 2-IN CAL
-  MEDIUM DECIDUOUS SHRUB:  
SIZE: 4-8 FT HEIGHT



date	detailed
02/19/25	J. JENKINS
designed	checked
C. KINGSLAND	C. KINGSLAND

EDC Omaha  
Landco LLC

COUNCIL BLUFFS, IA

PROJECT  
169987

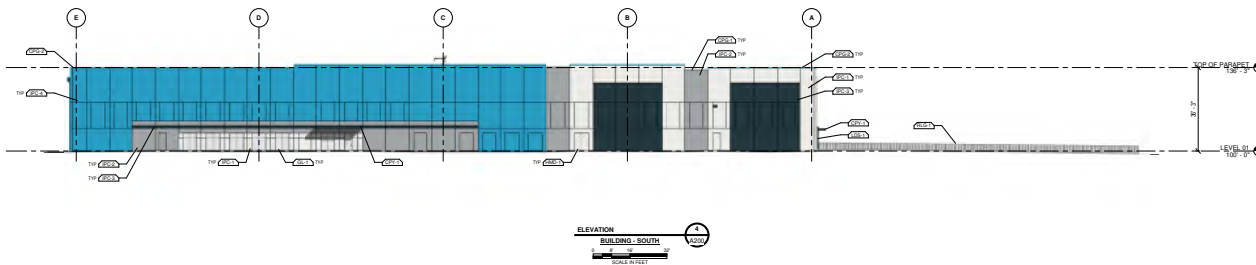
---

LOLA

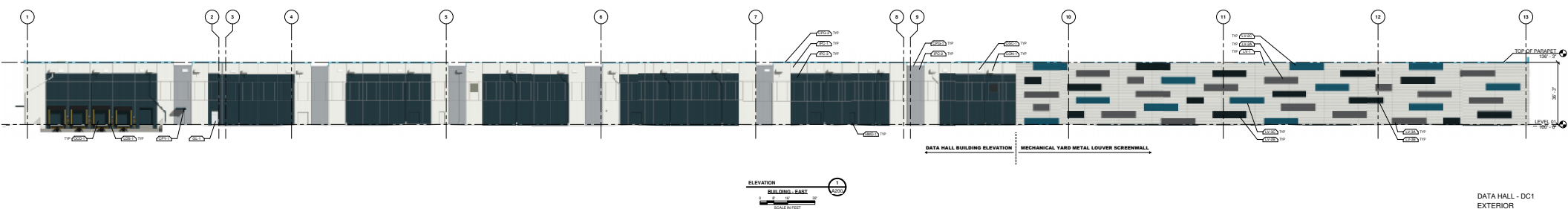
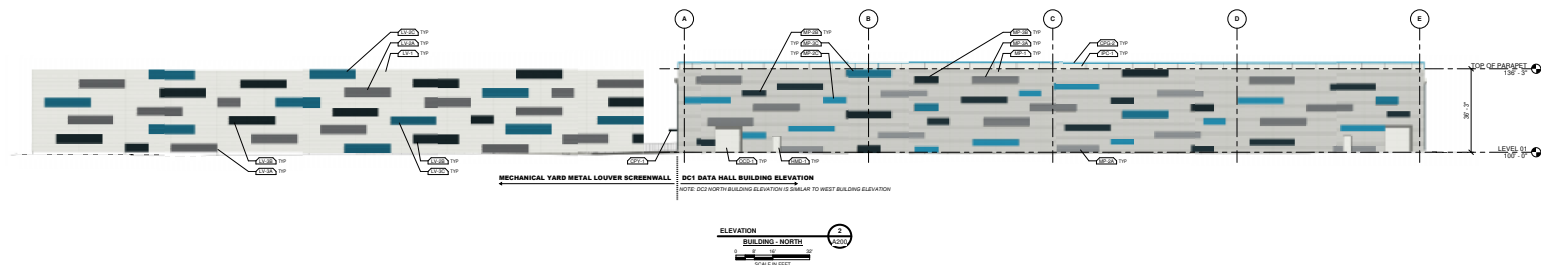
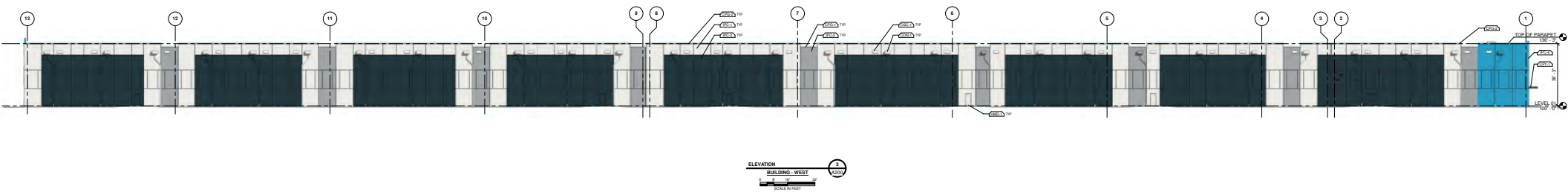
OVERALL LANDSCAPING PLAN

SITE CODE - BLDG #  
CBF-WSB-00

drawing	rev.
LS100	— B
file	

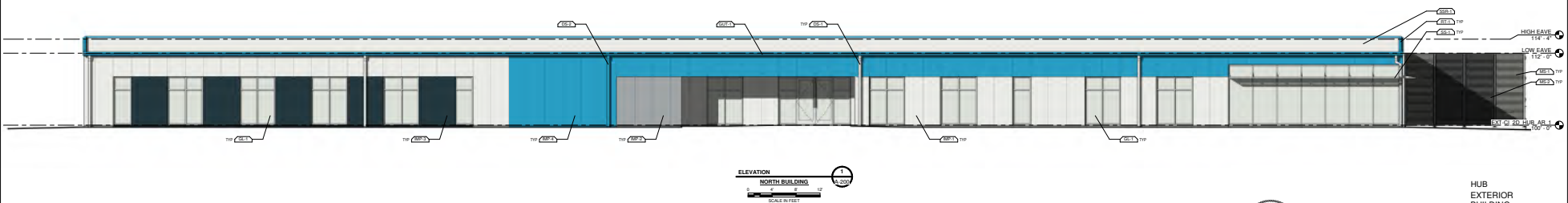
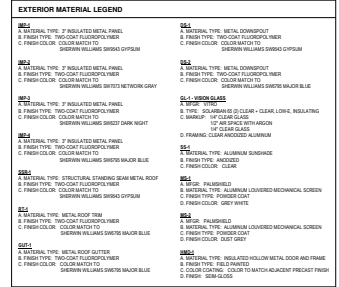


EXTERIOR MATERIAL LEGEND			
<b>PC</b> 1. PRECAST TYPE, INSULATED PRECAST CONCRETE PANEL 2. PRECAST TYPE, INSULATED PRECAST CONCRETE PANEL 3. PRECAST TYPE, INSULATED PRECAST CONCRETE PANEL 4. PRECAST TYPE, INSULATED PRECAST CONCRETE PANEL 5. PRECAST TYPE, INSULATED PRECAST CONCRETE PANEL 6. PRECAST TYPE, INSULATED PRECAST CONCRETE PANEL 7. PRECAST TYPE, INSULATED PRECAST CONCRETE PANEL 8. PRECAST TYPE, INSULATED PRECAST CONCRETE PANEL 9. PRECAST TYPE, INSULATED PRECAST CONCRETE PANEL 10. PRECAST TYPE, INSULATED PRECAST CONCRETE PANEL	<b>MC</b> 1. METAL TYPE, 4" UP DEEP EXPOSED FASTENER METAL PANEL 2. METAL TYPE, 4" UP DEEP EXPOSED FASTENER METAL PANEL 3. METAL TYPE, 4" UP DEEP EXPOSED FASTENER METAL PANEL 4. METAL TYPE, 4" UP DEEP EXPOSED FASTENER METAL PANEL 5. METAL TYPE, 4" UP DEEP EXPOSED FASTENER METAL PANEL 6. METAL TYPE, 4" UP DEEP EXPOSED FASTENER METAL PANEL 7. METAL TYPE, 4" UP DEEP EXPOSED FASTENER METAL PANEL 8. METAL TYPE, 4" UP DEEP EXPOSED FASTENER METAL PANEL 9. METAL TYPE, 4" UP DEEP EXPOSED FASTENER METAL PANEL 10. METAL TYPE, 4" UP DEEP EXPOSED FASTENER METAL PANEL	<b>SC</b> 1. STAINLESS STEEL TYPE, 4" UP DEEP EXPOSED FASTENER METAL PANEL 2. STAINLESS STEEL TYPE, 4" UP DEEP EXPOSED FASTENER METAL PANEL 3. STAINLESS STEEL TYPE, 4" UP DEEP EXPOSED FASTENER METAL PANEL 4. STAINLESS STEEL TYPE, 4" UP DEEP EXPOSED FASTENER METAL PANEL 5. STAINLESS STEEL TYPE, 4" UP DEEP EXPOSED FASTENER METAL PANEL 6. STAINLESS STEEL TYPE, 4" UP DEEP EXPOSED FASTENER METAL PANEL 7. STAINLESS STEEL TYPE, 4" UP DEEP EXPOSED FASTENER METAL PANEL 8. STAINLESS STEEL TYPE, 4" UP DEEP EXPOSED FASTENER METAL PANEL 9. STAINLESS STEEL TYPE, 4" UP DEEP EXPOSED FASTENER METAL PANEL 10. STAINLESS STEEL TYPE, 4" UP DEEP EXPOSED FASTENER METAL PANEL	<b>AC</b> 1. ALUMINUM TYPE, 4" UP DEEP EXPOSED FASTENER METAL PANEL 2. ALUMINUM TYPE, 4" UP DEEP EXPOSED FASTENER METAL PANEL 3. ALUMINUM TYPE, 4" UP DEEP EXPOSED FASTENER METAL PANEL 4. ALUMINUM TYPE, 4" UP DEEP EXPOSED FASTENER METAL PANEL 5. ALUMINUM TYPE, 4" UP DEEP EXPOSED FASTENER METAL PANEL 6. ALUMINUM TYPE, 4" UP DEEP EXPOSED FASTENER METAL PANEL 7. ALUMINUM TYPE, 4" UP DEEP EXPOSED FASTENER METAL PANEL 8. ALUMINUM TYPE, 4" UP DEEP EXPOSED FASTENER METAL PANEL 9. ALUMINUM TYPE, 4" UP DEEP EXPOSED FASTENER METAL PANEL 10. ALUMINUM TYPE, 4" UP DEEP EXPOSED FASTENER METAL PANEL



PRELIMINARY - NOT  
FOR CONSTRUCTION

DATA HALL - DC1  
EXTERIOR  
BUILDING  
ELEVATIONS  
A200

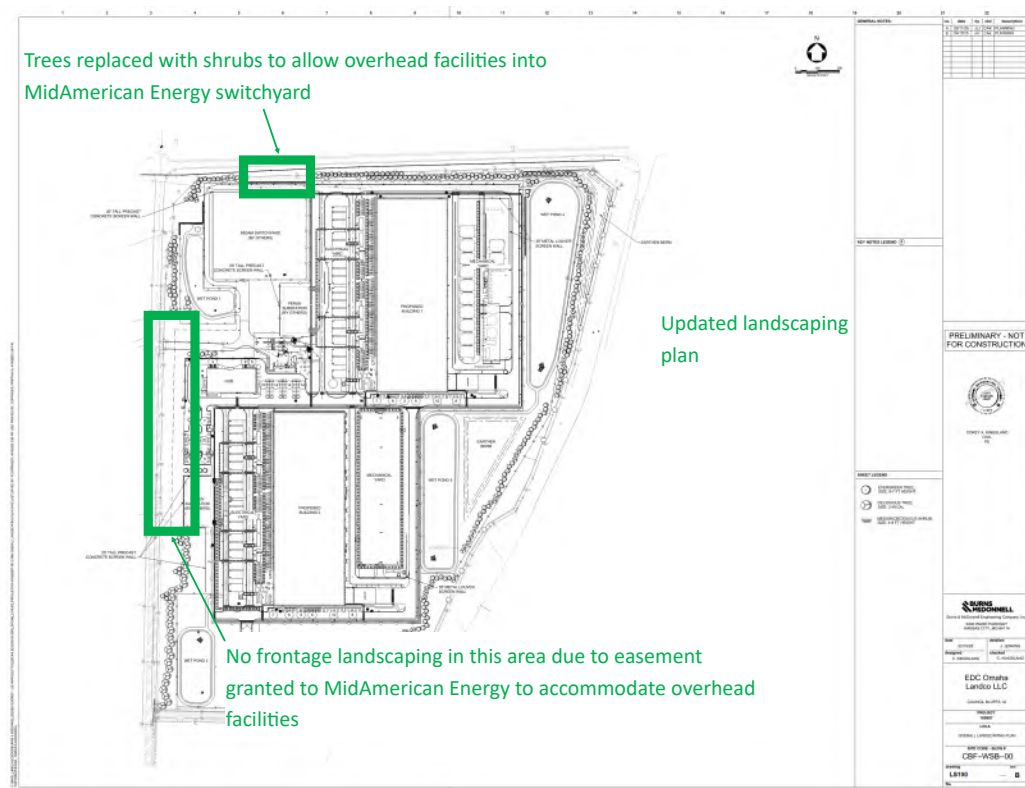
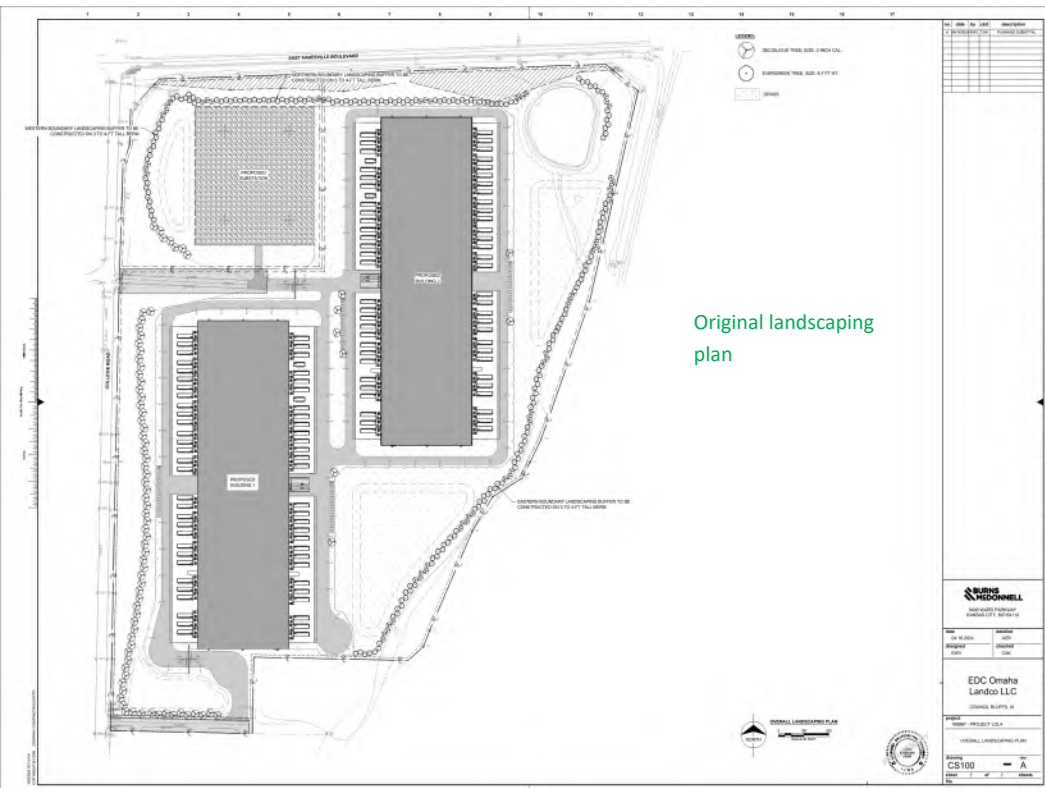


PRELIMINARY - NOT  
FOR CONSTRUCTION

HUB  
EXTERIOR  
BUILDING  
ELEVATIONS  
A201

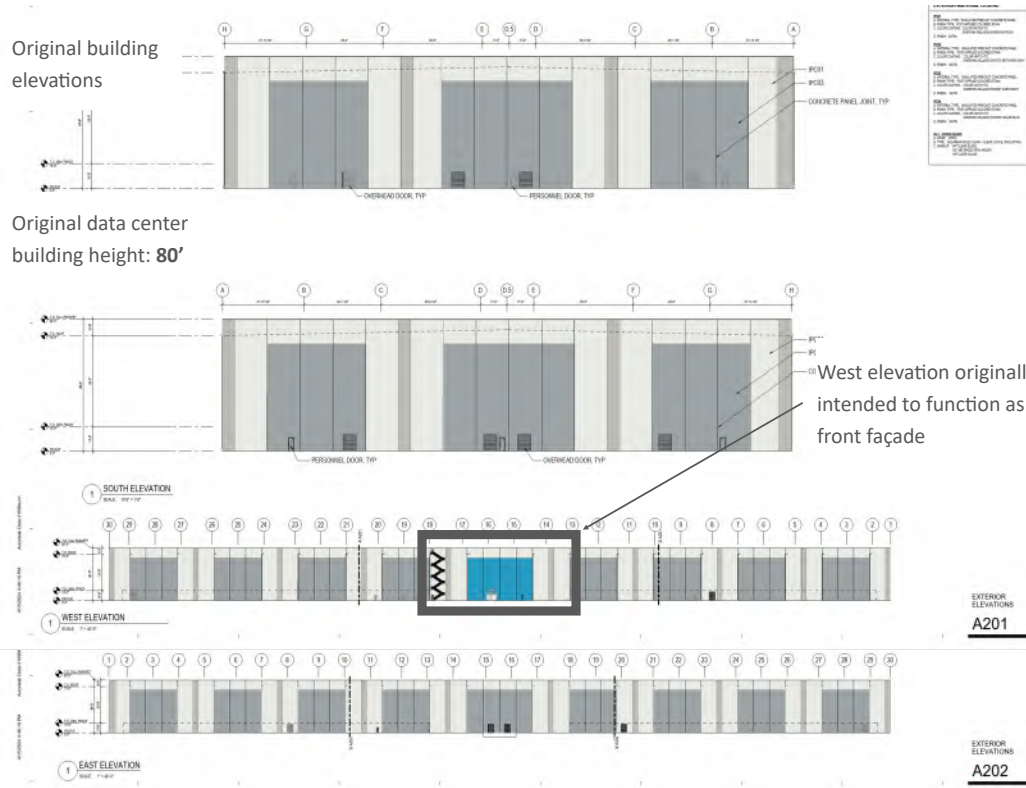






Original building elevations

Original data center building height: 80'



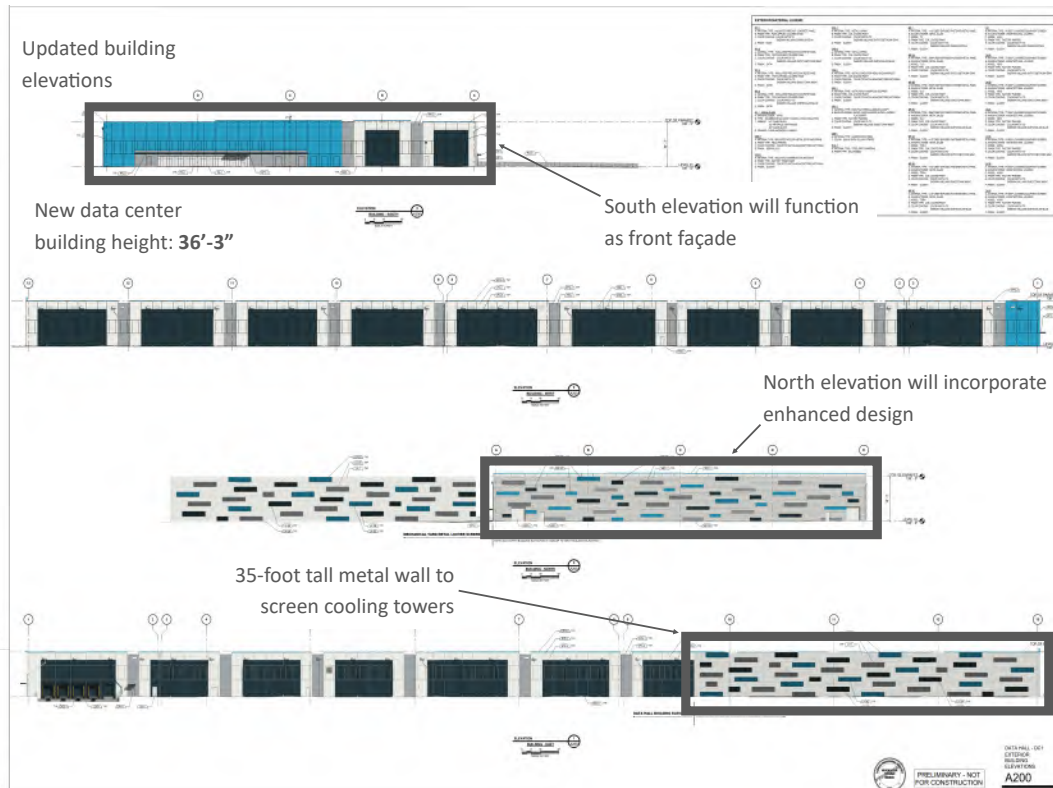
Updated building elevations

New data center building height: 36'-3"

South elevation will function as front façade

North elevation will incorporate enhanced design

35-foot tall metal wall to screen cooling towers















## Planning Commission Communication

Department: Community  
Development

Case/Project No.: ZC-25-003

CASE #ZC-25-003

Council Action: 5/13/2025

Submitted by: Moises Monrroy,  
Planner, Community Development  
Department

### Description

Public hearing on the request of LKM Investments, LLC, represented by Michael Earl, to rezone property legally described as a tract of land in part of the SE1/4 NW1/4 and part of NE1/4 SW1/4, lying east of Hunt Avenue and north of Highway 6, all in Section 22-75-43, City of Council Bluffs, Pottawattamie County, Iowa and being more particularly described in the case staff report from A-2/Parks, Estates, and Agricultural District to I-1/Light Industrial. Location: Undeveloped property lying south of 2025 Hunt Avenue. ZC-25-003

### Background/Discussion

See attached staff report.

### Recommendation

### ATTACHMENTS:

Description

Type

Upload Date

Staff Report and Attachments A - C

Staff Report

5/8/2025

### Planning Commission Communication

Department: Community Development  CASE #ZC-25-003  Applicant/Property Owner: LKM Investments LLC Michael Earl 6214 California Street Omaha, NE 68132	Ordinance No. _____	Planning Commission: 5/13/2025
---	---------------------	--------------------------------

#### Subject/Title

**Request:** Public hearing on the request of LKM Investments LLC, represented by Michael Earl, to rezone property legally described as a tract of land located in part of the NE ¼ SW ¼ and in part of the SE ¼ NW ¼, lying east of Hunt Avenue and north of Highway 6, all in Section 22-75-43, City of Council Bluffs, Pottawattamie County, Iowa from A-2/Parks, Estates and Agricultural District to I-1/Light Industrial District.

**Location:** Undeveloped land lying south of 2025 Hunt Avenue

#### Background

The Community Development Department has received two applications from LKM Investments LLC, represented by Michael Earl, for the following requests:

- A. Case #ZC-25-003: Rezone undeveloped property legally described as a tract of land located in part of the NE ¼ SW ¼ and in part of the SE ¼ NW ¼, lying east of Hunt Avenue and north of Highway 6, all in Section 22-75-43, City of Council Bluffs, Pottawattamie County, Iowa from A-2/Parks, Estates and Agricultural District to I-1/Light Industrial District; and
- B. Case #ZC-25-004: Rezone undeveloped property legally described as a tract of land located in part of the SE ¼ NW ¼, except the southerly 344.75 feet thereof, lying east of Hunt Avenue, all in Section 22-75-43, City of Council Bluffs, Pottawattamie County, Iowa from A-2/Parks, Estates and Agricultural District to I-1/Light Industrial District.

The subject property is an undeveloped tract of land lying south of 2025 Hunt Avenue, located in the immediate vicinity of the I-80/U.S. Highway 6 interchange. As noted above, the applicant has also submitted a request to rezone property lying north of 2025 Hunt Avenue (see Case #ZC-25-004). The purpose of these requests is to allow the applicant to develop and/or market both properties for commercial and/or industrial uses. Potential land uses proposed by the applicant include a gas station/convenience store, a truck stop, and a hardware/home improvement store.

Land Use and Zoning – The following zoning and land uses surround the subject property:

Direction	Zoning District(s)	Land Uses
North	A-2/Parks, Estates and Agricultural District	Iowa State Patrol
South	A-2/Parks, Estates and Agricultural District	Undeveloped land and U.S. Highway 6
East	A-4/Loess Hills District (County)	Single-family homes
West	P-I/Planned Industrial District	Undeveloped land

The Future Land Use Plan of the Bluffs Tomorrow: 2030 Plan (Comprehensive Plan) designates the subject property as 'Office/Industrial.'

Property Owner Notification – Public notices were mailed to all property owners within 200 feet of the request. No comments have been received as of the date of this report.

City Departments and Utilities – All appropriate City departments and utility providers were notified of the proposed planned commercial development plan. The following comments were received:

- A. The Council Bluffs Public Works Department stated that they had no comments on the request.
- B. The Iowa Department of Transportation stated that they had no concerns with the request.
- C. Council Bluffs Water Works stated that there are no water mains to serve the subject property and thus a main extension would be required if the applicant wishes to establish water service to this site.
- D. MidAmerican Energy stated that they have no conflicts with the request. They also stated that the applicant or their agents should contact MidAmerican Energy directly to discuss development plans and project timelines, as well as identify costs and responsibilities associated with the extension of electric service.

#### **Discussion**

- A. The minimum lot area requirement in the I-1/Light Industrial District is 10,000 square feet. The subject property contains 5.90 acres (257,027 square feet), more or less, in land area, thus complies with the minimum lot size requirements in the I-1 District.
- B. If the proposed rezoning is approved, any future development that occurs on the subject property shall comply with all site development standards in Chapter 15.20, I-1/Light Industrial District, of the Council Bluffs Municipal Code (Zoning Ordinance).
- C. The applicant has not provided a specific development proposal for the subject property. The proposed rezoning would allow a variety of commercial and industrial uses on the subject property. Potential land uses proposed by the applicant include a gas station/convenience store, a truck stop, and a hardware/home improvement store. A conceptual site layout illustrating how the subject property could be developed as a truck stop is shown on Attachment 'C.'
  - 1. An 'auto service establishment' is defined in Section 15.03.049 of the Council Bluffs Municipal Code (Zoning Ordinance) as "an establishment or place of business engaged in the service of automobiles and related light equipment." A gas station would fall under this definition. 'Auto service establishment' is a principal use in the I-1 District and thus would be allowed on the subject property if the proposed rezoning is approved.
  - 2. A 'retail shopping establishment' is defined in Section 15.03.592 of the Council Bluffs Municipal Code (Zoning Ordinance) as "a store or shop engaged in the sale of commodities or goods to individual consumers for personal use rather than for resale." Hardware stores and home improvement stores would fall under this definition. 'Retail shopping establishment' is a principal use in the I-1 District and thus would be allowed on the subject property if the proposed rezoning is approved.
  - 3. A 'truck service establishment' is defined in Section 15.03.651 of the Council Bluffs Municipal Code (Zoning Ordinance) as "a facility engaged in rendering service specially to trucks and related heavy equipment, including sales of fuel, lubricants, parts and accessories, parking, equipment repair, retail sales, restaurants and lodging." A truck stop would fall under this definition. 'Truck service establishment' is a conditional use in the I-1 District. If the proposed rezoning is approved, a conditional use permit issued by the Zoning Board of Adjustment would be required to allow a truck stop on the subject property.

- D. The Bluffs Tomorrow: 2030 Plan (Comprehensive Plan) designates the subject property as ‘Office/Industrial,’ which includes uses related to low-impact assembly or distribution activities complemented by employment-intensive, administrative, or professional office functions. The proposed rezoning is generally consistent with the ‘Office/Industrial’ designation. The proposed rezoning would also enable additional development opportunities near the I-80/U.S. Highway 6 interchange.
- E. Adequate utilities (e.g., water, sanitary sewer, electric, etc.) are not readily available to service the subject property. The applicant shall coordinate the extension of utilities to service the subject property with each utility provider as needed.

#### **Recommendation**

The Community Development Department recommends approval of the request to rezone property legally described as a tract of land located in part of the NE ¼ SW ¼ and in part of the SE ¼ NW ¼, lying east of Hunt Avenue and north of Highway 6, all in Section 22-75-43, City of Council Bluffs, Pottawattamie County, Iowa from A-2/Parks, Estates and Agricultural District to I-1/Light Industrial District, based to the reasons stated above.

#### **Attachments**

Attachment A: Location/Zoning Map  
Attachment B: Letter of Intent  
Attachment C: Conceptual Site Layout

Prepared by: Moises Monrroy, Planner, Community Development Department

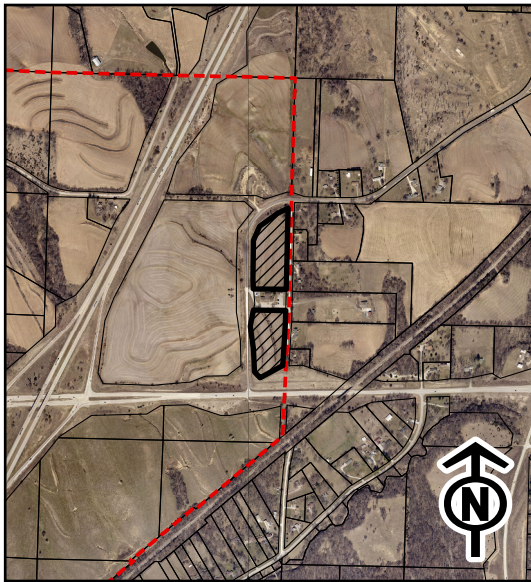


# CITY OF COUNCIL BLUFFS - CITY PLANNING COMMISSION CASES #ZC-25-003 & #ZC-25-004 LOCATION/ZONING MAP

## Legend

-  Subject Properties
-  Council Bluffs City Limits

0 195 390  
1 inch = 292 feet



Last Amended: 4/17/25



Council Bluffs Community  
Development Department  
209 Pearl Street  
Council Bluffs, IA 51503  
Telephone: (712) 890-5350

**DISCLAIMER**  
This map is prepared and compiled from City documents, plans and other public records data. Users of this map are hereby notified that the City expressly denies any and all responsibility for errors, if any, in the information contained on this map of the nature of the same by the user or anyone else. The user should verify the accuracy of information/data contained on this map before using it. The City assumes no legal responsibility for the information contained on this map.





## Attachment 'B'

May 1, 2025

Sent- Via email-[cgibbons@councilbluffs-ia.gov](mailto:cgibbons@councilbluffs-ia.gov)

Mr. Christopher N. Gibbons, AICP  
Planning and Code Compliance Manger  
Community Development Department  
209 Pearl Street  
Council Bluffs, IA 51503

**RE: Letter of Intent- use and purpose for rezoning  
Parcel #754322326001 and Parcel #754322100007  
Pottawattamie County, Council Bluffs, IA 51503**

Mr. Gibbons,

Thank you for your call last week. This Letter of Intent shall describe the purpose and reason for the Rezoning/Comprehensive Plan Amendment Applications submitted previously.

LKM Investments ETAL submitted said Applications with the intent of developing and/or selling the two parcels referenced above to various type users allowed within the Council Bluffs Light Industrial Zoning Code. More specifically, Parcel #754322326001, as referenced in the survey attached to the Application as Parcel 1, it is the applicant's intent to sell said parcel to one or two users that will benefit from exposure to Hwy 6. The users that are being targeted are C-store and Truckstop that would use the entire parcel. Alternatively, industrial type owner/users with a showroom or retail component who would benefit from the exposure to Hwy 6. Examples are- hardware stores, supply stores, home improvement stores.

Parcel #754322100007, as referenced in the survey attached to the Application as Parcel 2, it is our intent to sell or develop said parcel. We believe the highest and best uses for this parcel will vary from multiple flex-industrial type users who would want the ability for outside storage to mini-storage use. Given the size of this parcel, we expect multiple buildings that may require the parcel to be subdivided in the future.

We are in the process of creating concept plans to be added to both applications. Unfortunately, they will not be ready until sometime next week.

Please contact me with any questions or comments.

Sincerely,

A handwritten signature in black ink that reads "Michael P. Earl". The signature is written in a cursive style with a large, stylized "M" and "E".

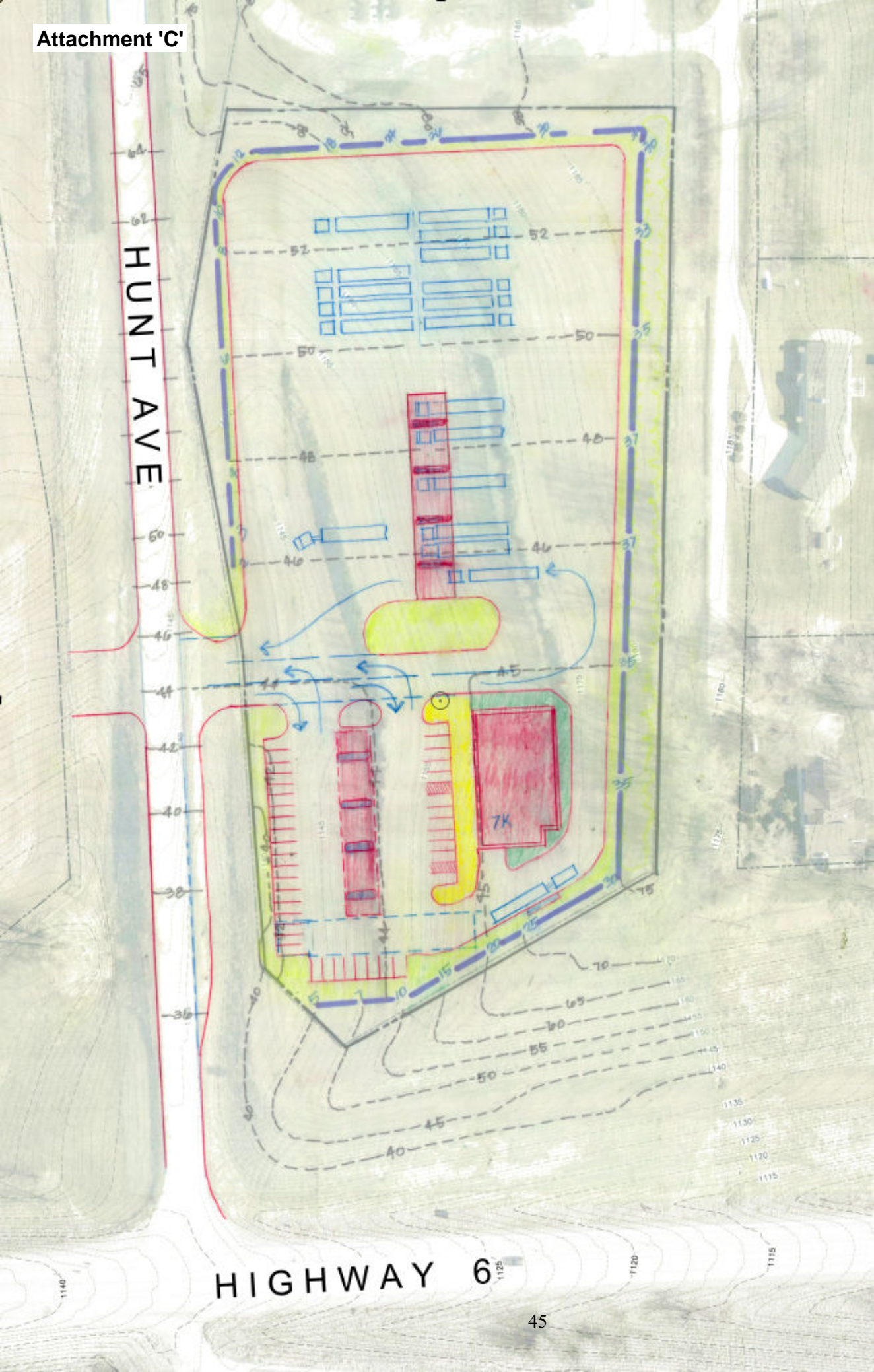
Michael P. Earl

LKM Investments ETAL

CC:

Moises Monrroy, Planner, Community Development Department-[mmonrroy@councilbluffs-ia.gov](mailto:mmonrroy@councilbluffs-ia.gov)

Greg Mahloch, d.b.a GAM4 Holdings LLC- [Mahloch8@aol.com](mailto:Mahloch8@aol.com)





## Planning Commission Communication

Department: Community  
Development

Case/Project No.: ZC-25-004

CASE #ZC-25-004

Council Action: 5/13/2025

Submitted by: Moises Monrroy,  
Planner, Community Development  
Department

### Description

Public hearing on the request of LKM Investments, LLC, represented by Michael Earl, to rezone property legally described as a tract of land in part of the SE1/4 NW1/4, except the southerly 344.75 feet thereof, lying east of Hunt Avenue, all in Section 22-75-43, City of Council Bluffs, Pottawattamie County, Iowa and being more particularly described in the case staff report, from A-2/Parks, Estates, and Agricultural District to I-1/Light Industrial. Location: Undeveloped property lying north of 2025 Hunt Avenue ZC-25-004

### Background/Discussion

See attached staff report.

### Recommendation

### ATTACHMENTS:

Description

Type

Upload Date

Staff Report and Attachments A - C

Staff Report

5/8/2025

### Planning Commission Communication

Department: Community Development  CASE #ZC-25-004  Applicant/Property Owner: LKM Investments LLC Michael Earl 6214 California Street Omaha, NE 68132	Ordinance No. _____	Planning Commission: 5/13/2025
---	---------------------	--------------------------------

#### Subject/Title

**Request:** Public hearing on the request of LKM Investments LLC, represented by Michael Earl, to rezone property legally described as a tract of land located in part of the SE ¼ NW ¼, except the southerly 344.75 feet thereof, lying east of Hunt Avenue, all in Section 22-75-43, City of Council Bluffs, Pottawattamie County, Iowa from A-2/Parks, Estates and Agricultural District to I-1/Light Industrial District.

**Location:** Undeveloped land lying north of 2025 Hunt Avenue

#### Background

The Community Development Department has received two applications from LKM Investments LLC, represented by Michael Earl, for the following requests:

- A. Case #ZC-25-003: Rezone undeveloped property legally described as a tract of land located in part of the NE ¼ SW ¼ and in part of the SE ¼ NW ¼, lying east of Hunt Avenue and north of Highway 6, all in Section 22-75-43, City of Council Bluffs, Pottawattamie County, Iowa from A-2/Parks, Estates and Agricultural District to I-1/Light Industrial District; and
- B. Case #ZC-25-004: Rezone undeveloped property legally described as a tract of land located in part of the SE ¼ NW ¼, except the southerly 344.75 feet thereof, lying east of Hunt Avenue, all in Section 22-75-43, City of Council Bluffs, Pottawattamie County, Iowa from A-2/Parks, Estates and Agricultural District to I-1/Light Industrial District.

The subject property is an undeveloped tract of land lying north of 2025 Hunt Avenue, located in the immediate vicinity of the I-80/U.S. Highway 6 interchange. As noted above, the applicant has also submitted a request to rezone property lying south of 2025 Hunt Avenue (see Case #ZC-25-003). The purpose of these requests is to allow the applicant to develop and/or market both properties for commercial and/or industrial uses. The applicant has not provided a specific development proposal for the subject property, but has indicated the subject property could be developed with multiple flex-industrial type users.

Land Use and Zoning – The following zoning and land uses surround the subject property:

Direction	Zoning District(s)	Land Uses
North	A-2/Parks, Estates and Agricultural District	Undeveloped land
South	A-2/Parks, Estates and Agricultural District	Iowa State Patrol
East	A-4/Loess Hills District (County)	Single-family homes
West	P-I/Planned Industrial District	Undeveloped land

The Future Land Use Plan of the Bluffs Tomorrow: 2030 Plan (Comprehensive Plan) designates the subject property as 'Office/Industrial.'

Property Owner Notification – Public notices were mailed to all property owners within 200 feet of the request. No comments have been received as of the date of this report.

City Departments and Utilities – All appropriate City departments and utility providers were notified of the proposed planned commercial development plan. The following comments were received:

- A. The Council Bluffs Public Works Department stated that they had no comments on the request.
- B. The Iowa Department of Transportation stated that they had no concerns with the request.
- C. Council Bluffs Water Works stated that there are no water mains to serve the subject property and thus a main extension would be required if the applicant wishes to establish water service to this site.
- D. MidAmerican Energy stated that they have no conflicts with the request. They also stated that the applicant or their agents should contact MidAmerican Energy directly to discuss development plans and project timelines, as well as identify costs and responsibilities associated with the extension of electric service.

#### **Discussion**

- A. The minimum lot area requirement in the I-1/Light Industrial District is 10,000 square feet. The subject property contains 7.06 acres (307,626 square feet), more or less, in land area, thus complies with the minimum lot size requirements in the I-1 District.
- B. If the proposed rezoning is approved, all future development that occurs on the subject property shall comply with the site development standards in Chapter 15.20, I-1/Light Industrial District, of the Council Bluffs Municipal Code (Zoning Ordinance).
- C. The applicant has not provided a specific development proposal for the subject property. The proposed rezoning would allow a variety of commercial and industrial uses on the subject property. The applicant has indicated the subject property could be developed with multiple flex-industrial type users. A conceptual site layout illustrating how the subject property could be developed with a 50,000-square foot warehouse building is shown on Attachment 'C.'
  - 1. If the proposed rezoning is approved, all future development that occurs on the subject property shall comply with the land use regulations in Chapter 15.20, I-1/Light Industrial District, of the Council Bluffs Municipal Code (Zoning Ordinance).
  - 2. Outdoor storage of materials and/or equipment is a component of land uses such as contractor yards and storage yards. Said land uses are not allowed in the I-1 District. If the proposed rezoning is approved, all materials and equipment associated with any of the business(es) that operate on the subject property shall be stored within an enclosed structure.
- D. The Bluffs Tomorrow: 2030 Plan (Comprehensive Plan) designates the subject property as 'Office/Industrial,' which includes uses related to low-impact assembly or distribution activities complemented by employment-intensive, administrative, or professional office functions. The proposed rezoning is generally consistent with the 'Office/Industrial' designation. The proposed rezoning would also enable additional development opportunities near the I-80/U.S. Highway 6 interchange.
- E. Adequate utilities (e.g., water, sanitary sewer, electric, etc.) are not readily available to service the subject property. The applicant shall coordinate the extension of utilities to service the subject property with each utility provider as needed.



**Recommendation**

The Community Development Department recommends approval of the request to rezone property legally described as a tract of land located in part of the SE ¼ NW ¼, except the southerly 344.75 feet thereof, lying east of Hunt Avenue, all in Section 22-75-43, City of Council Bluffs, Pottawattamie County, Iowa from A-2/Parks, Estates and Agricultural District to I-1/Light Industrial District, based to the reasons stated above.

**Attachments**

Attachment A: Location/Zoning Map  
Attachment B: Letter of Intent  
Attachment C: Conceptual Site Layout

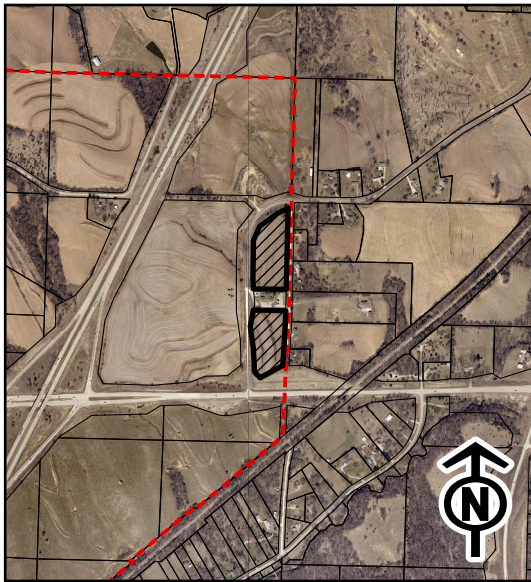
Prepared by: Moises Monrroy, Planner, Community Development Department

# CITY OF COUNCIL BLUFFS - CITY PLANNING COMMISSION CASES #ZC-25-003 & #ZC-25-004 LOCATION/ZONING MAP

## Legend

-  Subject Properties
-  Council Bluffs City Limits

0 195 390  
1 inch = 292 feet



Last Amended: 4/17/25



Council Bluffs Community  
Development Department  
209 Pearl Street  
Council Bluffs, IA 51503  
Telephone: (712) 890-5350

**DISCLAIMER**  
This map is prepared and compiled from City documents, plans and other public records data. Users of this map are hereby notified that the City expressly denies any and all responsibility for errors, if any, in the information contained on this map of the nature of the same by the user or anyone else. The user should verify the accuracy of information/data contained on this map before using it. The City assumes no legal responsibility for the information contained on this map.





## Attachment 'B'

May 1, 2025

Sent- Via email-[cgibbons@councilbluffs-ia.gov](mailto:cgibbons@councilbluffs-ia.gov)

Mr. Christopher N. Gibbons, AICP  
Planning and Code Compliance Manger  
Community Development Department  
209 Pearl Street  
Council Bluffs, IA 51503

**RE: Letter of Intent- use and purpose for rezoning  
Parcel #754322326001 and Parcel #754322100007  
Pottawattamie County, Council Bluffs, IA 51503**

Mr. Gibbons,

Thank you for your call last week. This Letter of Intent shall describe the purpose and reason for the Rezoning/Comprehensive Plan Amendment Applications submitted previously.

LKM Investments ETAL submitted said Applications with the intent of developing and/or selling the two parcels referenced above to various type users allowed within the Council Bluffs Light Industrial Zoning Code. More specifically, Parcel #754322326001, as referenced in the survey attached to the Application as Parcel 1, it is the applicant's intent to sell said parcel to one or two users that will benefit from exposure to Hwy 6. The users that are being targeted are C-store and Truckstop that would use the entire parcel. Alternatively, industrial type owner/users with a showroom or retail component who would benefit from the exposure to Hwy 6. Examples are- hardware stores, supply stores, home improvement stores.

Parcel #754322100007, as referenced in the survey attached to the Application as Parcel 2, it is our intent to sell or develop said parcel. We believe the highest and best uses for this parcel will vary from multiple flex-industrial type users who would want the ability for outside storage to mini-storage use. Given the size of this parcel, we expect multiple buildings that may require the parcel to be subdivided in the future.

We are in the process of creating concept plans to be added to both applications. Unfortunately, they will not be ready until sometime next week.

Please contact me with any questions or comments.



Sincerely,

A handwritten signature in black ink that reads "Michael P. Earl". The signature is written in a cursive style with a large, stylized 'M' and 'E'.

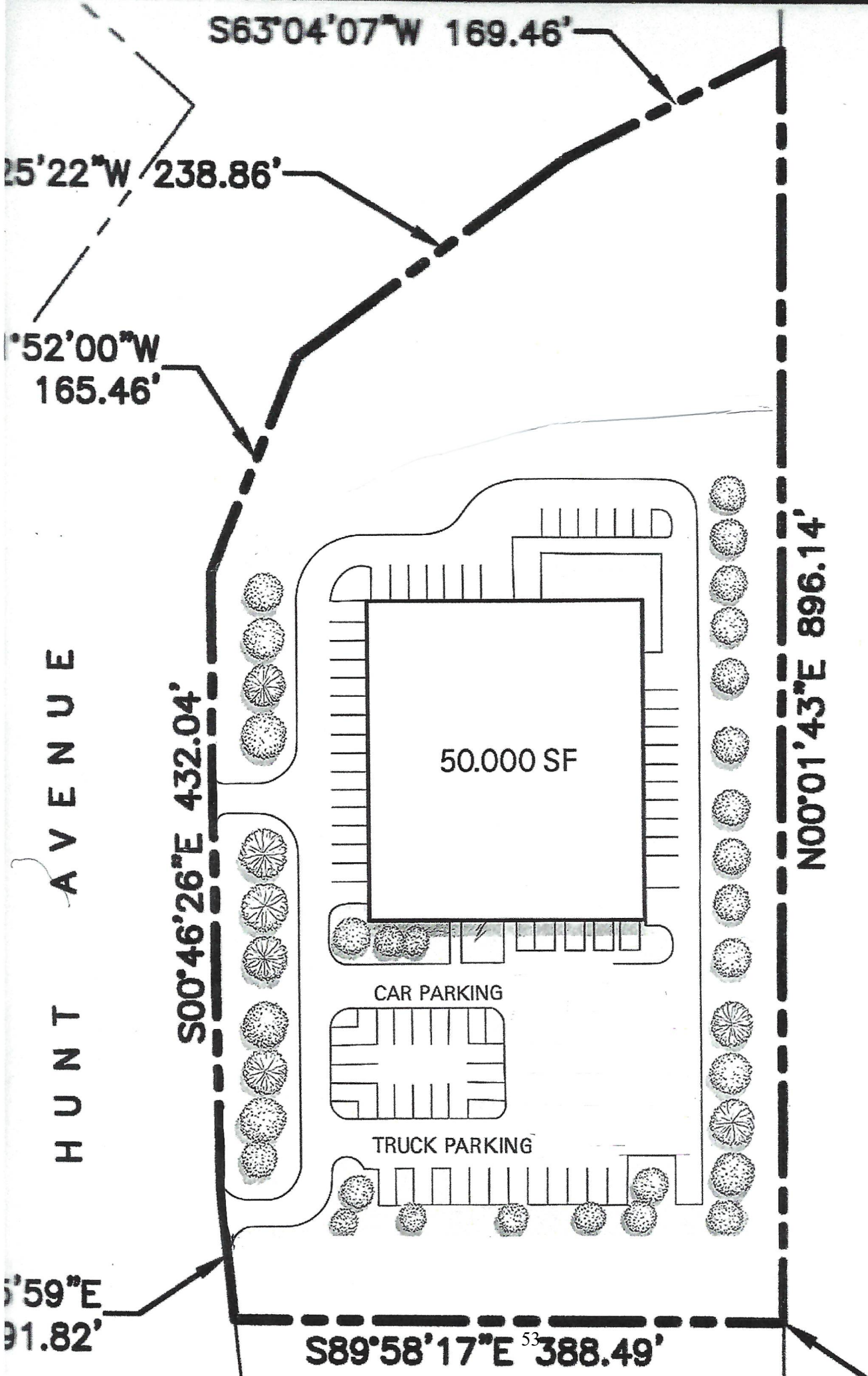
Michael P. Earl

LKM Investments ETAL

CC:

Moises Monrroy, Planner, Community Development Department-[mmonrroy@councilbluffs-ia.gov](mailto:mmonrroy@councilbluffs-ia.gov)

Greg Mahloch, d.b.a GAM4 Holdings LLC- [Mahloch8@aol.com](mailto:Mahloch8@aol.com)



## Planning Commission Communication

Department: Community  
Development

Case/Project No.: SUB-25-004 and  
ZC-25-002

CASES #SUB-25-004 and #ZC-  
25-002

Council Action: 5/13/2025

Submitted by: Christopher  
Gibbons, Planning Manager,  
Community Development  
Department

### Description

Public hearings on the request of Patrick and Rhonda Cunningham for final plat approval of a two-lot residential estate subdivision to be known as Tweety's Landing, along with a subdivision variance to allow proposed Lot 1, Tweety's Landing to exceed the maximum 3:1 lot depth-to-width ratio, on property legally described as being a portion of North 1/2 of the South 1/2 of the SW 1/4 of Section 34-75-43, City of Council Bluffs, Pottawattamie County, Iowa and to rezone said property from A-2/Parks, Estates, and Agricultural District to R-1E/Single-Family Residential Estate District. Location: 1305 State Orchard Road. SUB-25-004 and ZC-25-002

### Background/Discussion

See attached staff report.

### Recommendation

### ATTACHMENTS:

Description

Staff Report and Attachments A - B

Type

Staff Report

Upload Date

5/8/2025

### Planning Commission Communication

Department: Community Development  CASES #SUB-25-004 and #ZC-25-002  Applicant/Property Owner: Patrick and Rhonda Cunningham 1305 State Orchard Road Council Bluffs, IA 51503  Engineer/Surveyor: Jeffrey D. Dimon, PLS HGM Associates Inc. 640 5 <sup>th</sup> Avenue Council Bluffs, IA 51501	Ordinance No. _____  Resolution No. _____	Planning Commission: 5/13/2025
<b>Subject/Title</b>		
<p><b>Request:</b> Combined public hearings on the request of Patrick and Rhonda Cunningham for final plat approval of a two-lot residential estate subdivision to be known as Tweety's Landing, along with a subdivision variance to allow proposed Lot 1, Tweety's Landing to exceed the maximum 3:1 lot depth-to-width ratio, on property legally described Parcel 25028 being a portion of North 1/2 of the South 1/2 of the SW 1/4 of Section 34-75-43, City of Council Bluffs, Pottawattamie County, Iowa and to rezone said property from A-2/Parks, Estates, and Agricultural District to R-1E/Single-Family Residential Estate District.</p> <p><b>Location:</b> 1305 State Orchard Road, Council Bluffs, Iowa 51503</p>		
<b>Background</b>		
<p>The Community Development Department has received applications from Patrick and Rhonda Cunningham for the following requests:</p> <ol style="list-style-type: none"> <li>1. <u>Case #SUB-25-004</u>: Final plat approval of a two-lot residential subdivision to be known as Tweety's Landing, legally described as Parcel 25028 being a portion of North 1/2 of the South 1/2 of the SW 1/4 of Section 34-75-43, City of Council Bluffs, Pottawattamie County, Iowa. The applicant is also requesting a subdivision variance to allow proposed Lot 1 to exceed the maximum 3:1 lot depth-to-width ratio; and</li> <li>2. <u>Case #ZC-25-002</u>: Rezone properties legally described above from A-2/Parks, Estates and Agricultural District to R-1E/Single-Family Residential Estates District.</li> </ol> <p>The applicant owns property at 1305 State Orchard Road and the undeveloped agricultural parcel adjacent (Parcel #754334300017). The purpose of the above subdivision request is to combine their landholdings and create two lots of record. Proposed Lot 1 (37.786 acres) will contain the existing single-family dwelling, associated accessory structures, and agricultural land. Proposed Lot 2 (1.007 acres) will be developed with a detached single-family residential dwelling for the applicants son. All properties in this request are zoned A-2/Parks, Estates and Agricultural District, which allows a single-family detached dwelling as a principal use. The minimum lot size in an A-2 District is three acres. The proposed rezoning from A-2 to R-1E will allow for the creation of proposed Lot 2, as the minimum lot size for the R-1E District is one acre.</p>		



**CASE #SUB-25-004**

The proposed Tweedy's Landing subdivision contains 39.14 acres, more or less, of land that will be subdivided into two residential estate lots and includes the dedication of 0.348 acres for State Orchard Road right-of-way. Proposed Lot 1 (37.786 acres) will contain the existing single-family dwelling, associated accessory structures, and agricultural land. Proposed Lot 2 (1.007 acres) will be developed with a detached single-family residential dwelling for the applicants son. All lots will have direct frontage onto State Orchard Road; however, proposed Lot 2 will be accessed by a 20-foot-wide shared easement. The proposed final plat is included as Attachment 'A.'

**Comments**

- A. The proposed subdivision is consistent with the purpose and intent of Title 14: Subdivisions of the Council Bluffs Municipal Code. The applicant has submitted a request to rezone proposed Lots 1 and 2, Tweedy's Subdivision (see Case #ZC-25-002) from A-2/Parks, Estates, and Agricultural District to R-1E/Single-Family Residential Estates District to ensure the proposed subdivision is consistent with Title 15: Zoning of the Council Bluffs Municipal Code.
- B. All proposed lots comply with minimum one acre R-1E/Single-Family Residential Estates District lot size requirements, as stated below:
  1. Proposed Lot 1 contains 37.786 acres of land (more/less); and
  2. Proposed Lot 2 contains 1.007 acres of land (more/less).

The minimum lot dimension requirements for property zoned R-1E District are 125' wide (measured at the building setback line) and 200' deep. Proposed Lot 1 will measure 660.23' wide by 2631.37' deep, which exceeds the maximum 3:1 lot depth-to-width ratio as stated in Section 14.14.020 *Lot Layout* of the Council Bluffs Subdivision Ordinance. As such, the applicants have requested a subdivision variance from the Council Bluffs City Council as part of the approval of their proposed Tweedy's Landing final plat. Section 14.11.040(A) of the Council Bluffs Subdivision Ordinance states: "*Where it can be shown that due to special conditions, a literal enforcement of this ordinance will result in an unnecessary hardship, the City shall the power to vary such regulation so that substantial justice will be accomplished, provided that such variance would:*

1. *Not be in contrary to the public interest;*
2. *Be in the best interest of the City;*
3. *Be within the spirit and intent of this title;*
4. *Not be detrimental to the future residents in and near the proposed subdivision;*
5. *Be consistent with the City's comprehensive plan."*

The Community Development Department has reviewed the applicant's variance request and recommends approval for the following reasons:

- i. The proposed subdivision is designed to be compatible with existing development in the surrounding area and is being laid out in such a manner to allow for further subdivision/development activity in the future. The subdivision variance is not anticipated to be detrimental to residents in and/or adjacent to the subdivision.
- ii. Proposed Lot 1, Tweedy's Landing is comprised of two existing lots of record that are being combined together to create a larger 37.7 acre tract of land. The applicants have to combine the two lots together as part of this final plat effort in order to avoid creating a landlocked parcel. This requirement causes proposed Lot 1 to exceed the maximum 3:1 lot depth-to-width ratio and thus a variance is necessary.

- iii. Proposed Lot 2 will be developed with a new single-family residential dwelling and proposed Lot 1 will continue to be utilized by the applicants as their primary residence. The size and shape of Lot 1 allows for further subdivision action(s) to occur in order to facilitate additional housing opportunities in the City.
  - iv. The Bluffs Tomorrow: 2030 Plan (Comprehensive Plan) encourages housing diversity in order to meet the needs of the community and ensure the long-term stability of residential neighborhoods. The proposed subdivision final plat is consistent with this policy and is in the best interest of the City as it will increase access and diversify housing options in Council Bluffs.
- C. All development on the proposed lots shall comply with the site development standards listed in Section 15.08A.050, *Site Development Regulations*, for the R-1E District. The applicant shall provide documentation to the City's Community Development Department that shows the existing residential dwelling on proposed Lot 1 will have conforming R-1E District setbacks, prior to the final plat being executed by the City and recorded with the Pottawattamie County Recorder's Office.
- D. No new public streets are proposed within this subdivision as both lots in the subdivision have direct frontage onto State Orchard Road. A 20-foot-wide access easement is proposed over the existing driveway on Lot 1 and is intended to provide shared access to proposed Lot 2.
- E. All driveways and off-street parking areas within the proposed subdivision shall be hard-surfaced paved and designed in accordance with the standards stated in Section 15.23, *Off-Street Parking, Loading and Unloading*, of the Council Bluffs Municipal Code (Zoning Ordinance). The existing residential dwelling on Lot 1, Tweety's Landing has a gravel driveway that connects into State Orchard Road, which does not conform to current City hard-surface pavement standards. This driveway can remain in its current condition until such time development activity on the subject property requires the gravel driveway to be updated to current City standards, as stated in said Section 15.23 of the Council Bluffs Zoning Ordinance.
- F. The proposed Tweety's Landing subdivision is located along a northerly section of State Orchard Road, which does not have sanitary sewer, but has water, electric, and gas utilities available. The purpose of the proposed R-1E zoning designation is to allow for septic systems and on-site water wells to be utilized in areas of the City in which access to utilities is not readily available. Both lots within the proposed subdivision will be connected to public water and will utilize on-site septic systems, as sanitary sewer is located more than 200 feet away from the existing residential dwelling on proposed Lot 1 and is not available at all to proposed Lot 2.
- G. All utilities shall be installed underground. All costs to construct, remove and/or relocate any utilities for the proposed subdivision shall be the responsibility of the developer and not the City.
- H. The following existing easements are recorded on the subject property and are shown on the proposed final plat:
- 1. A 30-foot-wide storm sewer easement along the southwesterly/southerly portion of Lot 1, as recorded in Book 102, Page 44908.
  - 2. A 40-foot-wide sanitary sewer easement that bisects proposed Lot 1, as recorded in Book 106, Page 06391.
- I. The proposed final plat also includes the dedication of a 33' x 659.04' (0.348 acres) tract of land to the City of Council Bluffs for State Orchard Road right-of-way.
- J. The subject property is not located within a designated flood zone, as per FEMA FIRM Map Panel 19155C0581F, dated 4/16/2013.
- K. The following technical correction shall be made to the final plat prior to it being executed by the City of Council Bluffs:
- 1. The standard dedication of public easements shall appear on the final plat as stated below:  
*A perpetual easement is reserved for storm drainage and the installation and maintenance of utilities 5 feet wide along each side of interior lot lines and 10 feet in width along all front and rear lot lines:*

**ERECTION OF STRUCTURES PROHIBITED:** Grantor shall not erect any structure over or within the Easement Area without obtaining the prior written consent of the City Engineer, provided however grantor shall have the right to place and maintain a surfaced roadway over and within the Easement Area.

**CHANGE OF GRADE PROHIBITED:** Grantor shall not change the grade, elevation or contour of any part of the Easement Area without obtaining the prior written consent of the City Engineer.

**RIGHT OF ACCESS:** City shall have the right of access to the Easement Area and have all right of ingress and egress reasonably necessary for the use and enjoyment of the Easement Area as herein described.

**REMOVAL AND REPLACEMENT:** The cost of removal and replacement of any unauthorized improvement or structures within the Easement Area, necessitated by the exercise of the rights under this easement, shall be borne by the Grantor or their successors or assigns.

**SURFACE RESTORATION:** City's liability to restore the surface within the Easement Area shall be limited only to grading and seeding, and replacement of grantors surfaced roadway.

**DUTY TO REPAIR:** City agrees that any drain tile, drive or access way, fence, or yard or other improvements outside of the Easement Area which may be damaged as a result of any entry made through an exercise of the City's right of access shall be repaired at no expense to Grantor.

**EASEMENT RUNS WITH LAND:** This easement shall be deemed to run with the land and shall be binding on Grantor and on Grantor's successors and assigns.

**CASE #ZC-25-002**

The subject property is zoned A-2/Parks, Estates, and Agricultural District and is surrounded by the following zoning districts and existing land uses:

Direction	Existing Zoning Districts	Existing Land Uses
North	A-2/Parks, Estates, and Agricultural District and R-1E/Single-family Residential Estate District	Single-family residential dwellings and undeveloped land
South	A-2/Parks, Estates and Agricultural District and R-1/Single-family Residential District	Undeveloped land
East	R-1/Single-Family Residential District	Undeveloped land and single-family dwellings
West	A-2/Parks, Estates and Agricultural District and R-1/Single-family Residential District	Undeveloped land and single-family residential dwellings

A location/zoning map is included with this report as Attachment 'B.'

Public notices were mailed to all property owners within 200 feet of the subject property. No comments have been received as of the date of this report.

### Discussion

- A. The subject property is zoned A-2/Parks, Estates and Agricultural District and is proposed to be rezoned to R-1E/Single-Family Residential Estates District to allow for the proposed single-family residential estates development. The subject property is located along State Orchard Road, which does not have sanitary sewer, but has water, electric, and gas utilities available. The purpose of the proposed R-1E zoning designation is to allow for septic systems and on-site water wells to be utilized in areas of the City in which access to utilities is not readily available.
- B. The applicants will retain ownership of proposed Lot 1 and intend to sell proposed Lot 2 to their son, so that he can build a new single-family residential dwelling on the property.
- C. Both lots in Tweedy's Landing comply with minimum R-1E District lot size requirements and are capable of being developed. Proposed Lot 1 has potential to be further subdivided into multiple lots upon the extension of a roadway and/or infrastructure (i.e., sanitary sewer and water).
- D. The future land use map of the Bluffs Tomorrow: 2030 Plan (Comprehensive Plan) designates the subject property as 'Low Density Residential.' Rezoning the subject property from A-2 District to R-1E District would support the goals of the Comprehensive Plan and would be an appropriate zoning designation based on the future land use map.

The rezoning and subdivision requests were routed to all City Departments and local utility providers. The following comments were received:

- A. Council Bluffs Fire Department stated they have no comments regarding the requests.
- B. Council Bluffs Police Department stated they have no comments regarding the requests.
- C. Council Bluffs Public Works Department stated a septic system is allowed for the existing residential dwelling on proposed Lot 1 and for the new dwelling on proposed Lot 2, as sanitary sewer is located more than 200' from either residence.
- D. Council Bluffs Water Works stated they have no comments for the requests.
- E. MidAmerican Energy Company stated they have no conflicts with the requests and the property owners and/or their agents should contact them directly to identify electrical service costs and responsibilities associated with development of the site.

### Recommendation

The Community Development Department recommends the following:

- A. Final plat approval of a two-lot residential subdivision to be known as Tweedy's Landing, legally described as Parcel 25028 being a portion of North 1/2 of the South 1/2 of the SW 1/4 of Section 34-75-43, City of Council Bluffs, Pottawattamie County, Iowa, subject to the comments above and the conditions below:
  - 1. The final plat shall be recorded within 90 days of City Council approval or the plat will become null and void unless an extension has been requested and granted by the Community Development Director.
  - 2. The final plat shall conform to all City standards and specifications, the zoning and subdivision ordinances, and the Department of Public Works standards for Public Improvements.
  - 3. All utilities shall be installed underground. Any costs to construct, remove, and/or relocate any utilities shall be the responsibility of the applicant and/or developer, not the City.
  - 4. All applicable permits necessary to meet local, state, and federal requirements shall be the applicants responsibility; and
  - 5. Granting a subdivision variance to allow proposed Lot 1, Tweedy's Landing to exceed the maximum 3:1 lot depth-to-width ratio, as stated in Section 14.14.020 *Lot Layout* of the Council Bluffs Subdivision Ordinance, based on reasons stated above.



B. Approval of the request to rezone property legally described as Parcel 25028 being a portion of North 1/2 of the South 1/2 of the SW 1/4 of Section 34-75-43, City of Council Bluffs, Pottawattamie County, Iowa, from A-2/Parks, Estates, and Agricultural District to R-1E/Single-Family Residential Estates District, subject to the comments stated above.

**Attachments**

Attachment A: Proposed Tweedy's Landing Final Plat

Attachment B: Location/zoning map

Prepared by: Christopher N. Gibbons, Planning Manager, Community Development Department

for: hgm:102625 S:\Survey\Drafting\T:\Drafting\102625\_Cunningham-1805\_State\_Orchard\Engineering\Drawg\Survey\102625\_Cunningham\_1805\_State\_Orchard.dwg

LOT:  
BLOCK:  
SUBDIVISION:  
ALLOT PART: N1/2 S1/2 SW1/4  
SECTION: 34 / TOWNSHIP: 75 / RANGE: 43  
CITY: COUNCIL BLUFFS  
COUNTY: POTTAWATTAMIE  
PROPRIETOR: PATRICK JOSEPH AND RHONDA LUCILLE CUNNINGHAM  
REQUESTED BY: PATRICK CUNNINGHAM  
DATE OF FIELD SURVEY: APRIL 7, 2025

CITY COUNCIL

COMMUNITY DEVELOPMENT DIRECTOR: COURTNEY HARTER      DATE

A. NO PRIVATE RESTRICTIONS AND/OR COVENANTS, WILL BE A PART OF THE SUBJECT DEVELOPMENT.

B. CERTIFIED RESOLUTION OF EACH GOVERNING BODY APPROVING THE SUBDIVISION OR WAIVING THE RIGHT TO REVIEW.

NOTARY PUBLIC IN AND FOR SAID STATE MY COMMISSION EXPIRES \_\_\_\_\_

PROFESSIONAL LAND SURVEYOR  
JEFFREY D.  
DIMON  
29399  
IOWA

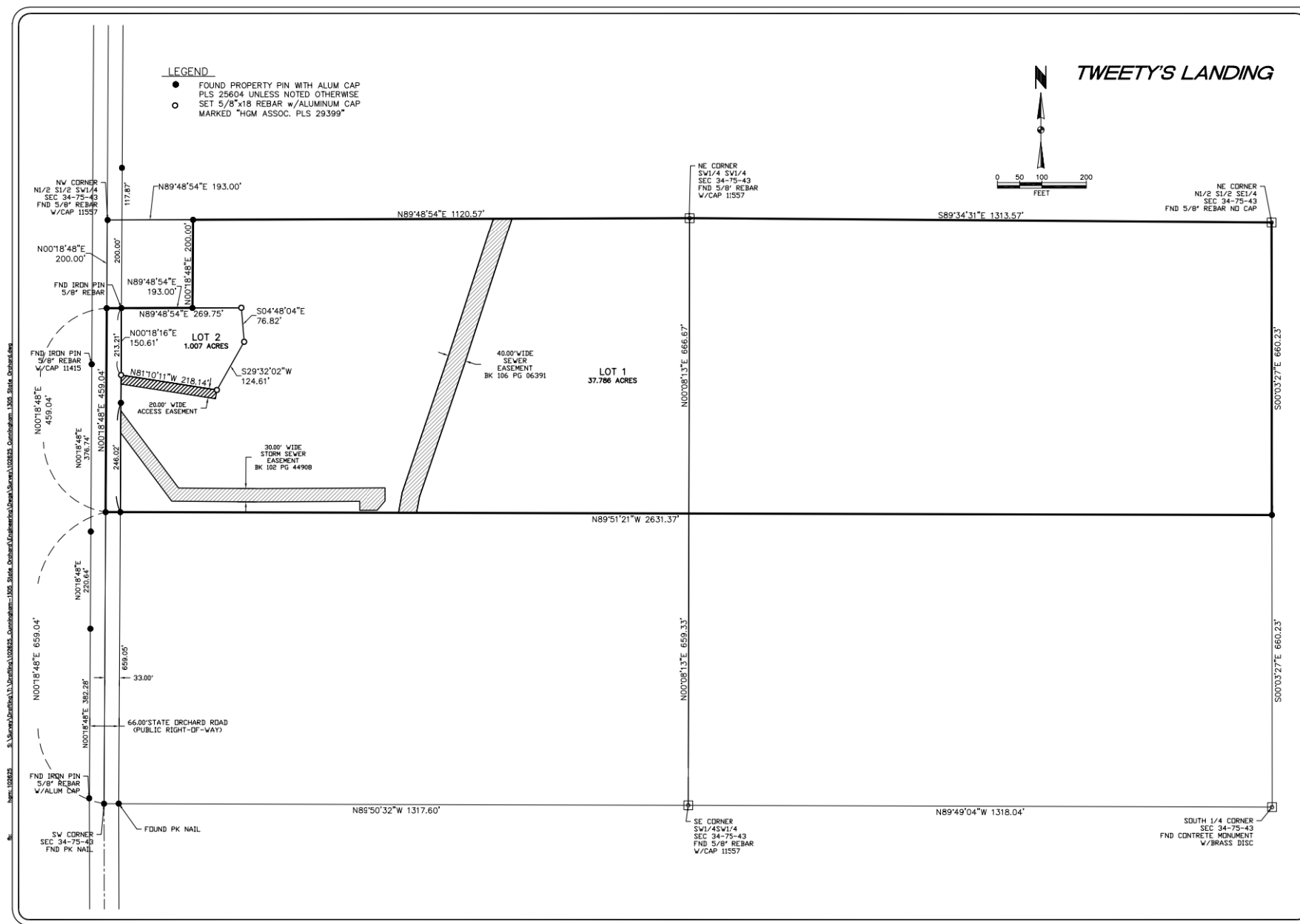
this drafting is being made available by Hym Associates Inc. for use on this project in accordance with Hym Associates Inc. agreement for professional services. Hym Associates Inc. assumes no liability for any use of this drafting or any part thereof except in accordance with the terms of the above agreement.

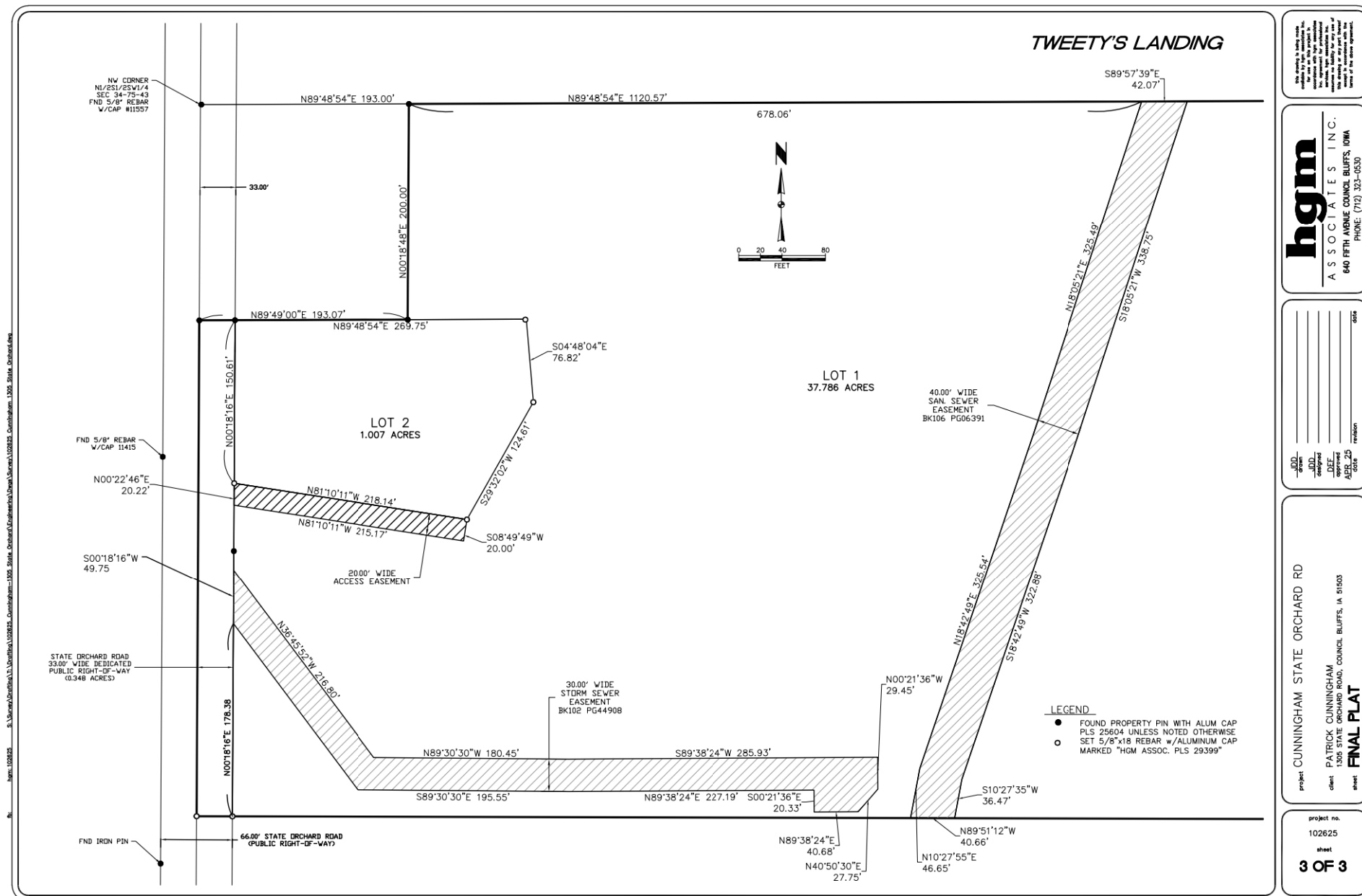
**hgm**  
ASSOCIATES INC.  
640 FIFTH AVENUE COUNCIL BLUFFS, IOWA  
PHONE: (712) 323-0530

JDD \_\_\_\_\_  
 drawn  
JDD \_\_\_\_\_  
 designed  
DEF \_\_\_\_\_  
 approved  
 APR 25 \_\_\_\_\_  
 date  
 \_\_\_\_\_  
 revision

Project CUNNINGHAM STATE ORCHARD RD  
Client PATRICK CUNNINGHAM  
1305 STATE ORCHARD ROAD, COUNCIL BLUFFS, IA 51503  
Sheet **FINAL PLAT**

project no.  
102625  
sheet  
**1 OF 3**







# CITY OF COUNCIL BLUFFS - CITY PLANNING COMMISSION CASES #SUB-25-004 AND #ZC-25-002 LOCATION/ZONING MAP

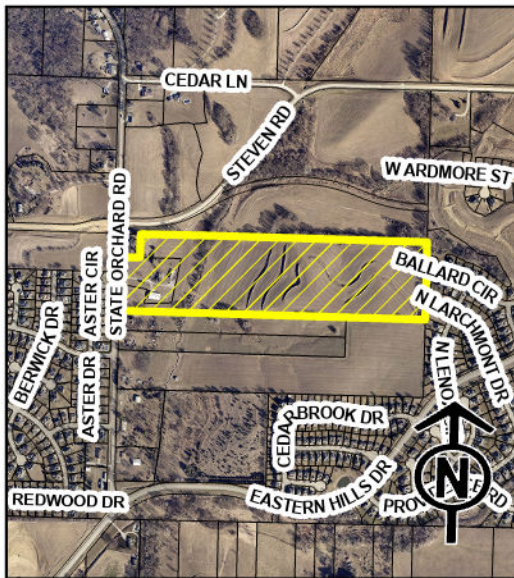
## Attachment B

### Legend

Subject Properties Cases  
#SUB-25-004 and  
#ZC-25-002

0 280 560

1 inch = 412 feet

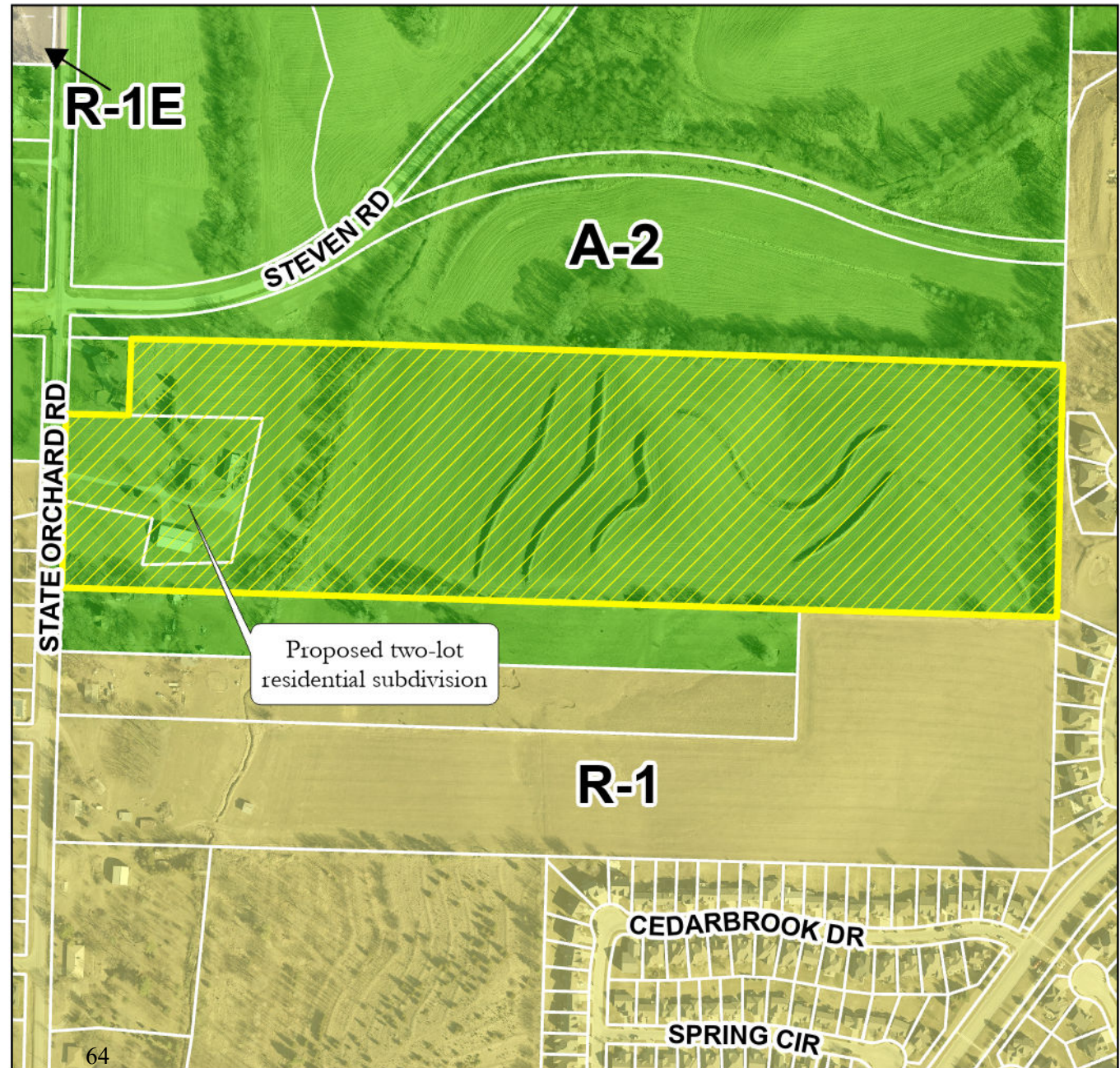


Last Amended: 4/16/2025



Council Bluffs Community  
Development Department  
209 Pearl Street  
Council Bluffs, IA 51503  
Telephone: (712) 890-5350

**DISCLAIMER**  
This map is prepared and compiled from City documents, plans and other public records. The City and its employees do not warrant the accuracy or completeness of the information contained on this map. The user should verify the accuracy of information/data contained on this map before using it. The City assumes no legal responsibility for the information contained on this map.



## Planning Commission Communication

Department: Community

Development

Case/Project No.: PR-25-002

CASE #PR-25-002

Council Action: 5/13/2025

Submitted by: Christopher N.

Gibbons, AICP, Planning & Code

Compliance Manager

### Description

Public hearing on the request of Broadmoor Development, represented by Bob Stratton, to adopt a PR-1/Planned Residential Development Plan for a multi-family residential development on property legally described as being part of the SE1/4 NE1/4 of Section 4-74-43, City of Council Bluffs, Pottawattamie County, Iowa. Location: Undeveloped land lying northwest of the intersection of Eastern Hills Drive and Greenview Road. PR-25-002

### Background/Discussion

See attached staff report.

### Recommendation

### ATTACHMENTS:

Description

Type

Upload Date

Staff Report and Attachments A - H

Staff Report

5/9/2025

### Planning Commission Communication

Department: Community Development  CASE #PR-25-002  Applicant: Broadmoor Development 809 N. 96 <sup>th</sup> Street Omaha, NE 68114  Property Owner: 92 Investments, LLC 22735 James Drive Council Bluffs, IA 51503	Resolution No. _____	Planning Commission: 5/13/2025
<b>Subject/Title</b>		
<p><b>Request:</b> Public hearing on the request of Broadmoor Development, represented by Bob Stratton, to adopt a PR-1/Planned Residential Development Plan for a multi-family residential development on property legally described as being part of the SE1/4 NE1/4 of Section 4-74-43, City of Council Bluffs, Pottawattamie County, Iowa.</p> <p><b>Location:</b> Undeveloped land located at the northwest corner of the intersection of Eastern Hills Drive and Greenview Road</p>		
<b>Background/Discussion</b>		
<p>The Community Development Department has received an application from Broadmoor Development, represented by Bob Stratton, to adopt a PR-1/Planned Residential Development Plan for a multi-family residential development on property legally described as being part of the SE1/4 NE1/4 of Section 4-74-43, City of Council Bluffs, Pottawattamie County, Iowa. The property is comprised of 19.73 acres of land and is located at the northwest corner of the intersection of Eastern Hills Drive and Greenview Road, which are classified as arterial roadways.</p> <p>The subject property is zoned R-3/Low Density Multi-Family Residential District with an appended PR/Planned Residential Overlay. Both designations were applied in 1999 during a large annexation that included the area now developed as Briarwood Subdivision (see Ordinance #5470). Additionally, the property has an expired PR development plan for 19-lot townhome/multi-family/mixed-use development that was proposed by the current property owner, 92 Investments Inc., and approved by City Council on June 24, 2019 via Resolution No. 19-161. The applicant, Broadmoor Development, is now seeking approval of their proposed PR-1 development plan, which is intended to regulate the design and layout of their multi-family development.</p> <p>The applicant's proposed development plan shows a 231-unit apartment community with a mixture of studio, one-, two-, and three-bedroom units that will be constructed over a 3 ½ year timeframe. Apartment building profiles consist of two- and three-story buildings with attached garages. Site amenities include a 6,000 square foot clubhouse that will include: leasing offices, a fitness center, conference rooms, dog wash/spa, and mailrooms with 24-hour access. An outdoor pool and dog park are also proposed as amenities for the residents. The site layout plan shows 13 apartment buildings, five detached garage buildings, 142 surface parking stalls, and an extension of Tipton Drive, which will be dedicated to the City. The submitted landscaping plan shows street trees along the frontage of Eastern Hills Drive and landscaped parking lot islands. Stormwater detention will be</p>		



handled via a basin located at the southernmost point of the site, adjacent to the Eastern Hills Drive/Greenview Road round-a-bout. A copy of the applicant's letter of intent and proposed development plans are included with this report as Attachments 'A-D'.

### Zoning/Land Use

The subject property is zoned R-3/Low Density Multi-Family Residential District with an appended PR/Planned Residential Overlay and is surrounded by the following zoning districts and land uses:

Direction	Existing Zoning Districts	Existing Land Uses
North	R-1/Single-Family Residential District	Single-family residential dwellings
South	R-1/Single-family Residential District, C-2 District (County), R-2 District (County), and R-3 District (County)	City maintenance facility and sanitary sewer lift station, single-family residential dwellings, and a tree farm.
East	R-3/Low Density Multi-Family Residential District and R-2 District (County)	Eastern Hills Park, single-family dwellings, and farm.
West	R-3/Low Density Multi-Family Residential District, C-2/Commercial District, R-2/Two-Family Residential District, and R-3 District (County)	Undeveloped land, contractor shop, and attached single-family dwellings.

A location/zoning map is included with this report as Attachment 'E.'

Public notices were mailed to all property owners within 200 feet of the subject property. Said notices are not required by ordinance since this request did not involve a change to the City's Zoning Map. City staff sent the notices as a courtesy to the adjacent landowners since the proposed multi-family development differs substantially from the previously approved townhome/multi-family/mixed use development on the subject property. The Community Development Department received the following comments:

1. Tyler and Karol O'Brien, 729 Redwood Drive, Council Bluffs, Iowa stated they are opposed to the proposed multi-family development due to the density of the development; land use incompatibility to the adjacent single-family residential neighborhood (Briarwood); and on-going grading/dirt removal and the associated impacts on abutting properties. A copy of their email is included with this report as Attachment 'F'.
2. Sara Faris, 4115 Briarwood Drive, Council Bluffs, Iowa, submitted an opposition email on behalf of the Briarwood Homeowners Association. Mrs. Faris stated the Briarwood HOA is opposed to the proposed multi-family development due to the following reasons:
  - a. Incompatibility with an established neighborhood character;
  - b. Increased transient residency and reduced community cohesion;
  - c. Loss of privacy and potential security concerns;
  - d. Negative impact on property values; and
  - e. Inadequate buffer and poor transition between zoning types.

A copy of Mrs. Faris's opposition email is included with this report as Attachment 'G'.

3. Tom Quigley, 1719 Tipton Drive, Council Bluffs, Iowa submitted an opposition email on behalf of the Briarwood Homeowners Association. Mr. Quigley stated the Briarwood HOA is opposed to the proposed multi-family development due to land use incompatibility with the abutting single-family residential



neighborhood and dust concerns due to the on-going dirt removal from the subject property. A copy of Mr. Quigley's email is included with this report as Attachment 'H'.

City Departments and Utilities – All City departments and local utility providers were notified of the proposed request. The following comments were received:

1. Council Bluffs Public Works Department (CBPW) stated the civil plans and geotechnical report are under review and staff will continue to work with applicant's engineer of record on the final plan designs. CBPW also stated a drainage report must be submitted to the City for review.
2. Council Bluffs Fire Department (CBFD) stated a fire hydrant must be installed between Buildings 5 and 6, as well as, in front of the proposed clubhouse. All other proposed hydrant coverage and fire access comply with CBFD requirements.
3. The Council Bluffs Police Department stated they have no comments or objections regarding the request.
4. Council Bluffs Water Works stated they are in discussions with the applicant about providing water to the proposed development and have no further comments at this time.
5. MidAmerican Energy stated they have no conflicts or concerns with the proposed development. MidAmerican Energy and the applicant have held discussions about electrical distribution and service extension requirements for the development.

Planned Residential Development Plan – Section 15.28.010, Statement of Intent, PR/Planned Residential Overlay, of the Council Bluffs Municipal Code (Zoning Ordinance) states that *"the Planned Residential Overlay is established to permit flexibility in the use and design of structures and land in situations where conventional development may be inappropriate and where modifications of requirements of the underlying zone would not be inconsistent with the comprehensive plan or harmful to the surrounding neighborhoods in which it is located."* Furthermore, Section 15.28.020, Applicability, of the CBMC (Zoning Ordinance) states that *"A PR Overlay may be applied to all residential zoning districts, except the R-1M/Single-Family Manufactured Housing District, and the A-P/Administrative-Professional District"* and *"The PR-1 Overlay is intended for general master planned development. The minimum tract of land considered for a PR-1 Overlay shall be one and a half (1 ½) acres."* The purpose of this request is to adopt a site-specific PR-1/Planned Residential development plan for a 231-unit apartment complex on a 19.73 acre parcel of land.

#### **A. Site Development**

1. Per Section 15.28.020, Applicability, of the CBMC (Zoning Ordinance), the minimum land area required for a PR-1 Overlay is 1.5 acres. The subject property is comprised of 19.73 acres, which meets the requirements for a PR-1 Overlay/development plan.
2. A 'dwelling, multi-family' use is classified as a principal use, as per Section 15.10.020, Principal Uses, R-3/Low Density Multi-Family Residential District, of the CBMC (Zoning Ordinance). Multi-family residential uses are permitted "by-right" in an R-3 District and do not need separate approvals from the City Planning Commission or City Council. The purpose of the PR-1 development plan is to establish standards for the development of the property and the design of the buildings.
3. The total maximum number of apartment dwellings units on property zoned R-3 District is based on the following calculation, as per Section 15.10.050, Site Development Standards, R-3/Low Density Multi-Family Residential District:

- a. 5 or more units = 9,000 square feet of lot area plus an increase of 2,000 square feet per each additional unit.

The subject property contains 19.73 acres (859,438 square feet) and is therefore allowed a maximum of 425 apartment dwelling units, based on the above calculation. The applicant's proposal is to construct 231 apartment dwelling units, which is 54% of the total maximum allowed units on the subject property. The total number of proposed apartment dwelling units complies with R-3 District density standards.

4. A minimum 10-foot perimeter setback from all abutting property lines and rights-of-way shall be provided. Based on the topography of the site and the layout of the development, the following building setbacks will be provided:
  - a. Buildings 1-4: 20 feet or more from the property line abutting Eastern Hills Drive; and 200 feet or more from all other property lines;
  - b. Buildings 5 and 6: 200 feet or more from all property lines;
  - c. Buildings 7 and 8: 150 feet or more from all property lines;
  - d. Buildings 9-12: 200 feet or more from the northerly property line; 60 feet from the westerly property line; and 80 feet or more from the easterly/southerly property line.
  - e. Buildings 13 and 14: 300 feet or more from the northerly property line; 150 feet or more from the westerly property line; and 150 feet or more from the easterly/southerly property line.
  - f. Garage buildings 1-5 are centrally located within the development and are surrounded by buildings and/or parking lots.
5. Per Section 15.10.050, Site Development Standards, R-3/Low Density Multi-Family Residential District the maximum allowed height for a principal structure (i.e., the proposed apartment buildings) is 60 feet and the maximum allowed height for an accessory structure is 18 feet. The applicant's submittal shows two- and three-story apartment buildings ranging in height from 27' 11" to 39' 6". The proposed clubhouse will measure 23' 4" in height and is considered a principal structure in the overall development. The height of the garages is not known at this time but shall not exceed 18 feet in height.
6. The maximum combined lot coverage for all structures shall not exceed 60% of the total lot area.
7. A minimum five-foot wide pedestrian way shall be provided from the primary entrance of each building to the nearest sidewalk, to the extent practical. The pedestrian way may be designated with pavement striping, change in surface material, curb and/or grade separation, or some other alternative design approved by the Community Development Department Director or their assignee. It is encouraged that the pedestrian connection be incorporated into the overall layout of the site.
8. All trash receptacles and/or dumpsters shall be enclosed on three sides with a masonry, wood, or vinyl fence and have a lockable gate that when closed completely eliminates view of the dumpster.
9. All fences and walls shall be installed in accordance with Section 15.24.040, Fence Regulations, of the Council Bluffs Municipal Code (Zoning Ordinance). The proposed clubhouse swimming pool shall be fenced in accordance with all applicable federal, state, and local requirements.
10. All site lighting shall comply with the standards in Section 15.24.050, Lighting Controls, of the Council Bluffs Municipal Code (Zoning Ordinance). A photometric plan for all proposed outdoor lights shall be submitted to the City at the time of building permit review. Light pole materials shall be painted or

finished aluminum or steel. Light poles shall not exceed 25 feet in height, as measured from finished grade to the top of the light fixture/pole.

11. Any solar energy conversion systems installed at this site shall comply with the standards stated in Section 15.34.030, Solar Energy Conversion Systems, of the Council Bluffs Municipal Code (Zoning Ordinance).
12. Outdoor storage of materials, products, equipment, or packaging shall not be permitted. This includes the semi-permanent and/or permanent placement of inter-modal storage/shipping containers.
13. All utilities shall be installed underground. Any cost to remove, relocate, modify, and/or extend utilities to the site shall be at the sole cost of the developer and not the City.
14. All grading, drainage, and stormwater management activities shall be completed in accordance with Public Works standards.
15. Dust control measures (i.e., water trucks) shall be used during all construction phases to ensure fugitive dust is contained to the site and does not encroach onto neighboring properties or adjacent street rights-of-way, as best as possible.
16. The submitted plans show an extension of Tipton Drive that will interconnect with Eastern Hills Drive. Tipton Drive and Belmont Drive were stubbed-out as part of the construction of Briarwood Subdivision Phase 1 for the purpose of providing additional access to the subject property. Belmont Drive is not proposed to be extended. The Tipton Drive extension was requested by the City of Council Bluffs to provide an additional access route for the Briarwood Subdivision and the proposed apartment development to Eastern Hills Drive and other local roadways nearby. The proposed Tipton Drive extension will be dedicated to the City of Council Bluffs by the developer via an acquisition plat. Said roadway shall be constructed to City standards and the acquisition plat shall be submitted by the developer to the City for acceptance prior to the last apartment building within the development being granted a certificate of occupancy.

## **B. Off-Street Parking**

1. The minimum number of off-street parking spaces shall be calculated using the applicable parking ratios in Chapter 15.23, Off-Street Parking, Loading and Unloading of the Council Bluffs Municipal Code (Zoning Ordinance).
  - a. The proposed development plans state 491 parking stalls will be provided for the development. These stalls vary from integrated garage parking (150 spaces), detached garages (49 spaces), surface parking (124 spaces), tandem stalls (150 spaces), and handicap accessible (18). Per Section 15.23.060, Parking Spaces Required of the Council Bluffs Zoning Ordinance the total number of required off-street parking spaces for a multi-family residential use is based on the following calculation:
    - i. Efficiency and 1-bedroom units: 1 parking space per dwelling unit
    - ii. Two-bedroom or more units: 1 ½ space per dwelling unit

The total unit mix will consist of 141 one-bedroom units, 73 two-bedroom units, and 17 three-bedroom units. Based on this unit mix and the above stated parking calculations, a total of 276 parking stalls are required for the proposed 231-unit multi-family development. The submitted

site plan shows a total of 491 parking stalls, which complies with parking requirements stated in Section 15.23.060, Parking Spaces Required of the Council Bluffs Zoning Ordinance.

2. All off-street parking areas, driveways, drive aisles, and loading/unloading areas shall comply with the standards of Chapter 15.23, Off-Street Parking, Loading and Unloading, of the Council Bluffs Municipal Code (Zoning Ordinance) and any design requirements of the Public Works Department. Tandem parking stalls shall not be allowed to encroach into a required parking space or drive aisle.
3. All off-street parking lots shall comply with Chapter 661–18, Parking for Persons with Disabilities, of the Iowa Administrative Code.
4. Bicycle parking shall be provided and designed as follows:
  - a. A minimum of four bicycle spaces shall be provided per building on-site, excluding detached garages. There are a total of 14 buildings; therefore, a minimum of 56 bicycle parking spaces must be provided.
  - b. Designated bicycle parking areas shall be located within a reasonable walking distance of, and clearly visible from, the main entrance of each building. Bicycle parking may alternatively be provided in a publicly accessible designated indoor bicycle parking area within a convenient distance of a building entrance accessible to residents. If two buildings are located within close proximity of each other, the bicycle parking area for each building may be placed in the same location. Shared bicycle parking areas shall be located at an equal distance from the main entrance of each building.
  - b. Outdoor bicycle racks shall be secured to the pavement in a location that does not conflict with pedestrian or vehicular circulation routes.
  - c. Bicycle parking shall be installed prior to the issuance of a Certificate of Occupancy for each building.
6. A parking lot permit shall be submitted with the building permit application(s) and shall include the number, location, and dimensions of all drive aisles and spaces, bicycle parking, pedestrian ways, landscape islands, loading areas, and parking lot lighting.

### **C. Landscaping**

1. The submitted landscaping plan shows the proposed locations and species of landscape plantings throughout the development. The plans are generally acceptable and shall be adopted as submitted.
2. The landscaping plan shows the existing tree lines along the northerly and westerly property lines will be retained to screen the development site from the abutting properties. This tree line shall remain intact and shall be supplemented with additional tree plantings in areas that have gaps and/or thin vegetation that does achieve a minimum 50% opacity.
3. A mixture of 57 deciduous, evergreen, and flowering trees are proposed along the street frontage of the site adjacent to Eastern Hills Drive. This equates to one tree per 31 linear feet of frontage. This shall be considered the minimum number of trees to be planted within the landscape frontage strip.
4. All parking lot islands shall be planted with a minimum of one deciduous or canopy tree shade tree and ground cover (e.g., shrubs, sod, mulch, river rock, etc.).
5. All landscaping shall be appropriately maintained and dead plant material shall be replaced at a time appropriate to planting but in all cases shall be replaced within one year.



6. All tree species planted along the frontage of Eastern Hills Drive shall comply with the Council Bluffs Street Tree Guide and shall be reviewed and approved by the City prior to installation.
7. All trees shall have a minimum two-inch caliper width at the time of planting.
8. Landscaping shall not interfere with the sight clearance triangle at any intersection and shall not impede the vision of any motorist, cyclist or pedestrian at any street, driveway or pedestrian way.
9. No more than 10% of the landscaped area shall be of inorganic materials such as brick, stone, aggregate, metal, or artificial turf. Organic mulch may be used around trees and/or shrubs.
10. All disturbed areas without a specific landscape design shall be seeded or sodded with turf and/or prairie grass.
11. Minor modifications to the submitted landscaping plan may be approved administratively by the Community Development Director or their designee.

#### **D. Architecture**

1. Architectural renderings/elevations for the proposed development are shown in Attachment 'D'. The renderings show the exterior of all apartment buildings and the clubhouse being constructed of a combination of brick veneer masonry, fiber cement lap siding, corrugated metal, fascia, and aluminum windows and doors. The proposed building designs and materials are acceptable and shall be used in a combination and pattern generally consistent with the submitted renderings.
2. Architectural renderings for the detached garages were not provided by the applicant. The design of said garages shall be consistent with the materials and design of the proposed apartment buildings.
3. All rooftop mounted mechanical equipment that is visible from an adjacent public street right-of-way shall be screened from view using architectural design features.
4. All ground-mounted mechanical equipment that is visible from an adjacent public street right-of-way shall be completely screened from view using architectural design features, fencing, masonry wall, landscaping, or combination thereof.

#### **E. Signage**

1. A signage plan was not submitted with the development plan. All on-premise signage shall be installed in accordance with all applicable standards in Chapter 15.33, Signs, of the Council Bluffs Municipal Code (Zoning Ordinance), including the standards for multifamily residential uses and PR/Planned Residential districts in Section 15.33.160, Residential District Signs.
2. No sign listed in Section 15.33.070, Prohibited Signs, of the Council Bluffs Municipal Code (Zoning Ordinance) shall be permitted.
3. A sign permit shall be obtained for any proposed attached, detached, and/or on-premise directional sign prior to installation.

### **Recommendation**

The Community Development Department recommends approval of the request of Broadmoor Development, represented by Bob Stratton, to adopt a PR-1/Planned Residential Development Plan for a 231-unit multi-family residential development on property legally described as being part of the SE1/4 NE1/4 of Section 4-74-43, City of Council Bluffs, Pottawattamie County, Iowa, subject to the comments stated above and the following condition:

- A. The PR-1/Planned Residential development plan shall become effective upon the applicant/developer purchasing the subject property; and
- B. Any modifications to the approved development plan which substantially alter the design, layout, configuration, and/or appearance of the project shall be reviewed the City Planning Commission and approved by City Council prior to such changes being made. All minor modifications to the adopted development plan may be administratively approved by the Community Development Director.

### **Attachments**

Attachment A: Letter of intent  
Attachment B: Civil Plans  
Attachment C: Landscape Plan  
Attachment D: Architectural Renderings  
Attachment E: Location/zoning map  
Attachment F: Opposition email from Tyler and Karol O'Brien  
Attachment G: Opposition email from Sara Faris  
Attachment H: Opposition email from Tom Quigley

Prepared by: Christopher Gibbons, AICP, Planning Manager, Community Development Department

# BROADMOOR

809 NORTH 96TH STREET OMAHA, NEBRASKA 68114  
402.392.1800 | FAX 402.392.2502

April 1, 2025

Christopher Gibbons  
Planning Manager  
Community Development Department  
City of Council Bluffs  
209 Pearl Street, Council Bluffs, IA 51503

Re: Broadmoor Eastern Hills Apartments

Dear Mr. Gibbons:

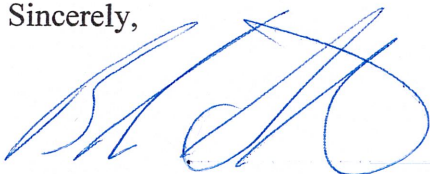
Broadmoor is organized to develop an apartment community of 231 apartments on the NE corner of Eastern Hills Drive and Greenview Road. We will have a mix of studio, one, two and three bedroom apartment homes.

The development consists of 3-story buildings (27 units) with attached garages that have access to the building's common hall and 2-story buildings (12 units) with direct access garages, one for each apartment. Detached garages are also designed into the site plan.

A 6,000 square foot clubhouse will feature leasing offices, clubroom, fitness center, business/conference room, dog wash/spa, as well as interior mail and package room with 24-hour access. Next to the clubhouse is a swimming pool and grill area. An outdoor fenced dog park will also be available to our residents.

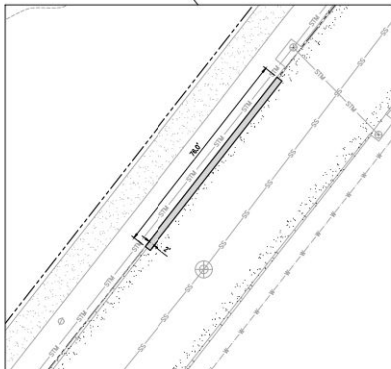
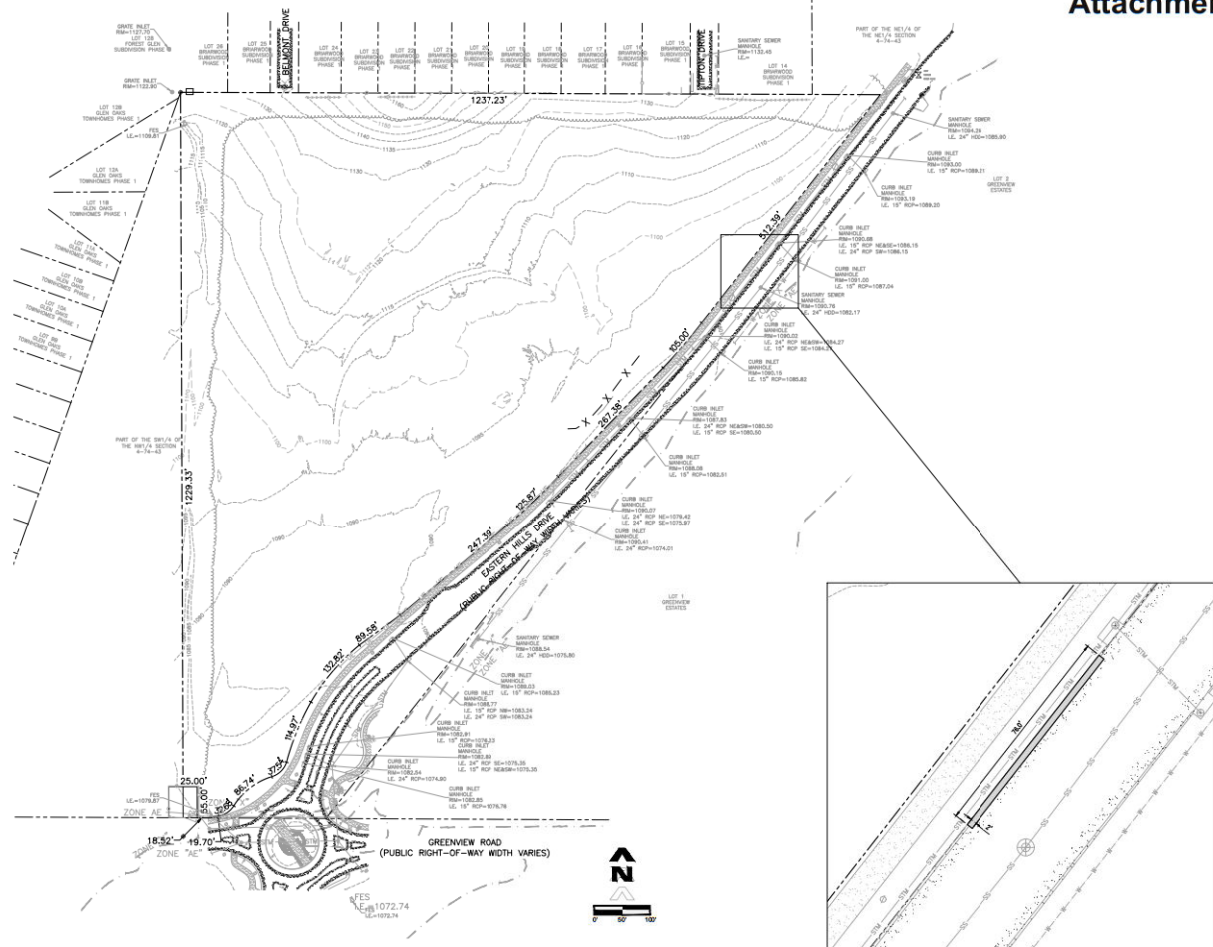
This apartment community will take approximately three and a half years to complete. The project will start at the south end with the buildings and clubhouse and the intent is to continue construction until the project is complete. The first occupancy will be two years after we start footings and buildings will open every 30 to 60 days, depending on the size of the building (12 units or 27 units). We hope to start this Fall, with our first occupancy Fall of 2027 and the project completing in Spring of 2029.

Sincerely,



Bob Stratton

Attachment B



VICINITY MAP

LEGAL DESCRIPTION

PART OF THE SE 1/4 OF THE NE 1/4 OF SECTION 4-74-43, POTOMAC COUNTY, IOWA.

BENCHMARK

DESCRIPTION: (CP1) CHISELED 'X' IN THE NORTH RM OF A CURB INLET MANHOLE 30' N OF THE CENTERLINE OF EASTERN HILLS DRIVE AND 75' E OF CONCRETE APRON ON LOC.

ELEVATION: 1089.01 (NAVD 86)

DEMOLITION NOTES

1. THE CONTRACTOR SHALL LIMIT REMOVAL AND DEMOLITION WORK TO THAT SPECIFICALLY CALLED FOR IN THE DOCUMENTS OR REQUIRED TO PROPERLY COMPLETE WORK. ANY STRUCTURES TO REMAIN WHICH ARE DAMAGED DURING DEMOLITION OPERATIONS SHALL BE REPAIRED BACK TO THEIR ORIGINAL CONDITION AT NO ADDITIONAL COST TO THE OWNER.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING AND PAYING FOR ANY PERMITS REQUIRED FOR DEMOLITION AND OTHER WORK THAT PERTAINS TO THIS PROJECT.
3. ALL DEBRIS RESULTING FROM DEMOLITION SHALL BECOME THE PROPERTY OF THE CONTRACTOR (IF REVIEWED BY OWNER) AND SHALL BE REMOVED FROM THE SITE AND PROPERLY DISPOSED.
4. THE CONTRACTOR SHALL EMPLOY DUST CONTROL MEASURES AS NECESSARY.
5. THE CONTRACTOR SHALL IMPLEMENT EFFECTIVE MEASURES TO PREVENT MIGRATION OF SOIL AND CONCRETE CUTTING SLURRY BEYOND THE PROPERTY LINES OR PROJECT LIMITS. CONSTRUCT BERM, FENCES, OR OTHER MEASURES AS NEEDED OR REQUIRED WHETHER SHOWN ON PLANS OR NOT.
6. THE LOCATIONS OF EXISTING UTILITIES ARE TO BE VERIFIED IN THE FIELD BY THE CONTRACTOR WHETHER SHOWN ON THE PLANS OR NOT.
7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO EXISTING PROPERTY, UTILITIES, AND STRUCTURES AS A RESULT OF THE CONSTRUCTION OPERATIONS AND SHALL REPAIR OR REPLACE THE SAME AT NO COST TO THE OWNER.
8. REMOVE EXISTING CONCRETE PAVEMENT IN ITS ENTIRETY. PROVIDE STRAIGHT CLEAN CUTS WHERE PAVEMENT REMOVAL ENDS BY SAWCUTTING FULL-DEPTH PAVEMENT. WHERE REMOVAL ABUTS EXISTING FEATURES, REMOVALS SHALL BE MADE BY SAWCUTTING AND/OR REMOVING TO THE NEAREST CONTROL JOINT.
9. PROVIDE AND INSTALL CONSTRUCTION SIGNAGE, WARNING SIGNS, AND BARRICADES AS NECESSARY TO PROVIDE FOR THE SAFETY OF THE PUBLIC. BARRICADES SHALL CONFORM TO THE CITY OF IOWA AND MUTCD STANDARDS. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION AND SITE SAFETY.
10. THE CONTRACTOR SHALL COORDINATE WITH THE OWNER FOR THE REMOVAL OF EXISTING LANDSCAPING WITHIN THE CONSTRUCTION LIMITS.

LEGEND

- PROPERTY CORNER FOUND
- BUSH
- TREE DRIP LINE
- POWER POLE
- LIGHT POLE
- SIGN
- MALBOX
- UTILITY VAULT
- SEWER MANHOLE
- FIRE HYDRANT
- WATER VALVE
- INVERT ELEVATION
- GRATE INLET
- FLARED END SECTION
- SANITARY SEWER LINE
- STORM SEWER LINE
- UNDERGROUND ELECTRICAL LINE
- WIRE FENCE
- CHAIN LINK FENCE
- GATE
- FLOOD ZONE DELINEATION LINE
- TRUNCATED DOME PAD
- BIKE RACK
- CONTROL POINT
- PAVEMENT REMOVAL



thompson, dreesen & dornier, inc.  
10836 Old Mill Rd  
Omaha, NE 68154  
p.402.330.8860 www.td2co.com  
dba: TD2 Engineering & Surveying  
NE CA-0199

Broadmoor Eastern Hills

NW of Greenview Road &  
Eastern Hills Drive  
Council Bluffs, Iowa

Broadmoor Development

Professional Seal

Revision Dates		
No.	Description	MM/DD-YY
1		
2		
3		
4		
5		
6		
7		
8		
9		
10		
11		
12		
13		
14		
15		
16		
17		
18		
19		
20		
21		
22		
23		
24		
25		
26		
27		
28		
29		
30		

Drawn By: GTN Reviewed By: JAD  
Job No: 1061-165 Date: 04-11-25

Existing Conditions and Demolition Plan

Sheet Number



C1.0



**Broadmoor Eastern Hills**

NW of Greenview Road &  
Eastern Hills Drive  
Council Bluffs, Iowa

**Broadmoor Development**

Professional Seal

Revision Dates

No.	Description	MM/DD-YY
1		
2		
3		
4		
5		
6		
7		
8		
9		
10		
11		
12		
13		
14		
15		
16		
17		
18		
19		
20		
21		
22		
23		
24		
25		
26		
27		
28		
29		
30		

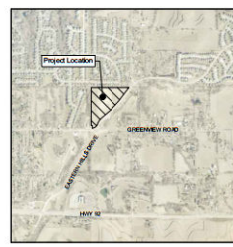
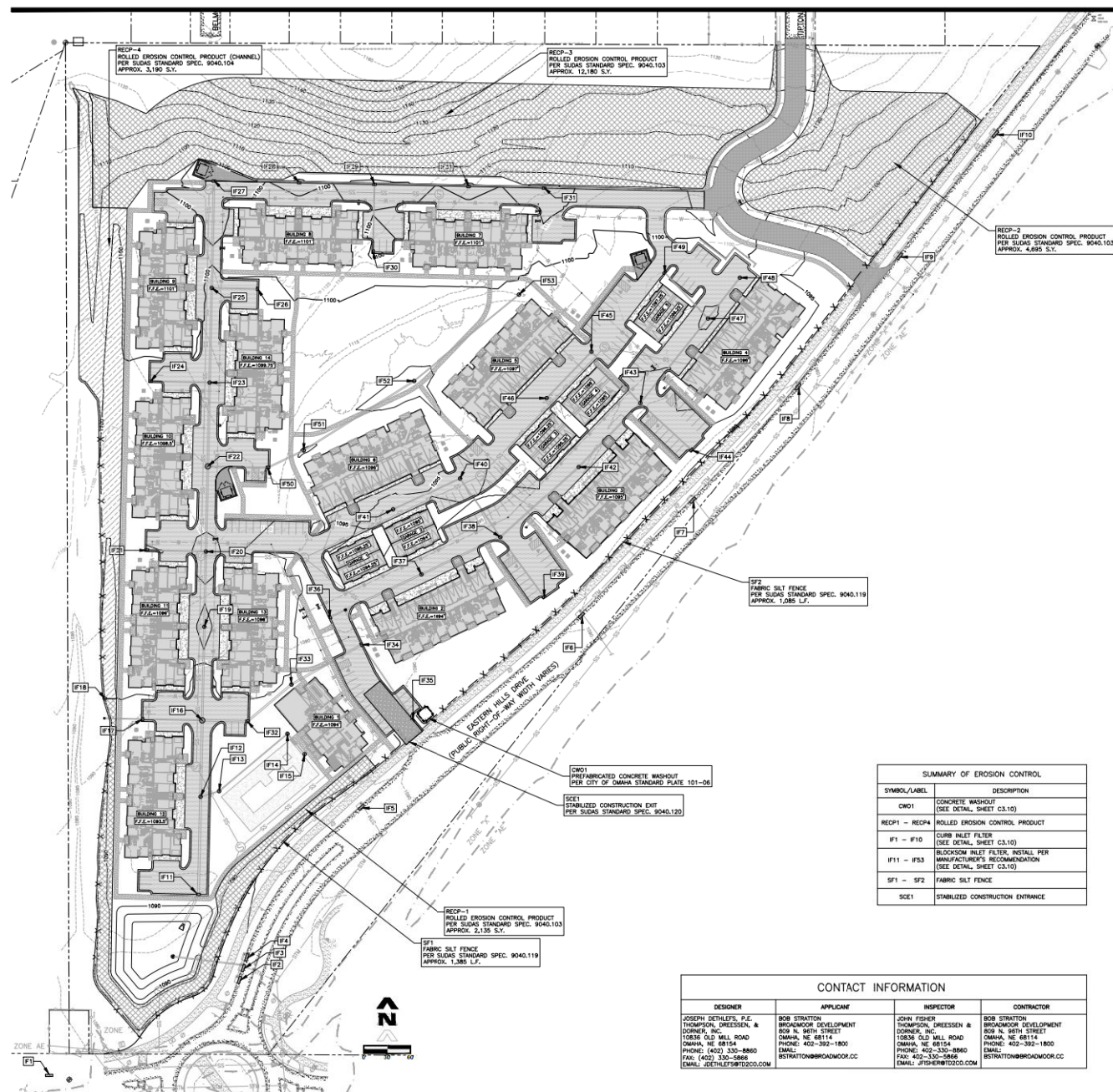
Drawn By: G.T.N. Reviewed By: JAD  
Job No: 1061-165 Date: 04-11-25

Sheet Title

**Grading and Erosion Control Plan**

Sheet Number

**C2.0**



**VICINITY MAP**  
**GRADING NOTES**

1. PRIOR TO CONSTRUCTION EQUIPMENT ENTERING OR EXITING THE SITE, A CONSTRUCTION ENTRANCE AND ALL SILT FENCES SHALL BE BUILT. CONTRACTOR SHALL MAINTAIN EROSION CONTROL MEASURES THROUGHOUT CONSTRUCTION AND REMOVE WHEN CONSTRUCTION IS COMPLETE AND SITE HAS BECOME STABILIZED.
2. THE CONTRACTOR SHALL BE RESPONSIBLE TO KEEP ALL ROADS, SIDEWALKS, AND ADJACENT PROPERTIES FREE OF DIRT, MUD, OR OTHER DEBRIS. THE CONTRACTOR SHALL SWEEP, SCRAPE, AND/OR CLEAN PAVEMENT SURFACES AS NECESSARY.
3. CONTRACTOR SHALL PROVIDE WIND AND WATER EROSION CONTROL, AS REQUIRED. CONTRACTOR SHALL TAKE PRECAUTIONS TO PREVENT SILT-LADEN RUNOFF FROM ENTERING ADJACENT SEWER AND RUNNING DRAINAGE PROPERTY. CONTRACTOR SHALL REMOVE MUD AND SILT FROM SURFACES IMMEDIATELY. CONTRACTOR SHALL MAINTAIN ALL EROSION CONTROL MEASURES THROUGHOUT THE ENTIRE CONSTRUCTION PERIOD. EROSION CONTROL MEASURES SHALL BE CONSIDERED SUBORDINARY TO THE ITEMS FOR WHICH PAVEMENT IS BEING MADE. THIS INCLUDES REMOVAL OF ACCUMULATED MUD FROM SILT FENCES.
4. ALL FILL SOIL SHALL CONSIST OF LEAN CLAY OR SILT SOIL WITH LIQUID LIMIT LESS THAN 43 AND PLASTICITY INDEX OF 5.3 OR LESS. FILL SHALL BE COMPACTED TO A DRY DENSITY OF AT LEAST 95% OF THE MAXIMUM DRY DENSITY AS DETERMINED BY ASTM D1557. MODIFIED PROCTOR. MOISTURE CONTENTS OF THIS FILL AND INFILL SHALL NOT BE MORE THAN 6% BELOW OR ABOVE THE OPTIMUM MOISTURE CONTENT. SUBGRADE PREPARATION SHALL EXTEND A MINIMUM OF 2' LATERALLY BEYOND THE EDGE OF PAVEMENT (3 FEET IF PAVING MACHINE IS USED).
5. FOR PAVEMENT AREAS SUBJECT TO VEHICULAR TRAFFIC, THE UPPER 12 INCHES OF SUBGRADE SHALL BE SCARIFIED AND RECOMPACTED IMMEDIATELY PRIOR TO THE GRADING AND PAVEMENT PLACEMENT WITH SUITABLE FILL MATERIAL AS DETAIL ABOVE (NOTE 4). SUBGRADE PREP SHALL EXTEND BEYOND THE PAVEMENT EDGE BY A MINIMUM OF 2- FEET OR 3- FEET IF PAVING MACHINE IS USED.
6. FILL AND CUT AREAS SHALL BE STRIPPED OF ALL VEGETATION AND TOPSOIL TO A DEPTH OF 6 TO 10 INCHES. ADDITIONAL STRIPPING DEPTH MAY BE REQUIRED BY ENGINEER. STRIPPINGS SHALL BE STOCKPILED AS DETERMINED BY THE ENGINEER. STRIPPINGS SHALL BE REDISTRIBUTED AS TOPSOIL AFTER GRADING OF INDIVIDUAL FILL AREAS IS COMPLETED.
7. AFTER CUT AND FILL IS COMPLETED TO REQUIRED SUBGRADE, SPREAD A MINIMUM OF 4 INCH THICK TOPSOIL LAYER IN AREAS TO BE LANDSCAPED. IF THE CONTRACTOR FAILS TO PROPERLY STOCKPILE EXISTING TOPSOIL, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO HIRE AN ENGINEER APPROVED TOPSOIL AT NO ADDITIONAL COST TO OWNER. TOPSOIL SHALL BE OF SUFFICIENT QUANTITY TO PROVIDE THE MINIMUM 4" COVERAGE SPECIFIED.
8. MATCH EXISTING ELEVATIONS AT PROPERTY LINES OR STREET CURBS AS SHOWN WITHOUT SUDDEN BREAKS.
9. EXISTING AND PROPOSED CONTOURS ARE SHOWN AT 5 FOOT INTERVALS.
10. FINAL ELEVATIONS SHOWN ARE TO FINISH SURFACES. VERIFY WITH SITE PLAN THE DEPTH OF PAVING, DRIVES AND SIDEWALKS. GRADE AS REQUIRED TO ACHIEVE THE FINISH SURFACE ELEVATIONS AS SHOWN. GRADE SHALL GRADUALLY TAPER OVER SPOT ELEVATIONS IN A GENTLE SWEETING CURVE (NO SHARP BREAK IN PLANE OF PAVING ALLOWED).
11. CONSTRUCTION TOLERANCES SHALL NOT APPLY TO ADA ACCESSIBLE ROUTES. THE CONTRACTOR MUST CONSTRUCT GRADIES ALONG ADA ROUTES (INCLUDING PARKING, SIDEWALKS, DROP-OFF AND/OR ACCESS RILES) WITHIN THE STRICT LIMITS REQUIRED TO ACHIEVE ADA SLOPES. ALL AREAS REQUIRING ADA COMPLIANCE THAT DO NOT MEET ADA SHALL BE REMOVED AND REPLACED BY THE CONTRACTOR AT HIS EXPENSE. SEE SHEET CAD FOR PROPOSED ADA ROUTE(S).
12. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DAMAGE TO EXISTING STREETS AND EXISTING UTILITIES AND SHALL REPAIR ANY SUCH DAMAGE AT HIS OWN EXPENSE. THE CONTRACTOR SHALL HAVE ALL UTILITIES LOCATED THROUGH THE "ONE CALL" SYSTEM. CALL BEFORE YOU DIG. CALL THE UNDERGROUND UTILITY FOR UTILITY LOCATIONS AT 811. MOUNT THROUGH FRONT YARD. 10' TO 6' P.M.
13. THE CONTRACTOR SHALL BE RESPONSIBLE TO COMPLY WITH ALL OSHA REGULATIONS IN THE PROSECUTION OF WORK UNDER THIS CONTRACT.
14. ALL DEBRIS RESULTING FROM CONSTRUCTION OPERATIONS SHALL BE HAULED OFF SITE AND DISPOSED OF PROPERLY AND LEGALLY.
15. THE CONTRACTOR MUST COMPLY WITH ALL NOISE ORDINANCES OF THE CITY OF COUNCIL BLUFFS.
16. CONTRACTOR SHALL PROVIDE ALL DESIGN CALCULATIONS AND PLANS FOR RETAINING WALL AS REQUIRED BY JURISDICTIONAL AUTHORITIES. PLANS AND CALCULATIONS SHALL BE SIGNED AND SEALED BY A PROFESSIONAL ENGINEER LICENSED IN THE STATE OF IOWA. SEE SPOT ELEVATION PLAN FOR WALL HEIGHTS. COORDINATE WITH ARCHITECT FOR MATERIALS AND COLOR.

**LEGEND**

- EXISTING CONTOUR
- PROPOSED CONTOUR
- FABRIC SILT FENCE
- LIMITS OF DISTURBANCE
- CONCRETE WASHOUT
- SILT FENCE
- STABILIZED CONSTRUCTION ENTRANCE

SUMMARY OF EROSION CONTROL	
SYMBOL/LABEL	DESCRIPTION
CWO1	CONCRETE WASHOUT (SEE DETAIL SHEET C3.10)
RECP1 - RECP4	ROLLED EROSION CONTROL PRODUCT (SEE DETAIL SHEET C3.10)
F11 - F110	CURB INLET FILTER (SEE DETAIL SHEET C3.10)
F111 - F153	BLOCKHOLE INLET FILTER, INSTALL PER MANUFACTURER'S RECOMMENDATION (SEE DETAIL SHEET C3.10)
SF1 - SF2	FABRIC SILT FENCE
SE1	STABILIZED CONSTRUCTION ENTRANCE

CONTACT INFORMATION			
DESIGNER	APPLICANT	INSPECTOR	CONTRACTOR
JOSEPH DETHLEFS, P.E. THOMPSON, DREESSEN, & DORNER, INC. 10836 OLD MILL ROAD OMAHA, NE 68154 PHONE: (402) 330-8860 FAX: (402) 330-8866 EMAIL: JDETHLEFS@TD2CO.COM	BOB STRATTON BROADMOOR DEVELOPMENT 809 N. 96TH STREET OMAHA, NE 68114 PHONE: 402-392-1800 EMAIL: BSTRATTON@BROADMOOR.CO	JOHN FISHER THOMPSON, DREESSEN & DORNER, INC. 10836 OLD MILL ROAD OMAHA, NE 68154 PHONE: 402-330-8860 FAX: 402-330-8866 EMAIL: JFISHER@TD2CO.COM	BOB STRATTON BROADMOOR DEVELOPMENT 809 N. 96TH STREET OMAHA, NE 68114 PHONE: 402-392-1800 EMAIL: BSTRATTON@BROADMOOR.CO







**Project Location**  
NW of Greenview Road &  
Eastern Hills Drive  
Council Bluffs, Iowa

Client Name  
**Broadmoor  
Development**

Professional Seal

Revision Date:

No.	Description	MM-DD-YY
01	01	01
02	02	02
03	03	03
04	04	04
05	05	05
06	06	06
07	07	07
08	08	08
09	09	09
10	10	10
11	11	11
12	12	12
13	13	13
14	14	14
15	15	15
16	16	16
17	17	17
18	18	18
19	19	19
20	20	20
21	21	21
22	22	22
23	23	23
24	24	24
25	25	25
26	26	26
27	27	27
28	28	28
29	29	29
30	30	30
31	31	31
32	32	32
33	33	33
34	34	34
35	35	35
36	36	36
37	37	37
38	38	38
39	39	39
40	40	40
41	41	41
42	42	42
43	43	43
44	44	44
45	45	45
46	46	46
47	47	47
48	48	48
49	49	49
50	50	50
51	51	51
52	52	52
53	53	53
54	54	54
55	55	55
56	56	56
57	57	57
58	58	58
59	59	59
60	60	60
61	61	61
62	62	62
63	63	63
64	64	64
65	65	65
66	66	66
67	67	67
68	68	68
69	69	69
70	70	70
71	71	71
72	72	72
73	73	73
74	74	74
75	75	75
76	76	76
77	77	77
78	78	78
79	79	79
80	80	80
81	81	81
82	82	82
83	83	83
84	84	84
85	85	85
86	86	86
87	87	87
88	88	88
89	89	89
90	90	90
91	91	91
92	92	92
93	93	93
94	94	94
95	95	95
96	96	96
97	97	97
98	98	98
99	99	99
100	100	100

Drawn By: GTN      Reviewed By: JAD  
Job No.: 1061-165      Date: 04-11-25

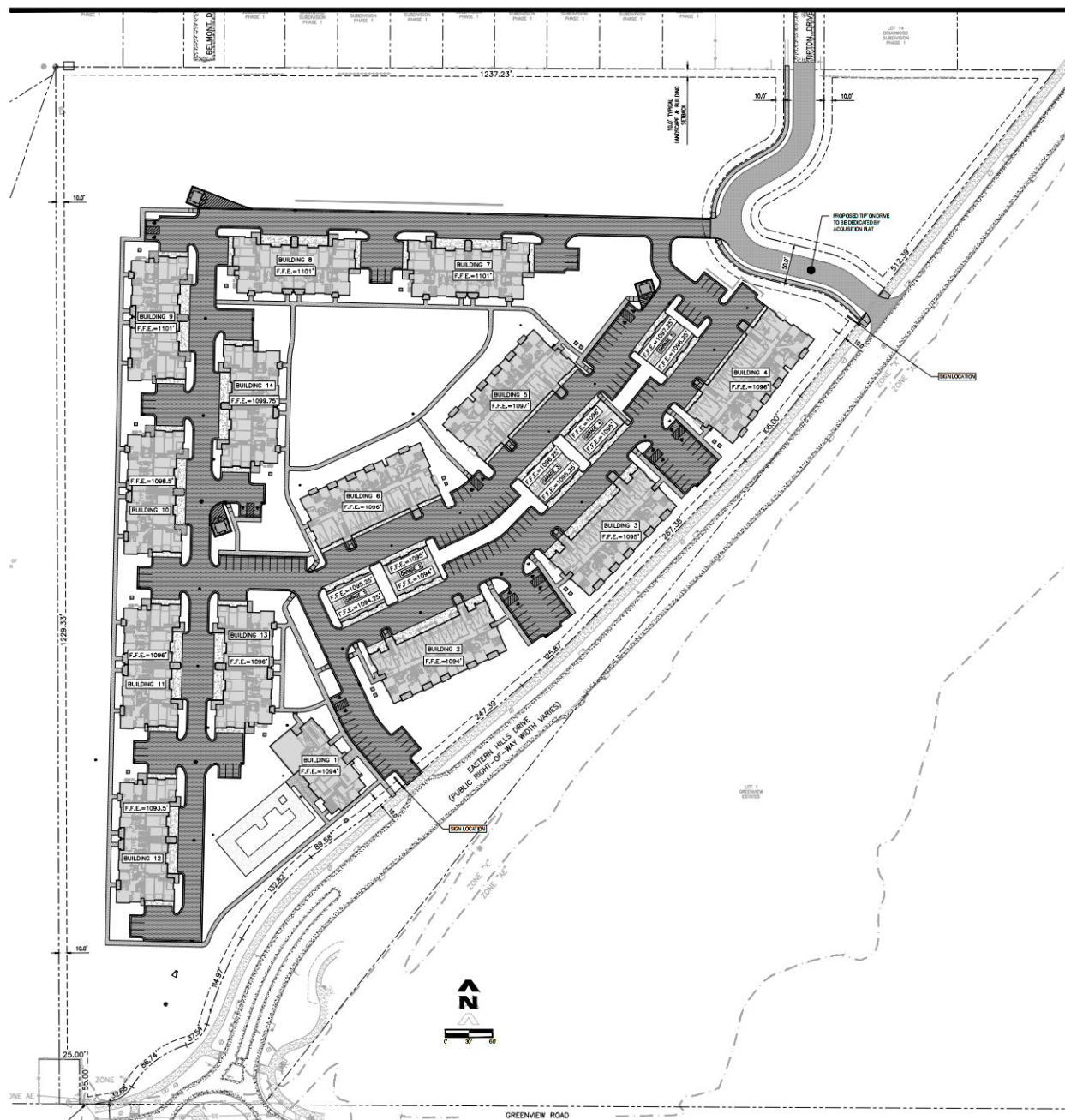
# Fire Access Plan

Sheet Number

### C3.1







## PAVING NOTES

### LEGEND

## SITE NOTES

BUILDING HEIGHTS			ORDER OF CONSTRUCTION	
BUILDING NUMBER	HEIGHT	BUILDING TYPE	ORDER	BUILDING NUMBER
1	23'-46"	CLUBHOUSE	1	1
2	33'-46"	II	2	2
3	39'-6"	II	3	3
4	38'-5"	1A	4	4
5	38'-5"	1A	5	5
6	38'-5"	1B	6	6
7	27'-11"	II	7	13
8	27'-11"	II	8	11
9	27'-11"	II	9	12
10	27'-11"	II	10	10
11	27'-11"	IV	11	14
12	27'-11"	IV	12	9
13	27'-11"	IV	13	8
14	27'-11"	IV	14	7

**TD2**  
engineering  
& surveying

### Broadmoor Eastern Hills

## Broadmoor Development

**NW of Greenview Road &  
Eastern Hills Drive  
Council Bluffs, Iowa**

Professional Services

Review Date: \_\_\_\_\_

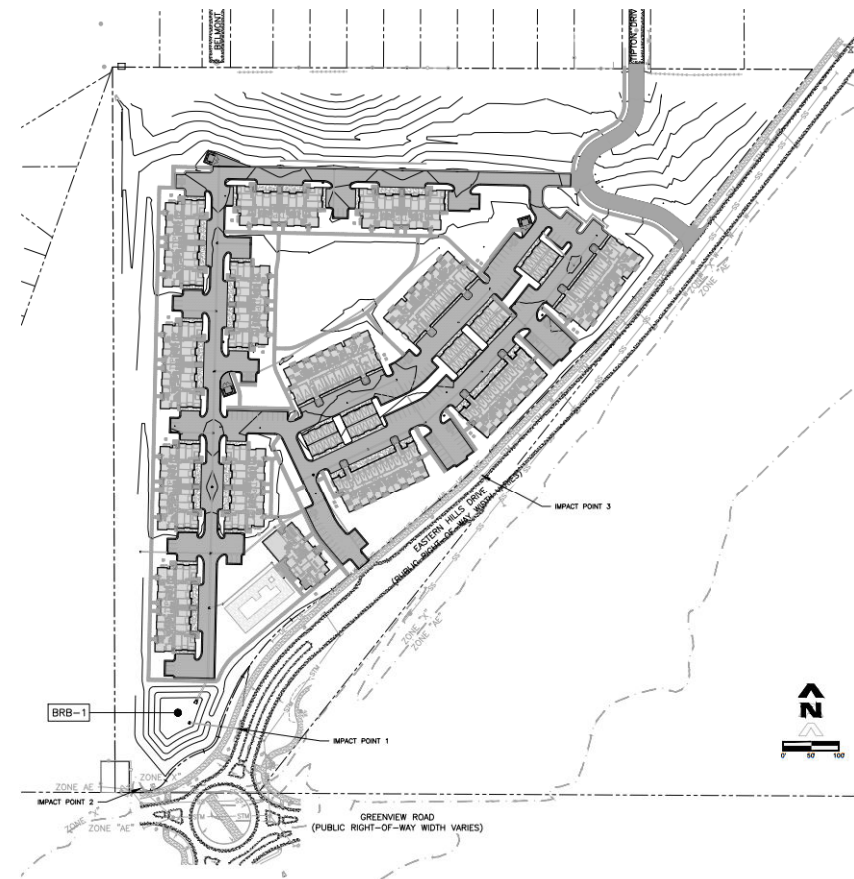
No.	Description	MM-DD-
101	101	101
102	102	102
103	103	103
104	104	104
105	105	105
106	106	106
107	107	107
108	108	108
109	109	109
110	110	110
111	111	111
112	112	112
113	113	113
114	114	114
115	115	115
116	116	116
117	117	117
118	118	118
119	119	119
120	120	120
121	121	121
122	122	122
123	123	123
124	124	124
125	125	125
126	126	126
127	127	127
128	128	128
129	129	129
130	130	130
131	131	131
132	132	132
133	133	133
134	134	134
135	135	135
136	136	136
137	137	137
138	138	138
139	139	139
140	140	140
141	141	141
142	142	142
143	143	143
144	144	144
145	145	145
146	146	146
147	147	147
148	148	148
149	149	149
150	150	150
151	151	151
152	152	152
153	153	153
154	154	154
155	155	155
156	156	156
157	157	157
158	158	158
159	159	159
160	160	160
161	161	161
162	162	162
163	163	163
164	164	164
165	165	165
166	166	166
167	167	167
168	168	168
169	169	169
170	170	170
171	171	171
172	172	172
173	173	173
174	174	174
175	175	175
176	176	176
177	177	177
178	178	178
179	179	179
180	180	180
181	181	181
182	182	182
183	183	183
184	184	184
185	185	185
186	186	186
187	187	187
188	188	188
189	189	189
190	190	190
191	191	191
192	192	192
193	193	193
194	194	194
195	195	195
196	196	196
197	197	197
198	198	198
199	199	199
200	200	200

Sheet Title

## Overall Site Plan

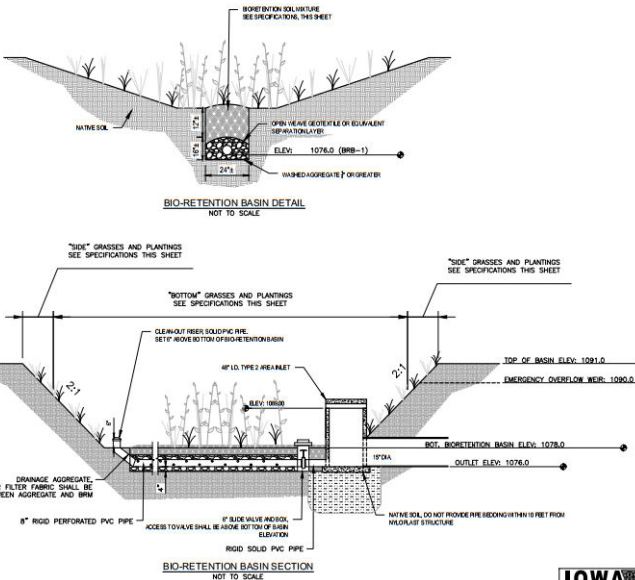
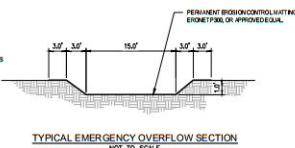
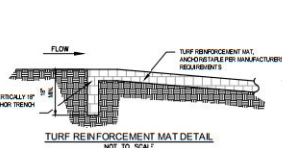
## C4.0





**PCSPM CONSTRUCTION NOTES:**

1. CONTRACTOR MUST NOTIFY ENGINEER A MINIMUM OF 48 HOURS PRIOR TO STARTING CONSTRUCTION OF PCSPM ELEMENTS IN ORDER TO PROVIDE ENGINEER WITH OPPORTUNITY TO OBSERVE CONSTRUCTION. CONTRACTOR'S FAILURE TO PROVIDE PROPER NOTICE AND COORDINATION WITH ENGINEER MAY RESULT IN DELAYS IN OBTAINING CITY-MANDATED PCSPM "CERTIFICATION," WHICH MAY IMPACT CONTRACTOR'S ABILITY TO OBTAIN BUILDING CERTIFICATION OF OCCUPANCY.
2. PRIOR TO FINAL APPROVAL OF PCSPM AND OWNER ACCEPTANCE OF PROJECT, THE CONTRACTOR SHALL REMOVE ALL 1/2" DEBRIS, AND/OR OTHER MATERIALS FROM ALL ON-SITE STORAGE AREAS, PILES, PITS, AND PCSPM ELEMENTS. PHOTOGRAPHIC DOCUMENTATION OF THE CLEANED SYSTEMS IS STRONGLY RECOMMENDED.



## POST CONSTRUCTION BMP'S

BMP IDENTIFIER	TYPE OF BMP	LONGITUDE, LATITUDE
BRB-1	BIO-RETENTION BASIN	N41.240397, W95.768816

## BMP SPECIFICATIONS

1. BIO-RETENTION SOIL MIX (BRM) SHALL BE 80% FINE SAND AND 20% COMPOST BY VOLUME.
  2. SAND SHALL MEET THE REQUIREMENTS OF NO. 10 CLASS A AGGREGATE.
  3. COMPOST SHALL BE DERIVED FROM PLANT MATERIAL AND PROVIDED BY A MEMBER OF THE U.S. COMPOSTING SECTOR OF TESTING ASSURANCE (CTA) PROGRAM. ANIMAL OR POULTRY MANURE WILL NOT BE ACCEPTABLE.
- | SIZE | TARGET | TOLERANCE |
|------|--------|-----------|
| 1"   | 100%   | NONE      |
| 3/8" | 98%    | ±4        |
| #4   | 77%    | ±13       |
| #10  | 25%    | ±10       |
| #20  | 1.5%   | ±1.5      |
- ORGANIC MATTER CONTENT: 35% MAX  
C/N RATIO: 6.5 MAX  
MOISTURE CONTENT: 35% MAX  
DRY BULK DENSITY (LBS/CF): 40 MAX
- DRAINAGE AGGREGATE:** AGGREGATE SHALL WASHED AND CLEAN. MINIMUM OF 4" AROUND PERFORATED PIPE.
- INSPECTION AND OBSERVATION:**
1. THE ENGINEER (TJD, JOE DETHLEFS 402-330-8860) SHALL BE NOTIFIED PRIOR TO ADJUDICATING THE BIO-RETENTION SOIL MIX TO OBSERVE THE UNDERPINNING, GEOTEXTILE FABRIC, AND DRAINAGE AGGREGATE. CONTRACTOR SHALL NOTIFY ENGINEER 24 HOURS PRIOR TO INSPECTION.
  2. CONTRACTOR SHALL NOTIFY ENGINEER AFTER BIO-RETENTION BASIN HAS BEEN COMPLETED, PLANTS AND SEEDS INSTALLED, AND UPSTREAM AREAS STABILIZED FOR FINAL INSPECTION.

## SEEDING AND FERTILIZING

1. ALL DISTURBED AREAS (EXCEPT WITHIN BIO-RETENTION LIMITS) SHALL BE SEEDED AND FERTILIZED. SUPER TURF (TYPE 1) FOR NON-IRRIGATED AREAS AND TYPE 2 FOR IRRIGATED AREAS) SHALL BE USED, UNLESS OTHERWISE APPROVED BY OWNER/ENGINEER.
2. ALL SEEDING AREAS SHALL BE COVERED WITH A TEMPORARY EROSION CONTROL MAT (NORTH AMERICAN GREEN 575 OR APPROVED EQUAL) IMMEDIATELY AFTER SEED AND FERTILIZER ARE PLACED.

## BRB PLANTINGS & GRASSES

- |  |  |
|--|--|
| <b>BOTTOM GRASSES, BUSHES, &amp; SEDGES:</b> | <b>SIDE GRASSES, BUSHES, &amp; SEDGES:</b> |
| • COMMON RUSH                                | • PITH RUSH                                |
| • BLUEJOINT GRASS                            | • PALM SEDGE                               |
| • KOREAN FEATHER REED GRASS                  | • PRAIRIE DROPSEED                         |
| • GRASS SEDGE                                |  |
| • BROWN FOX SEDGE                            |  |
| • COMMON FOX SEDGE                           |  |
| • LITTLE BLUESTEM                            |  |
| • SWITCHGRASS                                |  |
- 
- |                               |                      |
|-------------------------------|----------------------|
| <b>BOTTOM FLOWERS:</b>        | <b>SIDE FLOWERS:</b> |
| • WINGFLOWER                  | • BIRDFLOWER         |
| • SWAMP BLUE FALSE INDIGO     | • SUNFLOWER          |
| • BLUE FLAG IRIS              | • WILD PETUNIA       |
| • ROSE MALLOW, HARDY HIBISCUS | • STONE CROP SEDUM   |
| • REE BALSAM                  |                      |



thompson, dreesen & dornier, inc.  
10836 Old Mill Rd  
Omaha, NE 68154  
p.402.330.8860 www.td2co.com  
dba: TD2 Engineering & Surveying  
NE CA-0199

## Broadmoor Eastern Hills

NW of Greenview Road &  
Eastern Hills Drive  
Council Bluffs, Iowa

## Broadmoor Development

## PROGRESS PRINT

NOT TO BE USED FOR CONSTRUCTION  
DATE PRINTED: April 14, 2025

No.	Description	MM/DD-YY
1		
2		
3		
4		
5		
6		
7		
8		
9		
10		
11		
12		
13		
14		
15		
16		
17		
18		
19		
20		
21		
22		
23		
24		
25		
26		
27		
28		
29		
30		
31		
32		
33		
34		
35		
36		
37		
38		
39		
40		
41		
42		
43		
44		
45		
46		
47		
48		
49		
50		

Drawn By: GTN Reviewed By: JAD  
Job No: 1061-165 Date: 04-11-25

## PCSPM

## C5.0



## GENERAL NOTES:

1. PROVIDE A CULTIVATED EDGE FOR ALL PLANTING BEDS AND WHERE BEDS ADJACENT TO CURBS AND DRIVEWAYS, REFERENCE DETAIL 3, THIS SHEET.
2. CONTRACTOR SHALL MAINTAIN ALL PLANTING BEDS AND TREE PITS. REFERENCE DETAIL 3, 1 & 2, THIS SHEET.
3. PROVIDE 6" OF TOPSOIL FOR TREE INSTALLATION FOR PLANTING BEDS.
4. INSTALL PLANTS WHERE THEY ARE TO BE PLANTED TO ALLOW FOR A 18" FEET SPACE BETWEEN BACK OF CURB AND ESTIMATED MATURE SPREAD.
5. PROVIDE WATERING BAGS FOR ALL TREES. CHECK AND FILL WEEKLY. REFERENCE SPECIFICATION FOR TEMPORARY IRRIGATION FOR PLANT ESTABLISHMENT.
6. SEE ALL AREAS DETERMINED BY CONSTRUCTION WHETHER NOTED ON DRAWING OR NOT.

## SEED TYPE A

SEEDS AS INDICATED BELOW BASED UPON ROOT REGION OF SHOULDER SEED MIXTURE

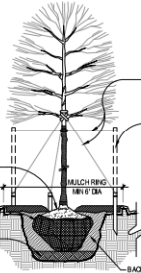
GRASSES	% OF MIX
PERENNIAL RYEGRASS	85
WESTERN WHEATGRASS	85
SLURRY WHEATGRASS	85
KENTUCKY BLUEGRASS	85
RED FESCUE	85
BLUE GRAMA	30
BUFFAL GRASS	80
REDROOT GRAMA	75
SAVING DROPPED	90
CATPAW	90

## SOD TYPE A

THE SOD MIXTURE IS BASED ON LIMITED SEEDS "SUPER TURF" IF SEED MIXTURE IS NOT EQUAL TO BE ALLOWED BY APPROVED BY ARCHITECT/ENGINEER DURING THE BIDDING PROCESS

### TREE PLANTING NOTES:

1. DO NOT HEAVILY PRUNE THE TREE AT PLANTING. PRUNE ONLY CROSSBRANCHES, CO-DOMINANT LEADERS, A BROKEN OR DEAD BRANCHES, SOME INTERIOR TWIGS & LATERAL BRANCHES MAY BE PRUNED. DO NOT REMOVE THE TERMINAL BUDS OF BRANCHES THAT EXTEND TO THE EDGE OF THE CROWN.
2. MARK THE NORTH SIDE OF THE TREE IN THE HURDLE, AND MARK THE TREE TO FACE NORTH AT THE SITE WHENEVER POSSIBLE.
3. SET TOP OF ROOT BALL 1/2 INCHES HIGHER THAN SURROUNDING GRADE.
4. APPLY 1" MINIMUM MULCH DO NOT PLACE MULCH IN DIRECT CONTACT WITH TREE TRUNK.
5. APPLY TREE WRAP TO TRUNK FROM THE 3" IN UPWARD, SECURE W/ TAPE.
6. EACH TREE MUST BE PLANTED SUCH THAT THE TRUNK FLARE IS VISIBLE AT THE TOP OF THE ROOTBALL. TREES WHERE THE FLARE IS NOT VISIBLE SHALL BE REJECTED. DO NOT COVER THE TOP OF THE ROOT BALL W/ SOIL.
7. REMOVE ALL THIRDS, FURS, WIRE AND BURLAP FROM THE ROOT BALL AND REMOVE WIRE BARKERS.
8. PLACE ALL ROOT BALLS ON UNCOMPACTED OR TAMPED SOIL TOP.



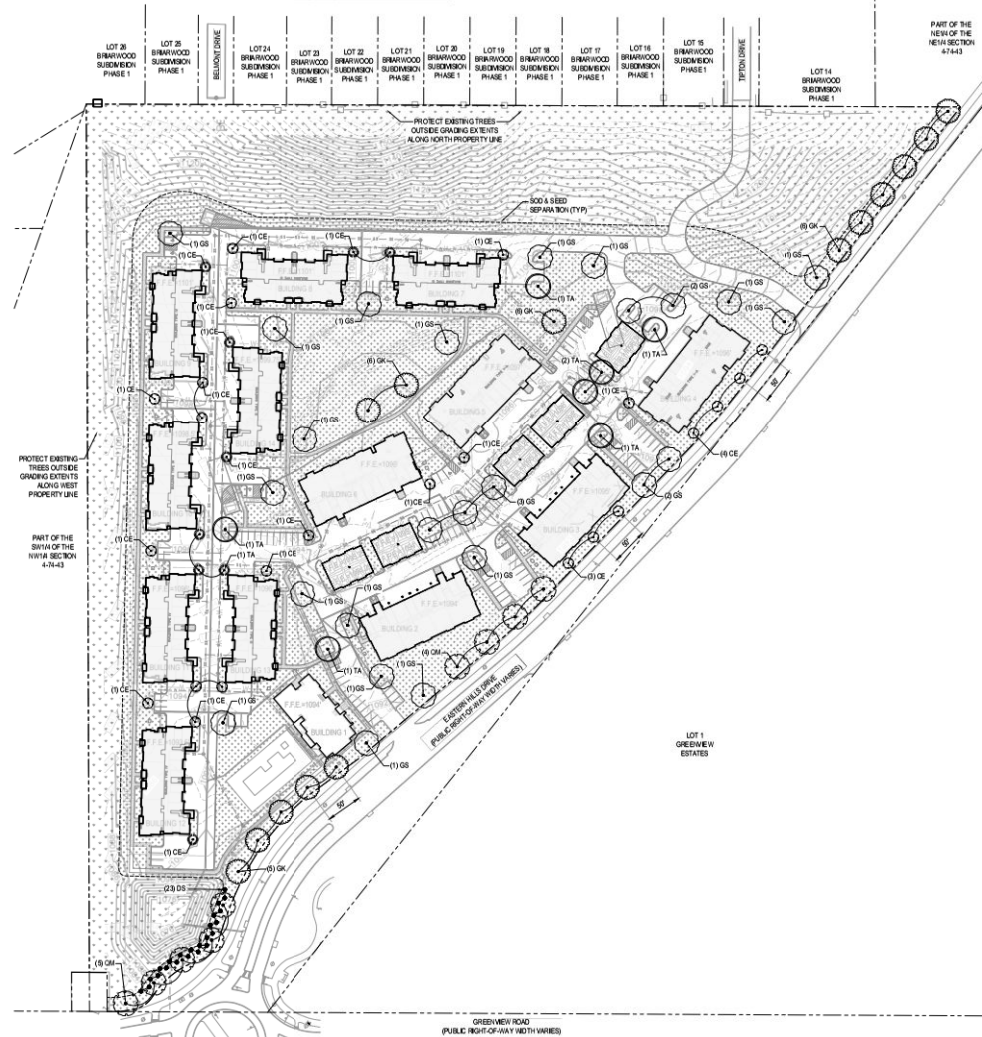
## 1 PLANTING INSTALLATION

SCALE: 1/2"=1'-0" (IN ALL SOIL TYPES)

## PLANT SCHEDULE

CODE	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	HEIGHT	SPREAD	CANOPY	QTY	REMARKS
<b>DECIDUOUS TREES</b>									
CE	QUERCUS IMBRICATA 'NORWICH'	SHADEMASTER HONEY LOCUST	7" CAL. / 8' HIGHT	MIL	8' HIGHT	4' SPREAD	3'	125	ARMY
OK	QUERCUS ALBA 'DURROUS'	KENTUCKY COFFEE TREE	7" CAL. / 8' HIGHT	MIL	8' HIGHT	4' SPREAD	3'	10	ARMY
OK	QUERCUS ALBA 'DURROUS'	SWAMP WHITE OAK	7" CAL. / 8' HIGHT	MIL	8' HIGHT	4' SPREAD	3'	10	DENSE
OK	QUERCUS ALBA 'DURROUS'	AMERICAN LINDEN	7" CAL. / 8' HIGHT	MIL	8' HIGHT	4' SPREAD	3'	10	DENSE
<b>EVERGREEN TREES</b>									
OS	PRUNUS SPINOSA 'NANA'	SWAMP BERRY BRIDGE	7" HIGHT	MIL	8' HIGHT	4' SPREAD	3'	125	
<b>FLOWERING TREES</b>									
CE	QUERCUS ALBA 'DURROUS'	EASTERN REDBUD	7" CAL. / 8' HIGHT	MIL	8' HIGHT	4' SPREAD	3'	125	PRIN. ORNAMENTAL - BRIDGE VIEW
CE	QUERCUS ALBA 'DURROUS'	JAPANESE TREE BERRY BULBAC	7" CAL. / 8' HIGHT	MIL	8' HIGHT	4' SPREAD	3'	10	BRIDGE VIEW

## Attachment C



## SITE LANDSCAPE PLAN

SCALE: 1"=40'

## CLARK & ENERSEN

Architecture \ Engineering \ Interior Design \ Landscape Architecture \ Planning

clarkensers.com  
Omaha, Nebraska  
601 Center Street, Suite 140  
Omaha, NE 68106-2818  
313.883.5015  
Lincoln, Nebraska  
Kansas City, Missouri  
Riverside, Kansas  
Portland, Oregon  
Fort Collins, Colorado  
Charleston, South Carolina

## 50% Design Review Submittal

## Broadmoor Eastern Hills

Council Bluffs, IA  
Review Submittal  
CE No.: 372-003-25

April 1, 2025

**DRAFT**  
PREPARED FOR PRELIMINARY  
SUBMISSION AND REVIEW ONLY --  
NOT FOR CONSTRUCTION.

Site Landscape Plan

## L1.01

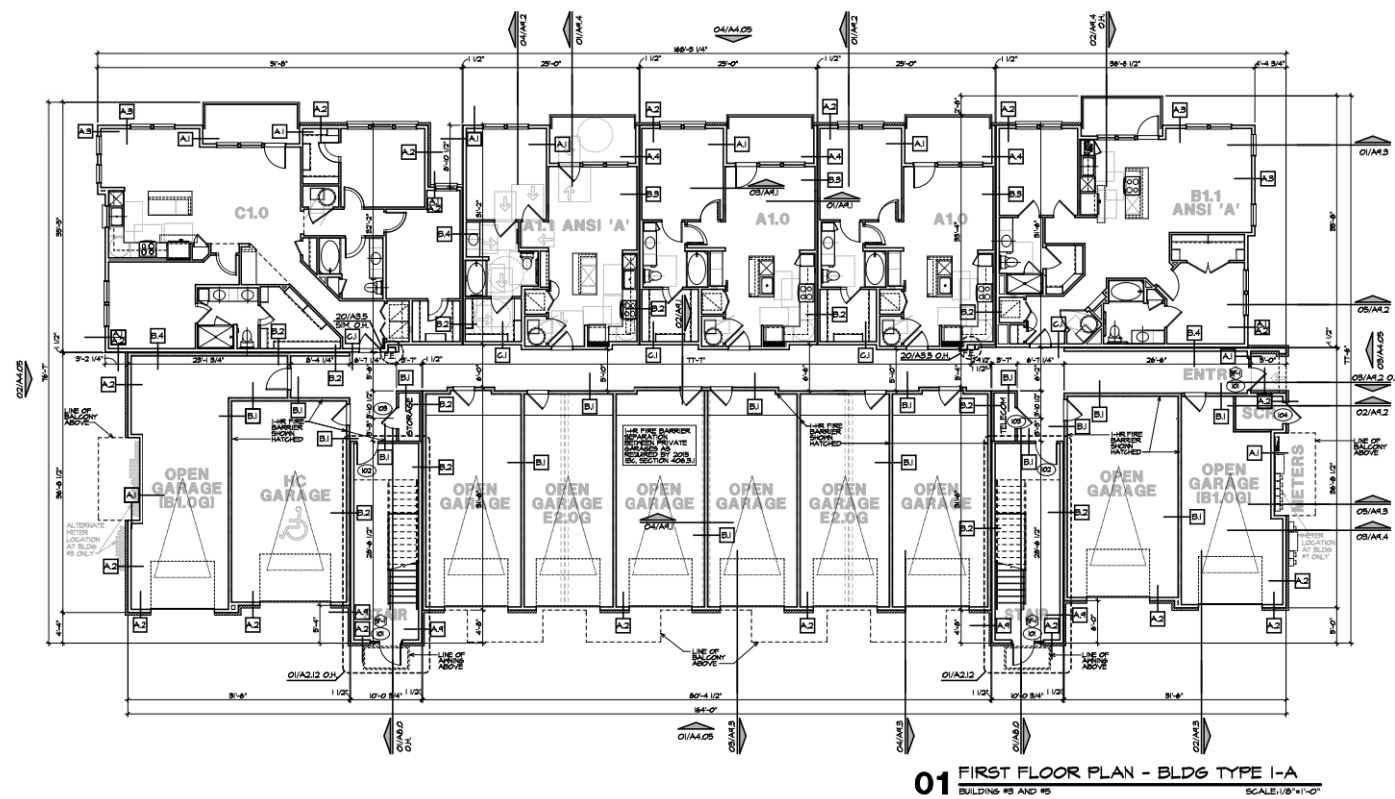


# Attachment D

**NOTES:**

- INDICATES CENTERLINE OF PANDOR. REFER ELEVATION FOR PANDOR MARK.
- INDICATES CENTERLINE OF DOOR/STAIRWELL. REFER ELEVATION FOR STOREFRONT DOOR MARK.
- INDICATES HALL TYPE. REFER SHEET A10 FOR HALL TYPES.

- BUILDING PLAN NOTES**
- THESE DRAWINGS ARE TO BE USED FOR DIMENSIONAL CONTROL AND LAYOUT CONFIGURATION ONLY. REFER JNT PLANS FOR ADDITIONAL PLAN INFORMATION.
  - REFER TO CHIEF'S CIVIL ENGINEER DRAWINGS FOR MINIMUM NUMBER OF "CODE REQUIRED" ACCESSIBLE ENTRANCES INTO ALL APARTMENT BUILDING STRUCTURES. ALL IN FLOOR UNITS ARE TO BE ACCESSIBLE AND MUST BE ON AN ACCESSIBLE ROUTE.
  - A MODIFIED NFPA 13-R SPRINKLER SYSTEM IS TO BE PROVIDED IN ACCORDANCE WITH THE LOCAL ORDINANCES OF THE CITY OF COUNCIL BLUFFS. ORDINANCE REQUIRES SPRINKLERS TO PROVIDE FULL COVERAGE OF THE ATTICA. ALL ENCLOSURES AND PROTECT THE STRUCTURE TO THE SAME EXTENT OF COVERAGE AS WOULD BE REQUIRED UTILIZING AN NFPA 13 SYSTEM.
  - SPRINKLER CONTRACTOR TO SUBMIT DRAWINGS, CALCULATIONS AND SPECS TO THE FIRE MARSHALL'S OFFICE FOR PERMITTING AND REVIEWING. INCLUDING A PLAN SHOWING THE FIRE DEPARTMENT CONNECTION FOR EACH BUILDING. ALL APARTMENT BUILDINGS TO BE PROVIDED WITH A COMPLETE.
  - PROVIDE FIRE SPRINKLER CONTROL ROOM AS SHOWN ON PLANS AND COORDINATE IDENTIFICATION OF THESE ROOMS ON THE BUILDING EXTERIOR WITH THE CITY.
  - ALL BUILDINGS TO BE PROVIDED WITH A COMPLETE APPROVED FIRE ALARM SYSTEM. SYSTEM SHALL BE EQUIPPED WITH AUDIBLE AND VISUAL ALERTING DEVICES.
  - FIRE ALARM CONTRACTOR TO SUBMIT SHOP DRAWINGS AND SPECIFICATIONS TO THE FIRE MARSHALL'S OFFICE FOR APPROVAL.
  - PROVIDE DRY CHEMICAL FIRE EXTINGUISHERS IN CORRIDORS. COORDINATE NUMBERING AND FINAL LOCATION WITH FIRE MARSHALL.
  - REFER STRUCTURAL ENGINEER'S DRAWINGS FOR THE SHEAR WALL LOCATIONS OF EACH BUILDING.
  - REFER TO SHEET A10 FOR HALL TYPES.



THIS DRAWING HAS BEEN PREPARED UNDER THE DIRECT SUPERVISION OF CHAS. C. LEWIS, IOWA REGISTRATION #20705 AND IS CONSIDERED TO BE

**INCOMPLETE**

Copyright: © 2024 by Womack+Hampton Architects, L.L.C. All rights reserved. This drawing and its contents are the sole property of Womack+Hampton Architects, L.L.C. and may not be reproduced in any form without written permission.

Project No. 24009

Drawn By: CL, HV, LB

ISSUE FOR PERMIT:

ISSUE FOR CONSTRUCTION:

Revisions:

**Broadmoor Eastern Hills**  
Council Bluffs, Iowa  
Broadmoor Development

**Womack+Hampton**  
ARCHITECTS, L.L.C.  
202 Oak Lane, Suite 20  
Council Bluffs, IA 52801  
Phone: 712.321.1800



Sheet Number:

**A4.01**  
FIRST FLOOR  
BUILDING  
TYPE I-A

84





BUILDING MATERIALS KEY	
	BRICK VENEER #1
	BRICK VENEER #2
	METAL RAILING, DOORS, AND ANNINGS
	CORRUGATED METAL
	FIBER CEMENT PANEL
	FIBER CEMENT LAP SIDING 1 SKY024 AGREEABLE GRAY
	FIBER CEMENT LAP SIDING 2 SKY060 ATTITUDE GRAY
	PRE-FINISHED LAP SIDING
	FIBER CEMENT TRIM 1
	FIBER CEMENT TRIM 2
	FIBER CEMENT TRIM 3
	PAVING



- ELEVATION NOTES**
- BRICK PATTERN SHOWN IN THESE ELEVATIONS ARE FOR GRAPHICAL PURPOSES ONLY. THESE PATTERNS SHOULD NOT BE USED TO CALCULATE HORIZONTAL COURSE. LOCATE VERTICAL MORTAR JOINTS, ETC.
  - APPROVED ADDRESS NUMBER SHALL BE POSTED ON BUILDING, VISIBLE FROM THE ROAD, IN COLORS THAT ARE OF SUFFICIENT CONTRAST TO BE EASILY SEEN.



THIS DRAWING HAS BEEN PREPARED UNDER THE DIRECT SUPERVISION OF CHANG C. LEE, L.L.C. AND IS CONSIDERED TO BE **INCOMPLETE**

Copyright: © 2024 by Womack+Hampton Architects, L.L.C. All rights reserved. This drawing is the property of Womack+Hampton Architects, L.L.C. and may not be reproduced in any form without written permission.

Project No. 24008

Drawn By: CL, HV, LB

ISSUE FOR PERMIT:

ISSUE FOR CONSTRUCTION:

Revisions:

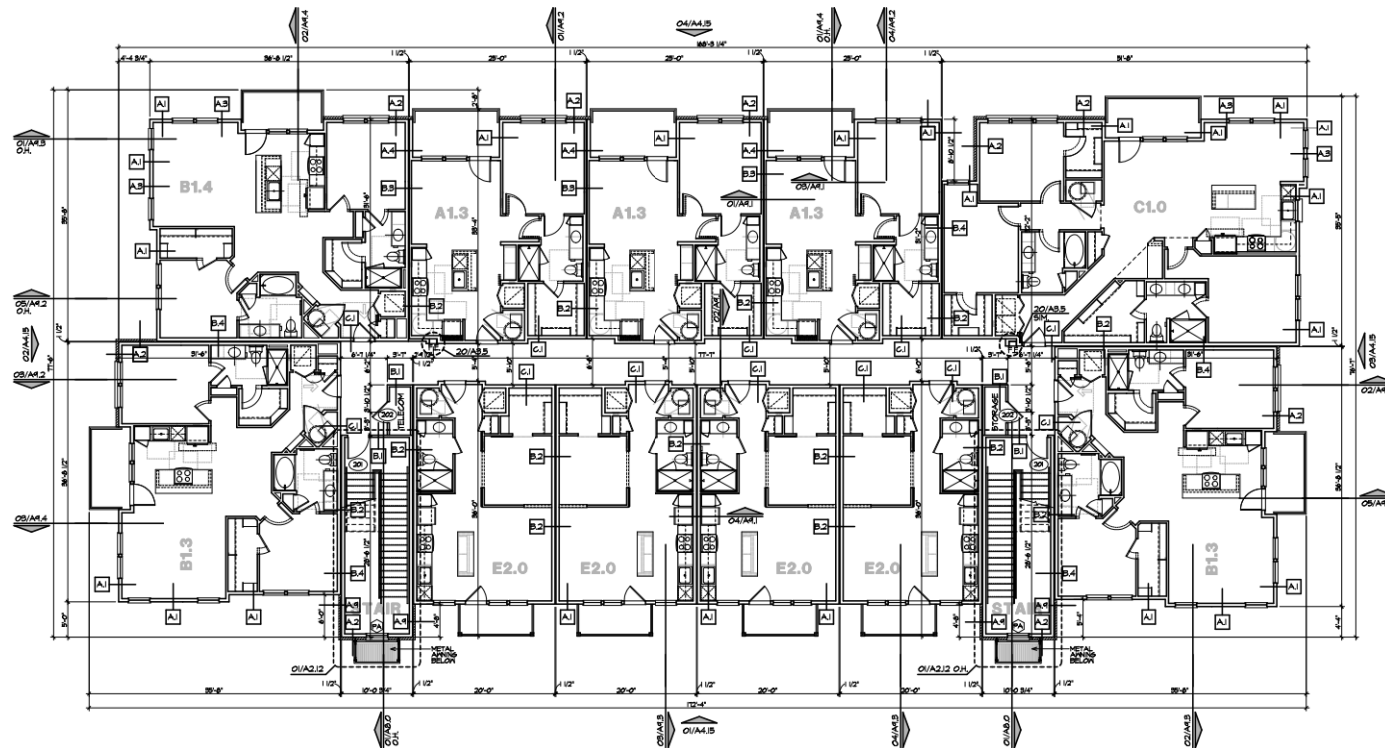
**Broadmoor Eastern Hills**  
Council Bluffs, Iowa  
Broadmoor Development

**Womack+Hampton**  
ARCHITECTS, L.L.C.  
430 Oak Lane, Suite 100  
Council Bluffs, IA 52801  
Phone: 319.333.2800



Sheet: **A4.05**  
**BLDG TYPE I-A**  
**EXTERIOR ELEVATIONS**





**01 SECOND FLOOR PLAN - BLDG TYPE 1-B**  
BUILDING #0 SCALE: 1/8"=1'-0"

**NOTES:**

- INDICATES CENTRELINE OF PONDON REFER ELEVATION FOR PONDON MARK
- INDICATES CENTRELINE OF DOOR/STAIRFRONT REFER ELEVATION FOR STAIRFRONT DOOR MARK
- INDICATES HALL TYPE REFER SHEET A01 FOR HALL TYPES

**BUILDING PLAN NOTES**

- THESE DRAWINGS ARE TO BE USED FOR DIMENSIONAL CONTROL AND LAYOUT CONFIGURATION ONLY. REFER JNT PLANS FOR ADDITIONAL PLAN INFORMATION.
- REFER TO CHIEF'S CIVIL ENGINEER DRAWINGS FOR MINIMUM NUMBER OF "CODE REQUIRED" ACCESSIBLE ENTRANCES INTO ALL APARTMENT BUILDING STRUCTURES. ALL IN FLOOR UNITS ARE TO BE ACCESSIBLE AND MUST BE ON AN ACCESSIBLE ROUTE.
- A MODIFIED NFPA 13-4 SPRINKLER SYSTEM IS TO BE PROVIDED IN ACCORDANCE WITH THE LOCAL ORDINANCES OF THE CITY OF COUNCIL BLUFFS. ORDINANCE REQUIRES SPRINKLING TO PROVIDE FULL COVERAGE OF THE ATTICA ALL ENCLOSURES, AND PROTECT THE STRUCTURE TO THE SAME EXTENT OF COVERAGE AS WOULD BE REQUIRED UTILIZING AN NFPA 13 SYSTEM. SPRINKLER CONTRACTOR TO SUBMIT DRAWINGS, CALCULATIONS AND SPECS TO THE FIRE MARSHALL'S OFFICE FOR PERMITTING AND REVIEW. BUILDING A FIRE PLAN SHOWING THE FIRE DEPARTMENT CONNECTION FOR EACH BUILDING. ALL APARTMENT BUILDINGS TO BE PROVIDED WITH A COMPLETE.
- PROVIDE FIRE SPRINKLER CONTROL ROOM AS SHOWN ON PLANS AND COORDINATE IDENTIFICATION OF THESE ROOMS ON THE BUILDING EXTERIOR WITH THE CITY.
- ALL BUILDINGS TO BE PROVIDED WITH A COMPLETE APPROVED FIRE ALARM SYSTEM. SYSTEM SHALL BE EQUIPPED WITH AUDIBLE AND VISUAL ALERTING DEVICES.
- FIRE ALARM CONTRACTOR TO SUBMIT SHOP DRAWINGS AND SPECIFICATIONS TO THE FIRE MARSHALL'S OFFICE FOR APPROVAL.
- PROVIDE DRY CHEMICAL FIRE EXTINGUISHERS IN CORRIDORS. COORDINATE NUMBERING AND FINAL LOCATION WITH FIRE MARSHALL.
- REFER STRUCTURAL ENGINEER'S DRAWINGS FOR THE SHEAR WALL LOCATIONS OF EACH BUILDING.
- REFER TO SHEET A01 FOR HALL TYPES.

THIS DRAWING HAS BEEN PREPARED UNDER THE DIRECT SUPERVISION OF CHIEF C. LEWIS IOWA REGISTRATION #2005 AND IS CONSIDERED TO BE

**INCOMPLETE**

Copyright: ©2024 by Womack+Hampton Architects, L.L.C. All rights reserved. This drawing and its contents are the sole property of Womack+Hampton Architects, L.L.C. and may not be reproduced in any form without written permission.

Project No. 240009

Drawn By: CL, HV, LB

ISSUE FOR PERMIT:

ISSUE FOR CONSTRUCTION:

Revisions:

**Broadmoor Eastern Hills**  
Council Bluffs, Iowa  
Broadmoor Development

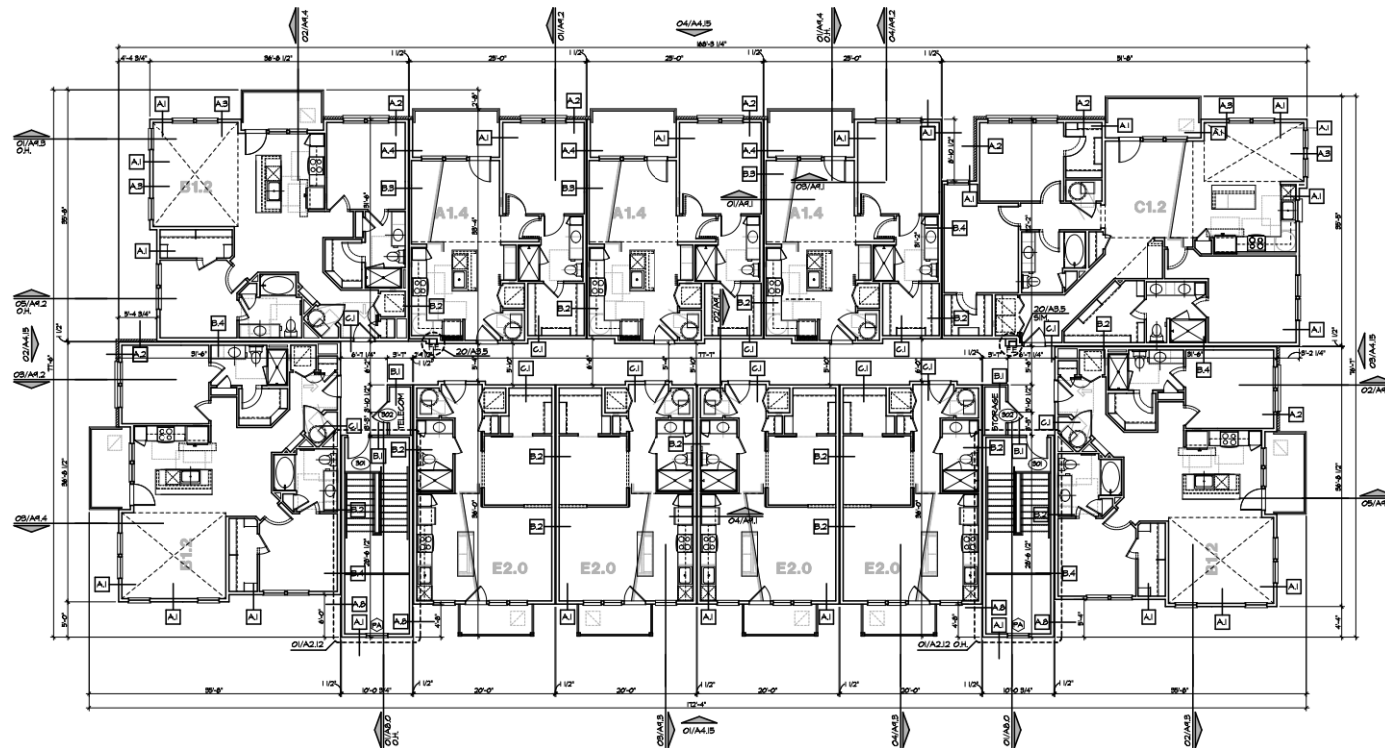
**Womack+Hampton**  
ARCHITECTS, L.L.C.  
202 Oak Lane, Suite 200  
Council Bluffs, IA 52801  
Phone: 712.322.1900  
Fax: 712.322.1901



Sheet: A4.12 Number: 12

**A4.12**  
SECOND FLOOR  
BUILDING  
TYPE 1-B





01 THIRD FLOOR PLAN - BLDG TYPE I-B  
BUILDING #0 SCALE: 1/8"=1'-0"

**NOTES:**

- INDICATES CENTRELINE OF PONDON REFER ELEVATION FOR PONDON MARK
- INDICATES CENTRELINE OF DOOR/STOREFRONT REFER ELEVATION FOR STOREFRONT DOOR MARK
- INDICATES HALL TYPE REFER SHEET A01 FOR HALL TYPES

**BUILDING PLAN NOTES**

- THESE DRAWINGS ARE TO BE USED FOR DIMENSIONAL CONTROL AND LAYOUT CONFIGURATION ONLY. REFER JNT PLANS FOR ADDITIONAL PLAN INFORMATION.
- REFER TO OWNERS CIVIL ENGINEER DRAWINGS FOR MINIMUM NUMBER OF "CODE REQUIRED" ACCESSIBLE ENTRANCES INTO ALL APARTMENT BUILDING STRUCTURES. ALL IN FLOOR UNITS ARE TO BE ACCESSIBLE AND MUST BE ON AN ACCESSIBLE ROUTE.
- A MODIFIED NFPA 13-4 SPRINKLER SYSTEM IS TO BE PROVIDED IN ACCORDANCE WITH THE LOCAL ORDINANCES OF THE CITY OF COUNCIL BLUFFS. ORDINANCE REQUIRES SPRINKLERS TO PROVIDE FULL COVERAGE OF THE ATTICA ALL ENCLOSURES, AND PROTECT THE STRUCTURE TO THE SAME EXTENT OF COVERAGE AS WOULD BE REQUIRED UTILIZING AN NFPA 13 SYSTEM. SPRINKLER CONTRACTOR TO SUBMIT DRAWINGS, CALCULATIONS AND SPECS TO THE FIRE MARSHALL'S OFFICE FOR PERMITTING AND REVIEW. BUILDING A FIRE PLAN SHOWING THE FIRE DEPARTMENT CONNECTION FOR EACH BUILDING. ALL APARTMENT BUILDINGS TO BE PROVIDED WITH A COMPLETE.
- PROVIDE FIRE SPRINKLER CONTROL ROOM AS SHOWN ON PLANS AND COORDINATE IDENTIFICATION OF THESE ROOMS ON THE BUILDING EXTERIOR WITH THE CITY.
- ALL BUILDINGS TO BE PROVIDED WITH A COMPLETE APPROVED FIRE ALARM SYSTEM. SYSTEM SHALL BE EQUIPPED WITH AUDIBLE AND VISUAL ALERTING DEVICES.
- FIRE ALARM CONTRACTOR TO SUBMIT SHOP DRAWINGS AND SPECIFICATIONS TO THE FIRE MARSHALL'S OFFICE FOR APPROVAL.
- PROVIDE DRY CHEMICAL FIRE EXTINGUISHERS IN CORRIDORS. COORDINATE NUMBERING AND FINAL LOCATION WITH FIRE MARSHALL.
- REFER STRUCTURAL ENGINEER'S DRAWINGS FOR THE SHEAR WALL LOCATIONS OF EACH BUILDING.
- REFER TO SHEET A01 FOR HALL TYPES.

THIS DRAWING HAS BEEN PREPARED UNDER THE DIRECT SUPERVISION OF CHAS C. LEWIS IOWA REGISTRATION #20055 AND IS CONSIDERED TO BE **INCOMPLETE**

Copyright: ©2024 by Womack+Hampton Architects, L.L.C. All rights reserved. This drawing and its contents are the sole property of WMA, L.L.C. and may not be reproduced in any form without written permission.

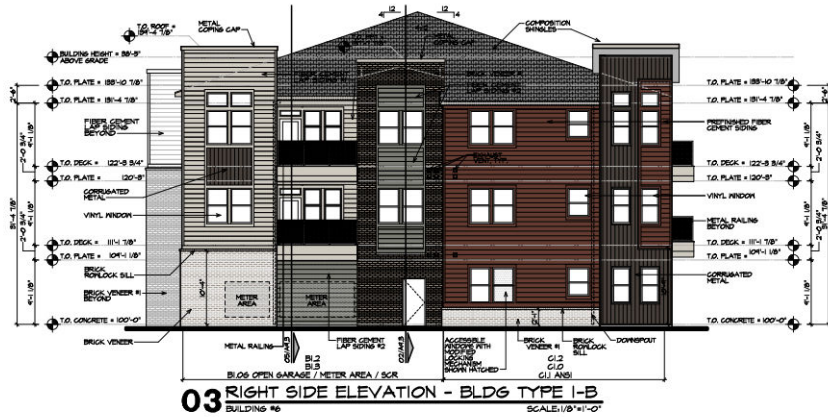
Project No. 240009  
Drawn By: CL, HV, LB  
ISSUE FOR PERMIT:  
ISSUE FOR CONSTRUCTION:  
Revisions:

**Broadmoor Eastern Hills**  
Council Bluffs, Iowa  
Broadmoor Development

**Womack+Hampton**  
ARCHITECTS, L.L.C.  
202 Oak Lane, Suite 50  
Council Bluffs, IA 52801  
Phone: 319.332.9900  
Fax: 319.332.9900

Sheet Number:  
**A4.13**  
THIRD FLOOR  
BUILDING  
TYPE I-B

BUILDING MATERIALS KEY	
	BRICK VENEER #1
	BRICK VENEER #2
	METAL RAILING, DOORS, AND ANNINGS
	CORRUGATED METAL
	FIBER CEMENT PANEL
	FIBER CEMENT LAP SIDING 1
	FIBER CEMENT LAP SIDING 2
	PRE-FINISHED LAP SIDING
	FIBER CEMENT TRIM 1
	FIBER CEMENT TRIM 2
	FIBER CEMENT TRIM 3
	FASCIA



- ELEVATION NOTES**
1. BRICK PATTERN SHOWN IN THESE ELEVATIONS ARE FOR GRAPHICAL PURPOSES ONLY. THESE PATTERNS SHOULD NOT BE USED TO CALCULATE HORIZONTAL COURSEWORK. LOCATE VERTICAL MORTAR JOINTS, ETC.
  2. APPROVED ADDRESS NUMBER SHALL BE POSTED ON BUILDING, VISIBLE FROM THE ROAD, IN COLORS THAT ARE OF SUFFICIENT CONTRAST TO BE EASILY SEEN.

THIS DRAWING HAS BEEN PREPARED UNDER THE DIRECT SUPERVISION OF CHAS. E. LINES AND IS CONSIDERED TO BE **INCOMPLETE**

THIS DRAWING MAY NOT BE USED FOR REGULATORY APPROVAL, PERMIT, OR CONSTRUCTION WITHOUT THE ARCHITECT'S OFFICIAL SEAL.

Copyright: © 2024 by Womack + Hampton Architects, L.L.C. All rights reserved. No part of this drawing may be reproduced or transmitted in any form without written permission.

Project No. 24008  
Drawn By: CL, HV, LB  
Issue For Permit:  
Issue For Construction:  
Revisions:

**Broadmoor Eastern Hills**  
Council Bluffs, Iowa  
Broadmoor Development

**Womack + Hampton**  
ARCHITECTS, L.L.C.  
402 Oak Lane, Suite 20  
Council Bluffs, IA 52801  
Phone: 319.331.1000



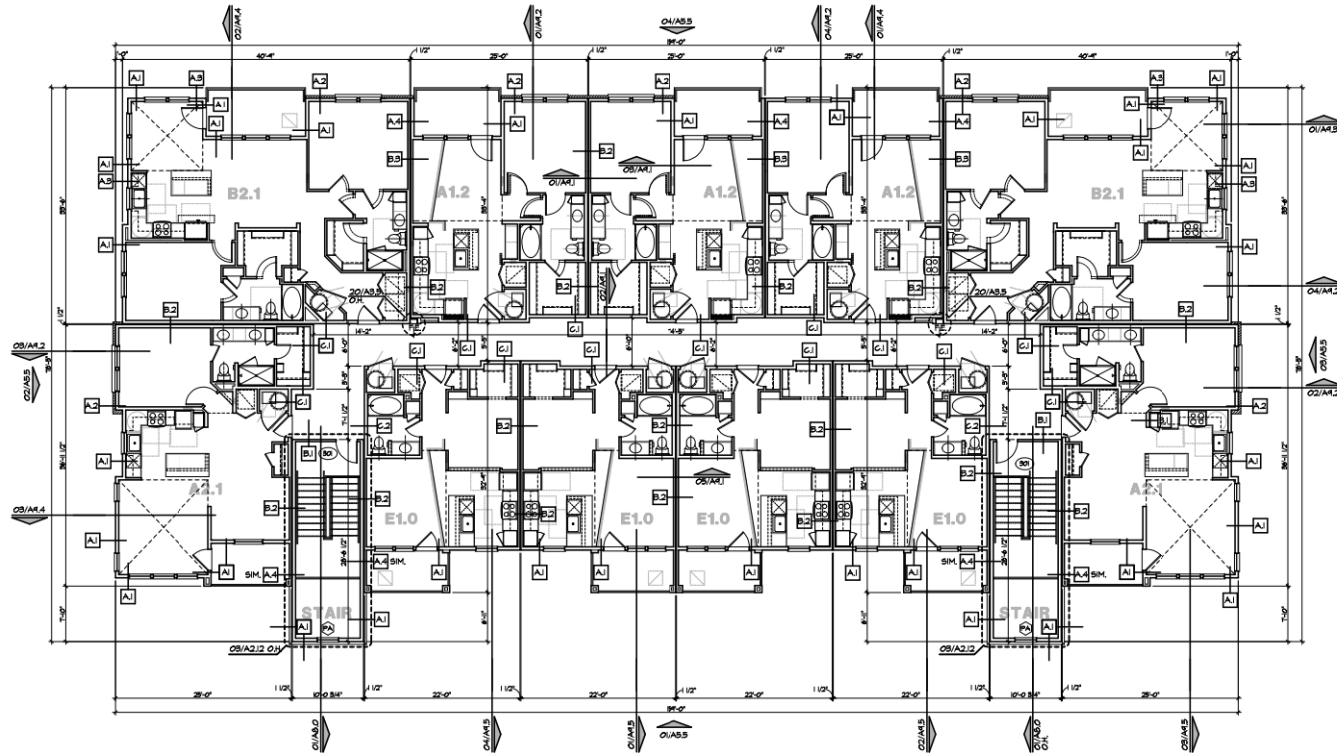
Sheet Number:

**A4.15**  
BLDG TYPE I-B  
EXTERIOR ELEVATIONS









**01** THIRD FLOOR PLAN - BLDG TYPE II  
BUILDING #2 AND #3  
SCALE: 1/8"=1'-0"

**NOTES:**

- INDICATES CENTERLINE OF WINDOW. REFER ELEVATION FOR WINDOW MARK.
- INDICATES CENTERLINE OF DOOR/STAIRWELL. REFER ELEVATION FOR DOOR/STAIRWELL MARK.
- INDICATES HALL TYPE. REFER SHEET A01 FOR HALL TYPES.

**BUILDING PLAN NOTES**

- THESE DRAWINGS ARE TO BE USED FOR DIMENSIONAL CONTROL AND LAYOUT CONFIGURATION ONLY. REFER JNT PLANS FOR ADDITIONAL PLAN INFORMATION.
- REFER TO OWNER'S CIVIL ENGINEER DRAWINGS FOR MINIMUM NUMBER OF "CODE REQUIRED" ACCESSIBLE ENTRANCES INTO ALL APARTMENT BUILDING STRUCTURES. ALL IN FLOOR UNITS ARE TO BE ACCESSIBLE AND MUST BE ON AN ACCESSIBLE ROUTE.
- A MODIFIED NFPA 13-4 SPRINKLER SYSTEM IS TO BE PROVIDED IN ACCORDANCE WITH THE LOCAL ORDINANCES OF THE CITY OF COUNCIL BLUFFS. ORDINANCE 188888 REQUIRES SPRINKLING TO PROVIDE FULL COVERAGE OF THE ATTICA. ALL ENCLOSURES AND PROTECT THE STRUCTURE TO THE SAME EXTENT OF COVERAGE AS WOULD BE REQUIRED UTILIZING AN NFPA 13 SYSTEM.
- SPRINKLER CONTRACTOR TO SUBMIT DRAWINGS, CALCULATIONS AND SPEC'S TO THE FIRE MARSHALL'S OFFICE FOR PERMITTING AND REVIEWING. INCLUDING A FIVE PLAN SHOWING THE FIRE DEPARTMENT CONNECTION FOR EACH BUILDING. ALL APARTMENT BUILDINGS TO BE PROVIDED WITH A COMPLETE.
- PROVIDE FIRE SPRINKLER CONTROL ROOM AS SHOWN ON PLANS AND COORDINATE IDENTIFICATION OF THESE ROOMS ON THE BUILDING EXTERIOR WITH THE CITY.
- ALL BUILDINGS TO BE PROVIDED WITH A COMPLETE APPROVED FIRE ALARM SYSTEM. SYSTEM SHALL BE EQUIPPED WITH AUDIBLE AND VISUAL ALERTING DEVICES.
- FIRE ALARM CONTRACTOR TO SUBMIT SHOP DRAWINGS AND SPECIFICATIONS TO THE FIRE MARSHALL'S OFFICE FOR APPROVAL.
- PROVIDE DRY CHEMICAL FIRE EXTINGUISHERS IN CORRIDORS. COORDINATE NUMBERING AND FINAL LOCATION WITH FIRE MARSHALL.
- REFER STRUCTURAL ENGINEER'S DRAWINGS FOR THE SHEAR WALL LOCATIONS OF EACH BUILDING.
- REFER TO SHEET A01 FOR HALL TYPES.

THIS DRAWING HAS BEEN PREPARED UNDER THE DIRECT SUPERVISION OF CHAS. C. LEWIS, IOWA REGISTRATION #2005 AND IS CONSIDERED TO BE **INCOMPLETE**

Copyright: ©2024 by Womack+Hampton Architects, L.L.C. All rights reserved. This drawing and its contents are the sole property of Womack+Hampton Architects, L.L.C. and may not be reproduced in any form without written permission.

Project No. 240009

Drawn By: CL, HV, LB

ISSUE FOR PERMIT:

ISSUE FOR CONSTRUCTION:

Revisions:

**Broadmoor Eastern Hills**  
Council Bluffs, Iowa  
Broadmoor Development

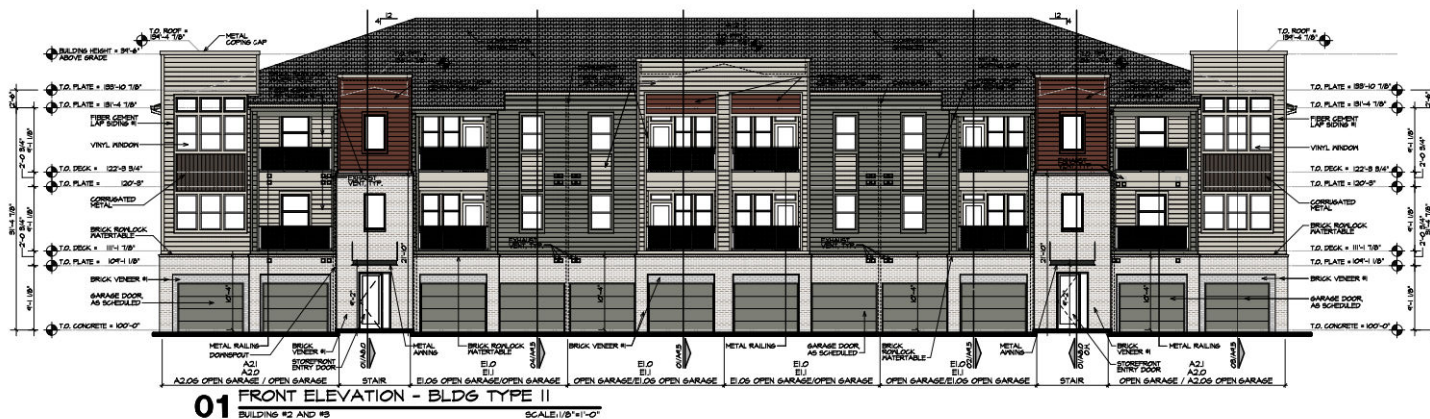
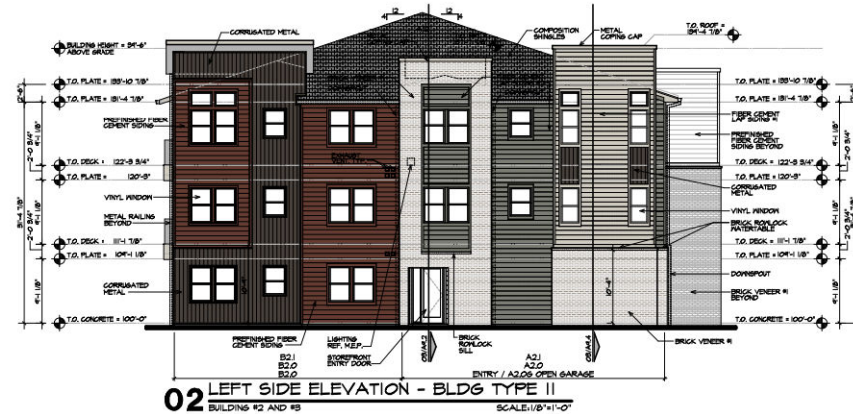
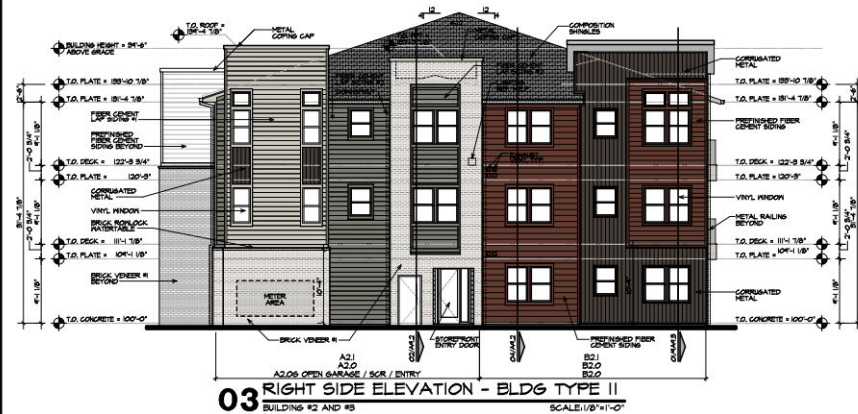
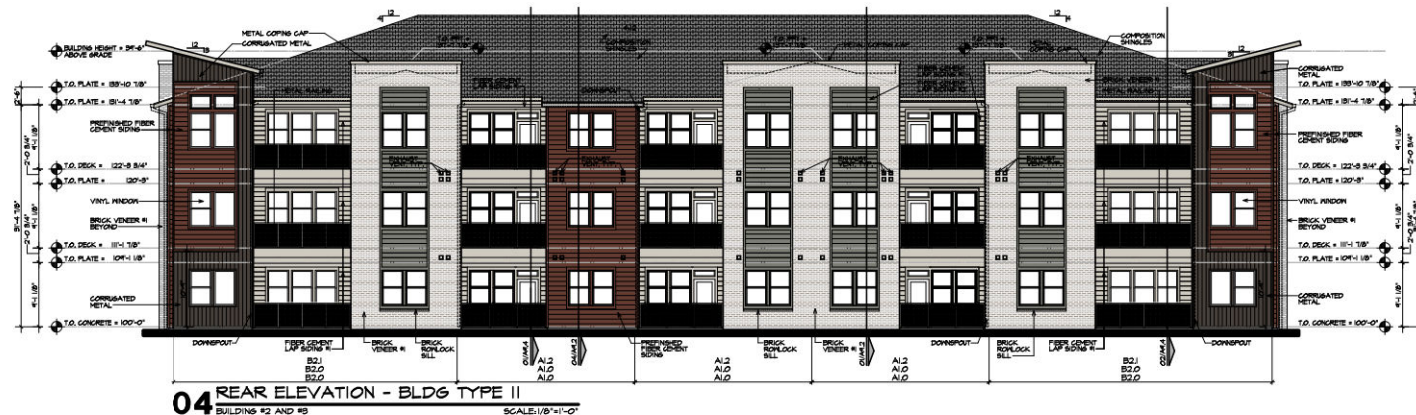
**Womack+Hampton**  
ARCHITECTS, L.L.C.  
1000 Oak Lane, Suite 200  
Council Bluffs, Iowa 52808  
Phone: 712.333.1800



Sheet Number:

**A5.3**  
THIRD FLOOR  
BUILDING  
TYPE II

BUILDING MATERIALS KEY	
	BRICK VENEER #1
	BRICK VENEER #2
	METAL RAILING, DOORS, AND ANNINGS
	CORRUGATED METAL
	FIBER CEMENT PANEL
	FIBER CEMENT LAP SIDING 1
	FIBER CEMENT LAP SIDING 2
	FIBER CEMENT LAP SIDING 3
	FIBER CEMENT TRIM 1
	FIBER CEMENT TRIM 2
	FIBER CEMENT TRIM 3
	FASCIA



- ELEVATION NOTES**
1. BRICK PATTERN SHOWN IN THESE ELEVATIONS ARE FOR GRAPHICAL PURPOSES ONLY. THESE PATTERNS SHOULD NOT BE USED TO CALCULATE HORIZONTAL COURSE. LOCATE VERTICAL MORTAR JOINTS, ETC.
  2. APPROVED ADDRESS NUMBER SHALL BE POSTED ON BUILDING, VISIBLE FROM THE ROAD, IN COLORS THAT ARE OF SUFFICIENT CONTRAST TO BE EASILY SEEN.

THIS DRAWING HAS BEEN PREPARED UNDER THE DIRECT SUPERVISION OF CHASE E. LEWIS AND IS CONSIDERED TO BE INCOMPLETE.

THIS DRAWING MAY NOT BE USED FOR REGULATORY APPROVAL, PERMIT, OR CONSTRUCTION WITHOUT THE ARCHITECT'S OFFICIAL SEAL.

Copyright: © 2024 by Womack + Hampton Architects, LLC. All rights reserved. No reproduction or translation is permitted without the written consent of Womack + Hampton Architects, LLC.

Project No. 24008

Drawn By: CL, HV, LB

ISSUE FOR PERMIT:

ISSUE FOR CONSTRUCTION:

Revisions:

**Broadmoor Eastern Hills**  
Council Bluffs, Iowa  
Broadmoor Development

**Womack + Hampton**  
ARCHITECTS, L.L.C.  
402 Oak Lane, Suite 20  
Council Bluffs, IA 52801  
Phone: (562) 382-9600



Sheet: A5.5  
Number: BLDG TYPE II ELEVATIONS







THIS DRAWING HAS BEEN PREPARED UNDER THE DIRECT SUPERVISION OF CHANG C. LEUNG, IOWA REGISTRATION #20200 AND IS CONSIDERED TO BE

**INCOMPLETE**

Copyright: © 2024 by Womack+Hampton Architects, L.L.C. All rights reserved. This drawing and its contents are the property of Womack+Hampton Architects, L.L.C. and may not be reproduced in any form without written permission.

Project No. 24009

Drawn By: CL, HV, LB

ISSUE FOR PERMIT:

ISSUE FOR CONSTRUCTION:

Revisions:

**Broadmoor Eastern Hills**  
Council Bluffs, Iowa  
Broadmoor Development

**Womack+Hampton**  
ARCHITECTS, L.L.C.  
400 Oak Lane, Suite 200  
Council Bluffs, Iowa 52801  
Phone: 562-222-9900  
Fax: 562-222-9901



**07 SIDE PARTIAL ELEV.**  
BLDG TYPE III - BUILDING #7, #8, #13, AND #14  
SCALE: 1/8"=1'-0"

**06 PARTIAL ELEV. - SCR**  
BLDG TYPE III - BUILDING #7, #8, #13, AND #14  
SCALE: 1/8"=1'-0"

**05 REAR ELEVATION**  
BLDG TYPE III - BUILDING #7, #8, #13, AND #14  
SCALE: 1/8"=1'-0"

BUILDING MATERIALS KEY	
	BRICK VENEER #1
	BRICK VENEER #2
	METAL RAILING, DOORS, AND ANNINGS
	CORRUGATED METAL
	FIBER CEMENT PANEL
	FIBER CEMENT LAP SIDING 1 SINTON AGREEABLE GRAY
	FIBER CEMENT LAP SIDING 2 SINTON ATTITUDE GRAY
	PRE-FINISHED LAP SIDING
	FIBER CEMENT TRIM 1
	FIBER CEMENT TRIM 2
	FIBER CEMENT TRIM 3
	FASCIA

**ELEVATION NOTES**

1. BRICK PATTERN SHOWN IN THESE ELEVATIONS ARE FOR GRAPHICAL PURPOSES ONLY. THESE PATTERNS SHOULD NOT BE USED TO CALCULATE HORIZONTAL COURSES. LOCATE VERTICAL MORTAR JOINTS, ETC.

2. APPROVED ADDRESS NUMBER SHALL BE POSTED ON BUILDING, VISIBLE FROM THE ROAD, IN COLORS THAT ARE OF SUFFICIENT CONTRAST TO BE EASILY SEEN.

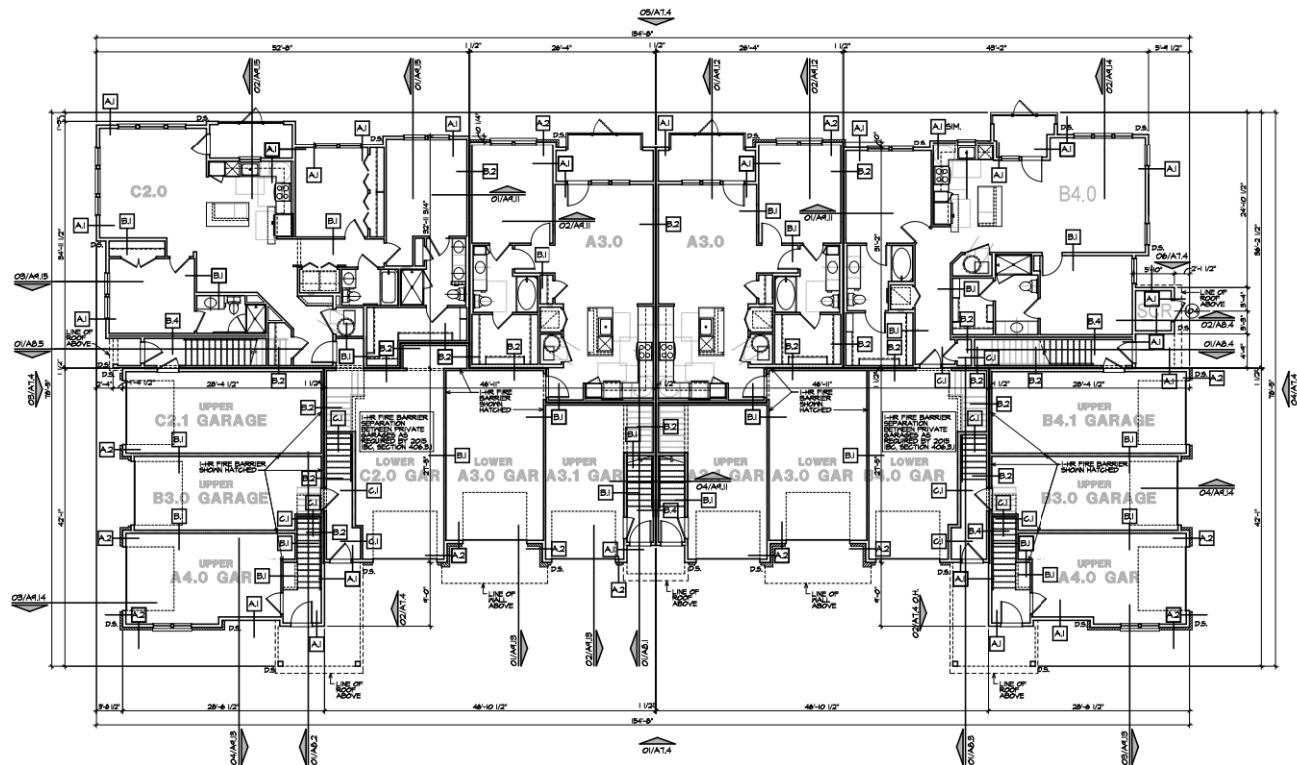


**02 SIDE ELEVATION**  
BLDG TYPE III - BUILDING #7, #8, #13, AND #14  
SCALE: 1/8"=1'-0"

**01 FRONT ELEVATION**  
BLDG TYPE III - BUILDING #7, #8, #13, AND #14  
SCALE: 1/8"=1'-0"

**BUILDING PLAN NOTES**

- THESE DRAWINGS ARE TO BE USED FOR DIMENSIONAL CONTROL AND LAYOUT CONFIGURATION ONLY. REFER UNIT PLANS FOR ADDITIONAL PLAN INFORMATION.
- REFER TO OTHERS CIVIL ENGINEER DRAWINGS FOR MINIMUM NUMBER OF "CROSS REQUIRED" ACCESSIBLE ENTRANCES INTO ALL APARTMENT BUILDING STRUCTURES. ALL FLOOR UNITS ARE TO BE ACCESSIBLE AND HAVE BE ON AN ACCESSIBLE ROUTE.
- A MODIFIED NFPA (UL) SPRINKLER SYSTEM TO BE PROVIDED IN ACCORDANCE WITH THE LOCAL ORDINANCES OF THE CITY OF COUNCIL BLUFFS. ORDINANCE REQUIRES SPRINKLING TO PROVIDE FULL COVERAGE OF THE ATTIC, ALL ENCLOSURES, AND PROTECT THE STRUCTURE TO THE SAME EXTENT OF COVERAGE AS WOULD BE REQUIRED UTILIZING AN NFPA (UL) SYSTEM. SPRINKLER CONTRACTOR TO SUBMIT SHOP DRAWINGS, CALCULATIONS AND SPECS TO THE FIRE MARSHALL'S OFFICE FOR PERMITTING AND REVIEWING PURPOSES, INCLUDING A SITE PLAN SHOWING THE FIRE DEPARTMENT CONNECTION FOR EACH BUILDING. ALL APARTMENT BUILDINGS TO BE PROVIDED WITH A COMPLETE
- PROVIDE FIRE SPRINKLER CONTROL ROOM AS SHOWN ON PLANS AND COORDINATE IDENTIFICATION OF THESE ROOMS ON THE BUILDING EXTERIOR WITH THE CITY.
- ALL BUILDINGS TO BE PROVIDED WITH A COMPLETE APPROVED FIRE ALARM SYSTEM. SYSTEM SHALL BE EQUIPPED WITH AUDIBLE AND VISUAL ALERTING DEVICES.
- FIRE ALARM CONTRACTOR TO SUBMIT SHOP DRAWINGS AND SPECIFICATIONS TO THE FIRE MARSHALL'S OFFICE FOR APPROVAL.
- PROVIDE DRY CHEMICAL FIRE EXTINGUISHERS IN CORRIDORS. COORDINATE NUMBERS AND FINAL LOCATION WITH FIRE MARSHALL.
- REFER STRUCTURAL ENGINEER'S DRAWINGS FOR THE SHEAR WALL LOCATIONS OF EACH BUILDING.
- REFER TO SHEET A01 FOR WALL TYPES.



**01 FIRST FLOOR PLAN - BLDG TYPE IV**  
BUILDINGS #4, #10, #11 AND #12  
SCALE: 1/8"=1'-0"

**NOTES:**

- INDICATES CENTERLINE OF DOOR. REFER ELEVATION FOR DOOR MARK.
- INDICATES CENTERLINE OF WINDOW. REFER ELEVATION FOR WINDOW MARK.
- INDICATES CENTERLINE OF STOREFRONT. REFER ELEVATION FOR STOREFRONT MARK.
- INDICATES WALL TYPE. REFER SHEET A01 FOR WALL TYPES.

THIS DRAWING HAS BEEN PREPARED UNDER THE DIRECT SUPERVISION OF CHANG C. LEUNG, IOWA REGISTRATION #207055 AND IS CONSIDERED TO BE

**INCOMPLETE**

Copyright: ©2024 by Womack+Hampton Architects, L.L.C. All rights reserved. No part of this drawing may be reproduced in any form without written permission.

Project No. 240009

Drawn By: CL, HV, LB

ISSUE FOR PERMIT:

ISSUE FOR CONSTRUCTION:

Revisions:

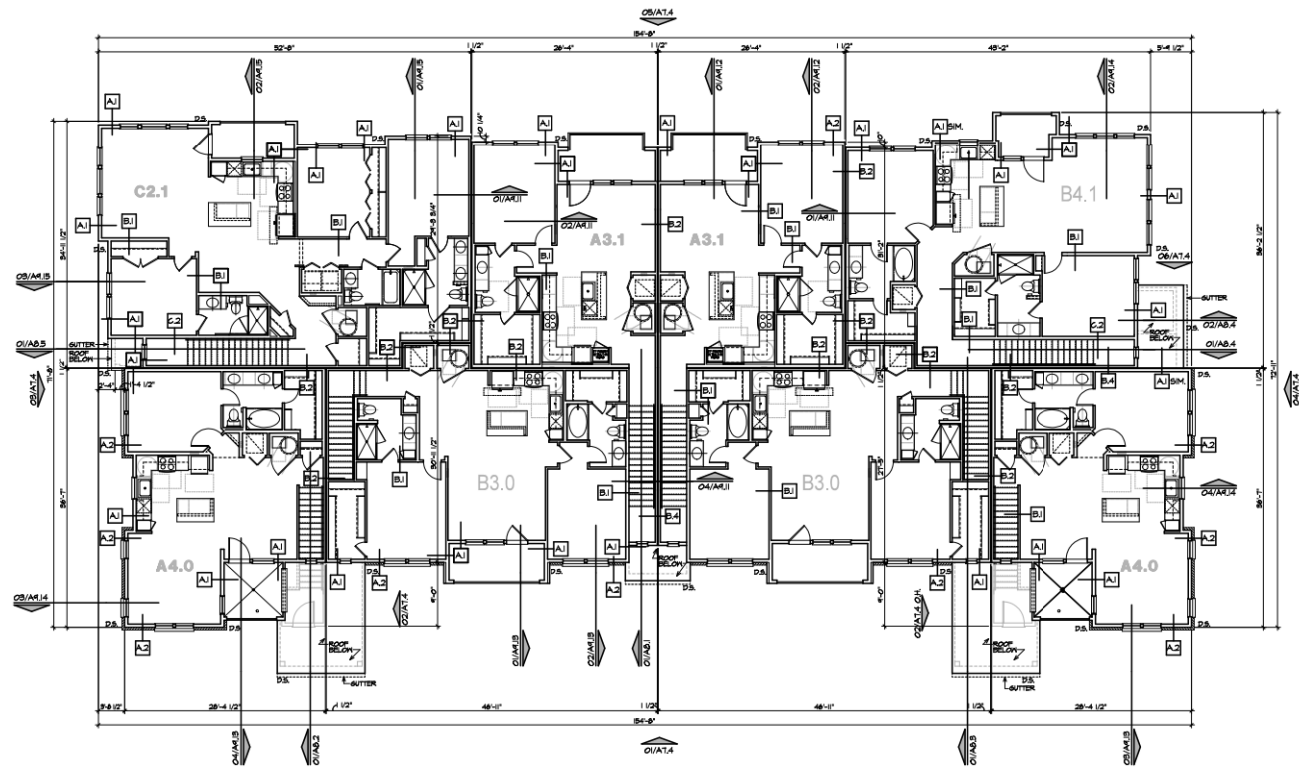
**Broomoor Eastern Hills**  
Council Bluffs, Iowa  
Broomoor Development

**Womack+Hampton**  
ARCHITECTS, L.L.C.  
428 Oak Lane, Suite 20  
Council Bluffs, IA 52801  
Phone: 319.332.9900

Sheet

Number:

**A7.1**  
**FIRST FLOOR**  
**BUILDING**  
**TYPE IV**



**02 SECOND FLOOR PLAN - BLDG TYPE IV**  
BUILDINGS #4, #10, #11 AND #12 SCALE: 1/8"=1'-0"

- NOTES:**
- 1. INDICATES CENTERLINE OF DOOR, REFER ELEVATION FOR DOOR MARK.
  - 2. INDICATES CENTERLINE OF WINDOW, REFER ELEVATION FOR WINDOW MARK.
  - 3. INDICATES CENTERLINE OF STONEFRONT, REFER ELEVATION FOR STONEFRONT MARK.
  - 4. INDICATES HALL TYPE, REFER SHEET A4U FOR HALL TYPES.

- BUILDING PLAN NOTES**
1. THESE DRAWINGS ARE TO BE USED FOR DIMENSIONAL CONTROL AND LAYOUT COORDINATION ONLY. REFER JUNIT PLANS FOR ADDITIONAL PLAN INFORMATION.
  2. REFER TO CHIEF'S CIVIL ENGINEER DRAWINGS FOR MINIMUM NUMBER OF "CODE REQUIRED" ACCESSIBLE ENTRANCES INTO ALL APARTMENT BUILDING STRUCTURES. ALL IN FLOOR UNITS ARE TO BE ACCESSIBLE AND MUST BE ON AN ACCESSIBLE ROUTE.
  3. A MODIFIED NFPA 13-R SPRINKLER SYSTEM IS TO BE PROVIDED IN ACCORDANCE WITH THE LOCAL ORDINANCES OF THE CITY OF COUNCIL BLUFFS. ORDINANCE REQUIRES SPRINKLERS TO PROVIDE FULL COVERAGE OF THE ATTICA. ALL ENCLOSURES AND PROTECT THE STRUCTURE TO THE SAME EXTENT OF COVERAGE AS WOULD BE REQUIRED UTILIZING AN NFPA 13 SYSTEM.
  4. PROVIDE FIRE SPRINKLER CONTROL ROOM AS SHOWN ON PLANS AND COORDINATE IDENTIFICATION OF THESE ROOMS ON THE BUILDING EXTERIOR WITH THE CITY.
  5. ALL BUILDINGS TO BE PROVIDED WITH A COMPLETE APPROVED FIRE ALARM SYSTEM. SYSTEM SHALL BE EQUIPPED WITH AUDIBLE AND VISUAL ALERTING DEVICES.
  6. FIRE ALARM CONTRACTOR TO SUBMIT SHOP DRAWINGS AND SPECIFICATIONS TO THE FIRE MARSHALL'S OFFICE FOR APPROVAL.
  7. PROVIDE DRY CHEMICAL FIRE EXTINGUISHERS IN CORRIDORS. COORDINATE NUMBERING AND FINAL LOCATION WITH FIRE MARSHALL.
  8. REFER STRUCTURAL ENGINEER'S DRAWINGS FOR THE SHEAR WALL LOCATIONS OF EACH BUILDING.
  9. REFER TO SHEET A4U FOR HALL TYPES.

THIS DRAWING HAS BEEN PREPARED UNDER THE DIRECT SUPERVISION OF CHAS. C. LEWIS, IOWA REGISTRATION #2005 AND IS CONSIDERED TO BE **INCOMPLETE**

Copyright: © 2024 by Womack+Hampton Architects, L.L.C. All rights reserved. This drawing and its contents are the sole property of Womack+Hampton Architects, L.L.C. and may not be reproduced in any form without written permission.

Project No. 24009

Drawn By: CL, HV, LB

ISSUE FOR PERMIT:

ISSUE FOR CONSTRUCTION:

Revisions:

**Broadmoor Eastern Hills**  
Council Bluffs, Iowa  
Broadmoor Development

**Womack+Hampton**  
ARCHITECTS, L.L.C.  
408 Oak Lane, Suite 200  
Council Bluffs, Iowa 52801  
Phone: 319.332.1800



Sheet Number:

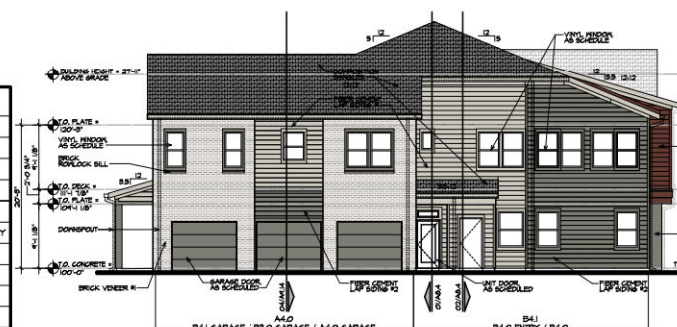
**A7.2**  
SECOND FLOOR  
BUILDING  
TYPE IV



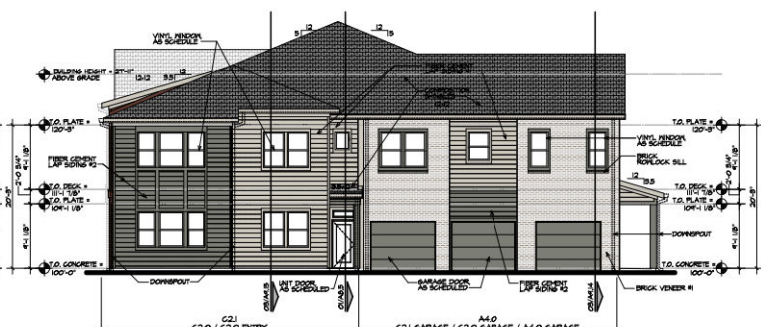


**06 PARTIAL ELEV. - SCR**  
BLDG TYPE IV - BUILDINGS #4, #10, #11 AND #12  
SCALE: 1/8"=1'-0"

**05 REAR ELEVATION**  
BLDG TYPE IV - BUILDINGS #4, #10, #11 AND #12  
SCALE: 1/8"=1'-0"



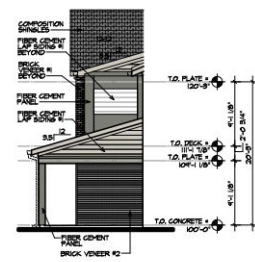
**04 RIGHT SIDE ELEVATION**  
BLDG TYPE IV - BUILDINGS #4, #10, #11 AND #12  
SCALE: 1/8"=1'-0"



**03 LEFT SIDE ELEVATION**  
BLDG TYPE IV - BUILDINGS #4, #10, #11 AND #12  
SCALE: 1/8"=1'-0"

BUILDING MATERIALS KEY	
BRICK VENEER #1	
BRICK VENEER #2	
METAL RAILINGS, DOORS, AND AWNINGS	
CORRUGATED METAL	
FIBER CEMENT PANEL	
FIBER CEMENT LAP SIDING 1	SH1024 AGREEABLE GRAY
FIBER CEMENT LAP SIDING 2	SH1060 ATTITUDE GRAY
TRIFINISHED LAP SIDING	
FIBER CEMENT TRIM 1	
FIBER CEMENT TRIM 2	
FIBER CEMENT TRIM 3	
FASCIA	

- ELEVATION NOTES**
- BRICK PATTERN SHOWN IN THESE ELEVATIONS ARE FOR GRAPHICAL PURPOSES ONLY. THESE PATTERNS SHOULD NOT BE USED TO CALCULATE HORIZONTAL COURSING. LOCATE VERTICAL MORTAR JOINTS, ETC.
  - APPROVED ADDRESS NUMBER SHALL BE POSTED ON BUILDING, VISIBLE FROM THE ROAD, IN COLORS THAT ARE OF SUFFICIENT CONTRAST TO BE EASILY SEEN.



**02 SIDE ELEVATION**  
BLDG TYPE IV - BUILDINGS #4, #10, #11 AND #12  
SCALE: 1/8"=1'-0"



**01 FRONT ELEVATION**  
BLDG TYPE IV - BUILDINGS #4, #10, #11 AND #12  
SCALE: 1/8"=1'-0"

THIS DRAWING HAS BEEN PREPARED UNDER THE DIRECT SUPERVISION OF CHANG C. LEUNG, IOWA REGISTRATION #20705 AND IS CONSIDERED TO BE **INCOMPLETE**

Copyright: © 2024 by Womack+Hampton Architects, L.L.C. All rights reserved. This drawing is the property of Womack+Hampton Architects, L.L.C. and may not be reproduced in any form without written permission.

Project No. 24009

Drawn By: CL, HV, LB

ISSUE FOR PERMIT:

ISSUE FOR CONSTRUCTION:

Revisions:

**Broadmoor Eastern Hills**  
Council Bluffs, Iowa  
Broadmoor Development

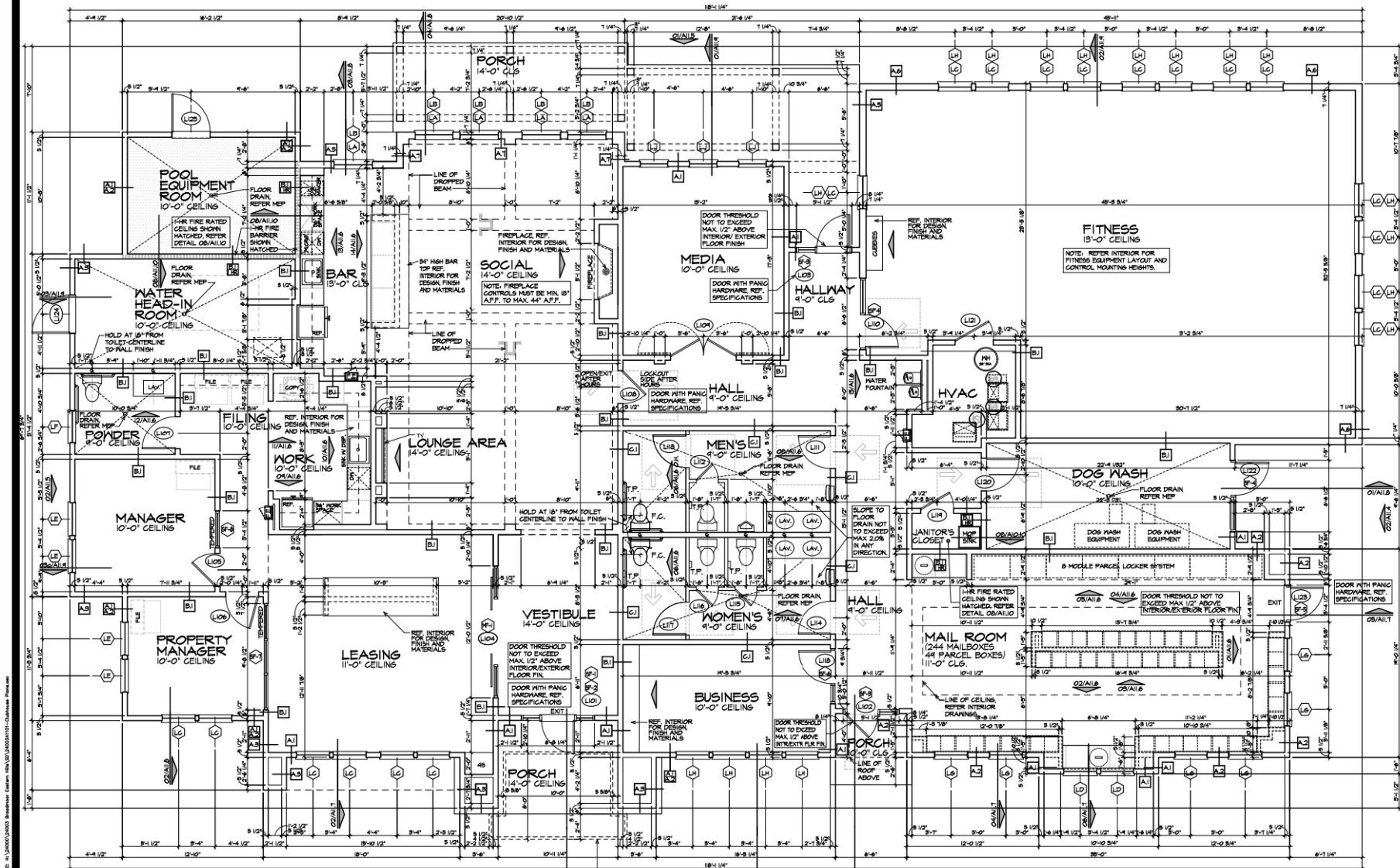
**Womack+Hampton**  
ARCHITECTS, L.L.C.  
438 Oak Lane, Suite 200  
Council Bluffs, Iowa 52801  
Phone: 319.333.2800  
Fax: 319.333.2801



Sheet Number:

**A7.4**  
BLDG TYPE IV  
EXTERIOR  
ELEVATIONS





THIS DRAWING HAS BEEN PREPARED UNDER THE DIRECT SUPERVISION OF KIM REGISTRATION #2008-00000000 AND IS CONSIDERED TO BE

**INCOMPLETE**

THIS DRAWING MAY NOT BE USED FOR REGULATORY APPROVAL, PERMIT, OR CONSTRUCTION WITHOUT THE ARCHITECT'S OFFICIAL SEAL.

Copyright:  
©2024 by Womack+Hampton Architects, L.L.C. All rights reserved. No reproduction or translation may be made of this drawing without written permission.

Project No.  
24008

Drawn By:  
CL, HV, LB

ISSUE FOR PERMIT:

ISSUE FOR CONSTRUCTION:

Revisions:

**Broadmoor Eastern Hills**  
Council Bluffs, Iowa  
Broadmoor Development

**Womack+Hampton**  
ARCHITECTS, L.L.C.  
452 Oak Lane, Suite 20  
Des Moines, Iowa 50319  
Phone: 515.281.4500  
Fax: 515.281.4505



Sheet Number:

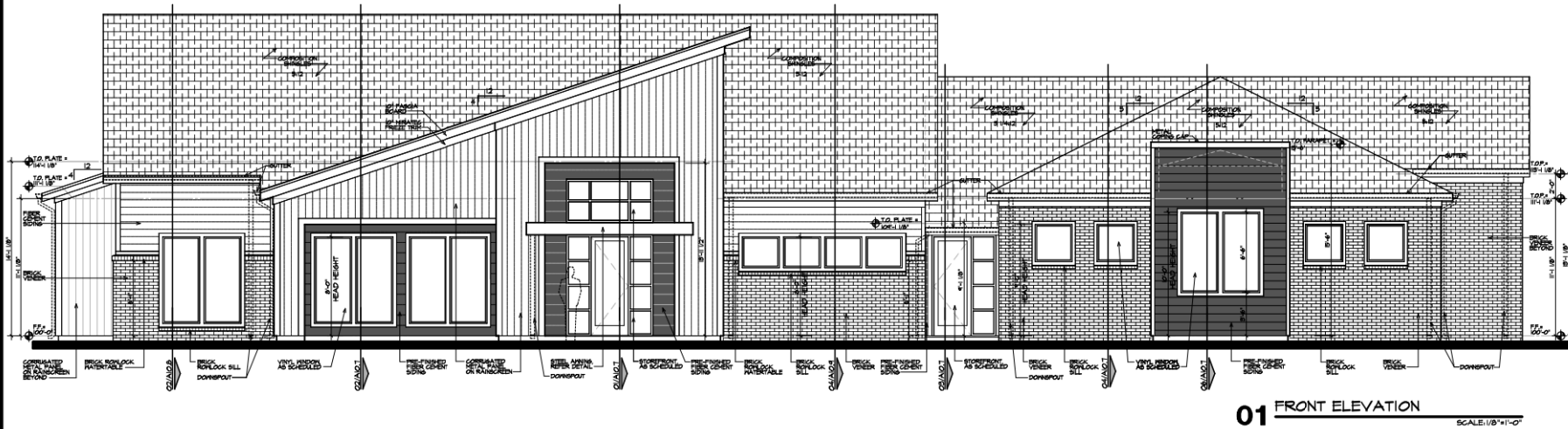
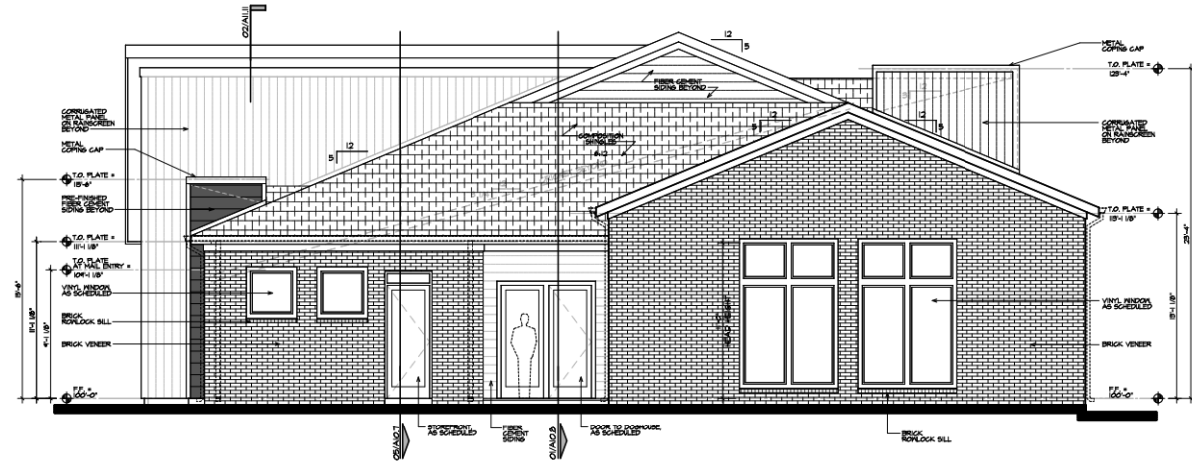
**A11.2**  
**CLUBHOUSE FLOOR PLAN**

## ELEVATION NOTES

1. BRICK PATTERN SHOWN IN THESE ELEVATIONS ARE FOR GRAPHICAL PURPOSES ONLY. THESE PATTERNS SHOULD NOT BE USED TO CALCULATE HORIZONTAL COURSINGS, LOCATE VERTICAL MORTAR JOINTS, ETC.
2. APPROVED ADDRESS NUMBER SHALL BE POSTED ON BUILDING, VISIBLE FROM THE ROAD, IN COLORS THAT ARE OF SUFFICIENT CONTRAST TO BE EASILY SEEN.

## BUILDING MATERIALS KEY

	BRICK VENEER #1
	BRICK VENEER #2
	METAL RAILING, DOORS, AND ANNINGS
	CORRUGATED METAL
	FIBER CEMENT PANEL
	FIBER CEMENT LAP SIDING 1
	FIBER CEMENT LAP SIDING 2
	PRE-FINISHED LAP SIDING
	FIBER CEMENT TRIM 1
	FIBER CEMENT TRIM 2
	FIBER CEMENT TRIM 3
	PASCIA



THIS DRAWING HAS BEEN PREPARED UNDER THE DIRECT SUPERVISION OF CHAD C. LEWIS, IOWA REGISTRATION #20055 AND IS CONSIDERED TO BE **INCOMPLETE**

Copyright: © 2024 by Womack+Hampton Architects, L.L.C. All rights reserved. No part of this drawing may be reproduced or transmitted in any form without written permission.

Project No. 240009

Drawn By: CL, HV, LB

ISSUE FOR PERMIT:

ISSUE FOR CONSTRUCTION:

Revisions:

**Broadmoor Eastern Hills**  
Council Bluffs, Iowa  
Broadmoor Development

**Womack+Hampton**  
ARCHITECTS, L.L.C.  
1000 Oak Lane, Suite 100  
Council Bluffs, Iowa 52806  
Phone: 563-321-1900



Sheet Number:

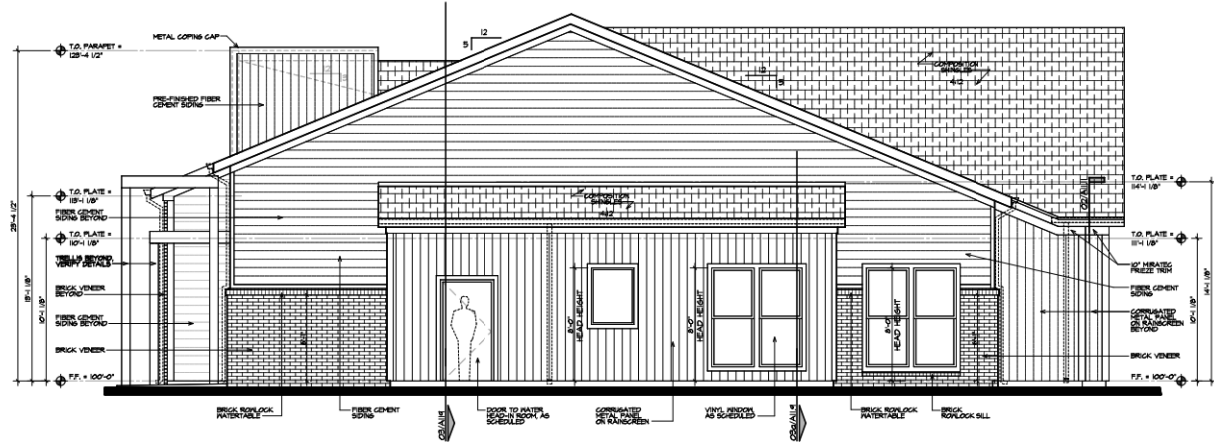
**A11.4**  
CLUBHOUSE  
EXTERIOR  
ELEVATIONS

## ELEVATION NOTES

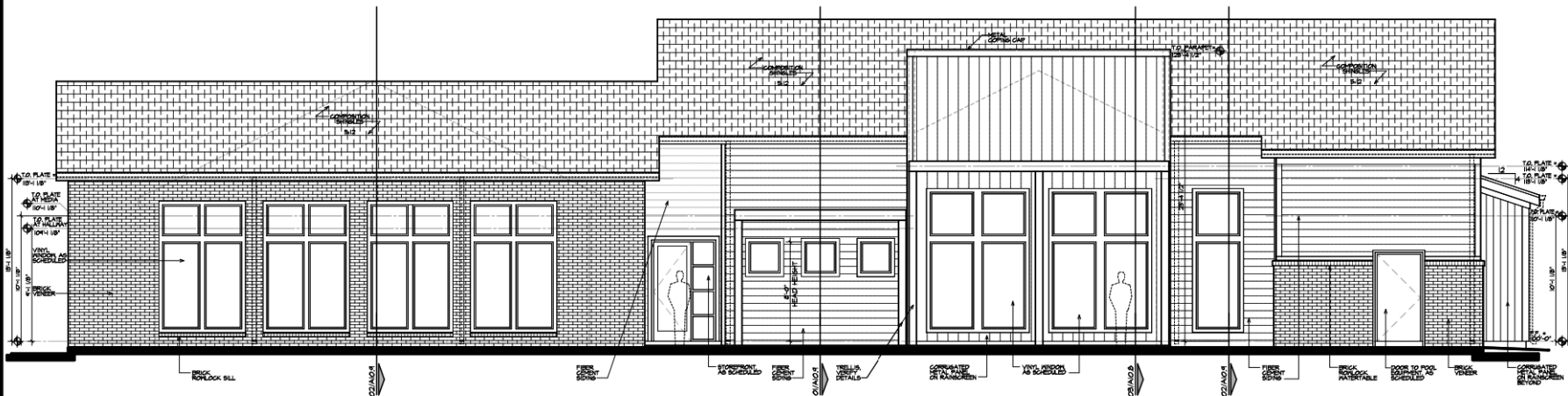
1. BRICK PATTERN SHOWN IN THESE ELEVATIONS ARE FOR GRAPHICAL PURPOSES ONLY. THESE PATTERNS SHOULD NOT BE USED TO CALCULATE HORIZONTAL COURSING, LOCATE VERTICAL MORTAR JOINTS, ETC.
2. APPROVED ADDRESS NUMBER SHALL BE POSTED ON BUILDING, VISIBLE FROM THE ROAD, IN COLORS THAT ARE OF SUFFICIENT CONTRAST TO BE EASILY SEEN.

## BUILDING MATERIALS KEY

	BRICK VENEER #1
	BRICK VENEER #2
	METAL RAILING, DOORS, AND ANNINGS
	CORRUGATED METAL
	FIBER CEMENT PANEL
	FIBER CEMENT LAP SIDING 1
	FIBER CEMENT LAP SIDING 2
	PRE-FINISHED LAP SIDING
	FIBER CEMENT TRIM 1
	FIBER CEMENT TRIM 2
	FIBER CEMENT TRIM 3
	FASCIA



**02 LEFT SIDE ELEVATION**  
SCALE: 1/8"=1'-0"



**01 REAR ELEVATION**  
SCALE: 1/8"=1'-0"

THIS DRAWING HAS BEEN PREPARED UNDER THE DIRECT SUPERVISION OF CHAD C. LEWIS, IOWA REGISTRATION #20705, AND IS CONSIDERED TO BE **INCOMPLETE**.

Copyright: ©2024 by Womack+Hampton Architects, L.L.C. All rights reserved. No part of this drawing may be reproduced or transmitted in any form without written permission.

Project No. 240009

Drawn By: CL, HV, LB

ISSUE FOR PERMIT:

ISSUE FOR CONSTRUCTION:

Revisions:

**Broadmoor Eastern Hills**  
Council Bluffs, Iowa  
Broadmoor Development

**Womack+Hampton**  
ARCHITECTS, L.L.C.  
Chad C. Lewis, AIA, LEED AP, NCARB  
Chad C. Lewis, AIA, LEED AP, NCARB  
Chad C. Lewis, AIA, LEED AP, NCARB



Sheet Number:

**A11.5**  
CLUBHOUSE  
EXTERIOR  
ELEVATIONS



April 15, 2025

Christopher Gibbons  
Community Development  
City of Council Bluffs  
209 Pearl Street, Council Bluffs, IA 51503

RE: Broadmoor Eastern Hills Apartments

Mr. Gibbons:

Attached are recent photos from Broadmoor's project at 27<sup>th</sup> and Rokeby Road in Lincoln, NE. Building Types I, II, and the Clubhouse which was used for the Lincoln project will also be used for this project at Eastern Hills. The photos are attached with this application to show examples of the finished buildings.












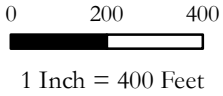


# CITY OF COUNCIL BLUFFS CASE #PR-25-002 LOCATION/ZONING MAP

## Attachment E

**Legend**

-  Council Bluffs (City Boundary)
-  PR-25-002 Subject Property
-  Parcels

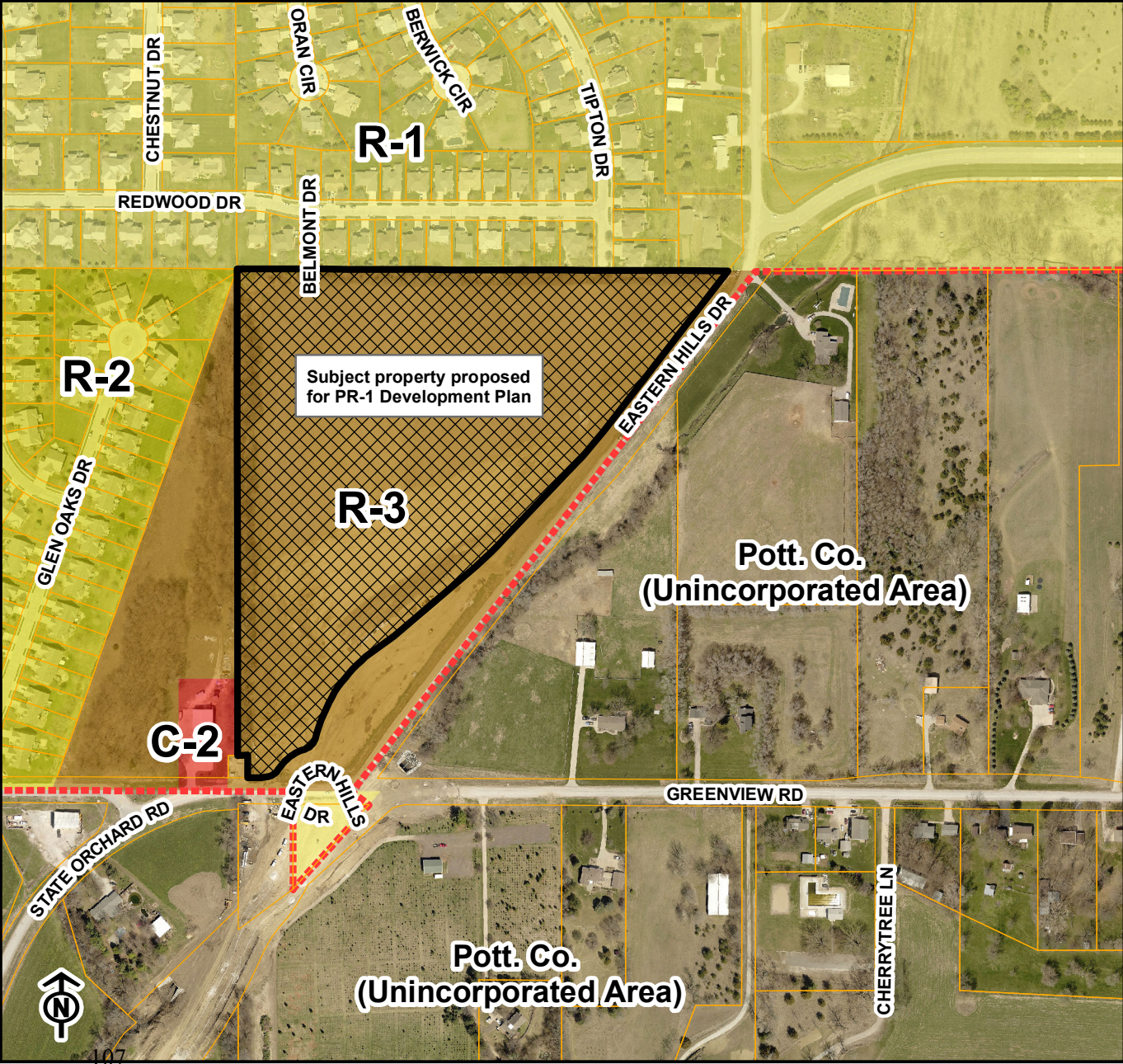


Last Amended: 4/18/25



Council Bluffs Community  
Development Department  
209 Pearl Street  
Council Bluffs, IA 51503  
Telephone: (712) 890-5350

**DISCLAIMER**  
This map is prepared and compiled from City documents, plans and other public records data. Users of this map are hereby notified that the City expressly denies any and all responsibilities for errors, if any, in the information contained on this map, the misuse of the same by the user or anyone else. The user should verify the accuracy of information/data contained on this map before using it. The City assumes no legal responsibility for the information contained on this map.





### Christopher Gibbons

---

**From:** Tyler O'Brien <tylerjobrien@gmail.com>  
**Sent:** Monday, May 5, 2025 3:11 PM  
**To:** Roger Sandau; Steven Gorman; Joe Disalvo; Jill Shudak; Matt Walsh; Courtney Harter; Christopher Gibbons; Chris Peterson  
**Subject:** Broadmoor Development

**THIS MESSAGE IS FROM AN EXTERNAL SENDER.**

Look closely at the **SENDER** address. Do not open **ATTACHMENTS** unless expected. Check for **INDICATORS** of phishing.  
Hover over **LINKS** before clicking.  
[Learn to spot a phishing message](#)

---

Dear Legacy Makers,

My wife and I have lived at 729 Redwood Drive since 2001 and unfortunately our property line abuts the proposed Broadmoor development along Eastern Hills Drive. In that time, we've seen a lot of change—some welcome, some deeply concerning.

For the past four years, Morris Excavating has openly violated city code and requests while removing dirt from the Hwy 92 Partnership land, generating daily dust clouds without consequence. Even on days they're not working the open pit covers our homes and yards with a thick layer of dust preventing any of us from enjoying our yards and patios. It's troubling that a private business and landowners can operate this way, totally unchecked.

Now we contend with Eastern Hills Drive, which functions more like a quarter-mile raceway than a "neighborhood" street. Speeding cars, often in pairs, literally race between the city park and State Orchard Drive. It's only a matter of time before a tragic accident happens at the playground.

Against this backdrop, the proposed Broadmoor apartment complex would bring even more risk and disruption. This project introduces excessive density (**14 buildings!**) into an area that has always been intended for low-density, rural-style living. It would reduce privacy, erode the safety and character of our neighborhoods and dramatically increase traffic. I don't understand why there would be a connection made to Tipton drive, especially with the elevation gain?

We are not opposed to growth, but it must be responsible and consistent with the surrounding area. Townhomes or single-family homes would make far more sense and create a natural zoning transition. Apartments belong in areas already designed for high-density use, like those proposed at Metro Crossing, not directly bordering neighborhoods like Briarwood.

There are already multiple apartment projects underway in Council Bluffs. If more apartments are truly needed on the outskirts of the city, consider reviving the original zoning plans for the Hills of Cedar Creek instead of forcing density into open space adjacent to long-standing neighborhoods where there never was a master plan like the Duggans' had with Hills of Cedar Creek.

Finally, I attended the contentious Whispering Oaks public meetings and saw firsthand how residents were dismissed by city officials, developers, and their attorneys. It was clear: public input was treated as a formality. However, it was also interesting to see the "inner workings" of how Forest Glen won their apartment zoning fight. Like Forest Glen, I hope the residents of Briarwood will be treated fairly with this project.



All of you hold the power to shape the future of our community—not just for today, but for decades to come.

We strongly urge you to reject this proposal and demand a smarter, more respectful plan for this land—one that reflects the values and scale of the neighborhood communities that surround it.

Tyler and Karol O'Brien

## Christopher Gibbons

---

**From:** Sara Faris <sara.faris1@gmail.com>  
**Sent:** Monday, May 5, 2025 12:05 PM  
**To:** Christopher Gibbons  
**Subject:** Briarwood HOA Concerns

**THIS MESSAGE IS FROM AN EXTERNAL SENDER.**

Look closely at the **SENDER** address. Do not open **ATTACHMENTS** unless expected. Check for **INDICATORS** of phishing.

Hover over **LINKS** before clicking.

[Learn to spot a phishing message](#)

I am writing on behalf of Briarwood HOA to express all HOA residents' strong opposition to the proposed development of multi-unit apartment buildings within close proximity to our neighborhood. While we recognize the importance of addressing local housing needs, this specific project poses several serious concerns that we believe would negatively impact our community's character, safety, and long-term wellbeing.

**1. Incompatibility with Established Neighborhood Character**

Our community consists of single-family homes that reflect a cohesive architectural style and quiet residential atmosphere. Placing high-density apartment complexes so close to our property line would disrupt this established identity and introduce a sharp and abrupt contrast to the neighborhood's intended design.

**2. Increased Transient Residency and Reduced Community Cohesion**

Multi-unit apartments typically see higher turnover rates, which could hinder the sense of long-term investment and neighborly connection that has been carefully cultivated in our HOA. Frequent resident changes often lead to less community accountability and involvement, weakening the social fabric of the area.

**3. Loss of Privacy and Potential Security Concerns**

The proposed buildings' height and proximity would directly compromise the privacy of adjacent homeowners. Residents could be subjected to views into their homes and backyards, along with increased activity levels directly behind their properties. This raises concerns about personal security and diminishes the peaceful environment many moved here to enjoy.

**4. Negative Impact on Property Values**

Introducing dense rental housing so close to single-family homes risks devaluing nearby properties. Prospective homebuyers may be deterred by the lack of buffer between high-density living and private residences, leading to reduced demand and potential financial loss for current homeowners.

**5. Inadequate Buffer and Poor Transition Between Zoning Types**

The proposed development fails to provide a meaningful buffer or thoughtful transition between high-density residential and low-density, owner-occupied housing. Best practices in urban planning encourage gradual zoning changes to protect the character of established communities. Without such a transition, the development risks creating conflict and diminishing the quality of life for nearby residents.

We respectfully urge the Planning and Zoning Commission to reevaluate this proposal and consider alternate locations that are more appropriately zoned or planned for high-density use. We welcome growth that aligns with thoughtful, long-term planning and protects the character and quality of life in existing neighborhoods like ours.

Thank you for your time and consideration.

Sara Faris  
Briarwood HOA Board

Christopher Gibbons

---

**From:** info <info@briarwoodcb.org>  
**Sent:** Friday, May 2, 2025 9:09 AM  
**To:** Christopher Gibbons  
**Subject:** Proposed Residential Development Plan Case #-PR-25-002

**THIS MESSAGE IS FROM AN EXTERNAL SENDER.**  
Look closely at the **SENDER** address. Do not open **ATTACHMENTS** unless expected. Check for **INDICATORS** of phishing. Hover over **LINKS** before clicking.  
[Learn to spot a phishing message](#)

---

Community Development Department  
Christopher Gibbons  
CGibbons@CouncilBluffs-IA.Gov

May 2, 2025

This letter is from the Briarwood HOA Board. We are directly north of the proposed area for the 231-unit apartment community.

Introducing dense rental housing so close to single-family homes risks devaluing nearby properties. Prospective homebuyers may be deterred by the lack of buffer between high-density living and private residences, leading to reduced demand and potential financial loss for current homeowners.

We respectfully urge the Planning and Zoning Commission to reevaluate this proposal and consider alternate locations that are more appropriately zoned or planned for high-density use. We welcome growth that aligns with thoughtful, long-term planning and protects the character and quality of life in neighborhoods like ours.

Regardless of the outcome of this decision, the city must mandate that contractors implement significantly improved measures to contain and manage the dirt associated with the project. Over recent years, as dirt was removed from the property, Briarwood Homes have consistently become covered with a persistent layer of dirt. Despite numerous attempts to address this issue through the City of CB, no adequate corrective action has been taken. Such neglect is entirely unacceptable and must not occur again. One can only imagine that city officials would be equally opposed to their own homes being subjected to years of persistent dirt coverage. At the very least, the developer must be required to keep the dirt and dust to a minimum, ensuring that residents can continue to enjoy their yards in a clean and healthy environment.

Thank you for your time and consideration.

Briarwood HOA Board



Tom Quigley  
President Briarwood HOA Board  
712.310.1102  
[Info@Briarwoodcb.org](mailto:Info@Briarwoodcb.org)

## Planning Commission Communication

Department: Community

Development

Case/Project No.: URV-25-005

Submitted by: Courtney Harter,

Director of Community

Development and Marianne Collins,

Housing & Economic Planner

CASE #URV-25-005

Council Action: 5/13/2025

### Description

Public hearing on the request of the City of Council Bluffs for Amendment #2 for the Amended and Restated Consolidated Urban Revitalization Plan by adding two additional areas to be known as Kanesville Subarea and Valley View South Subarea for properties legally described in the case staff report. Locations: Northwest corner of the intersection of Highway 6 and Hunt Avenue; and undeveloped parcels lying north of 585 Valley View Drive. URV-25-005

### Background/Discussion

See attached staff report.

### Recommendation

### ATTACHMENTS:

Description

Staff Report and Attachments A - C

Type

Staff Report

Upload Date

5/8/2025

## Planning Commission

<p>Department: Community Development</p> <p>Case No.: URV-25-005</p> <p>Submitted by: Housing &amp; Economic Development</p>	<p>Resolution No.: 25-</p>	<p>Resolution of Intent: 05/05/2025</p> <p>Planning Commission: 05/13/2025</p> <p>Public Hearing &amp; First Reading: 06/09/2025</p>
<p style="text-align: center;"><b>Subject/Title</b></p> <p>Amendment to add two additional areas, Kanesville Subarea and Valley View South Subarea to the Amended and Restated Consolidated Urban Revitalization Plan.</p>		
<p style="text-align: center;"><b>Background/Discussion</b></p> <p><u>Background</u></p> <p>Chapter 404 of the Iowa Code authorizes a City to designate an area as an urban revitalization area. Improvements to qualified real estate within designated areas may then be eligible to receive a total or partial exemption from property taxes for a specified number of years. The exemptions are intended to stimulate private investment by reducing the tax increase that would normally result from making improvements to real estate property.</p> <p>Urban revitalization tax abatement incentives can apply to residential, commercial and industrial development. Both new construction on vacant or unimproved land and rehabilitation of existing structures are eligible for tax abatement.</p> <p>Staff has prepared the Amended Consolidated Urban Revitalization Plan-Amendment #2, which includes the Kanesville Subarea and Valley View Subarea, in accordance with Chapter 404 of the Iowa Code and has scheduled the matter for City Council consideration.</p> <p><u>Discussion</u></p> <p>City Council approved the Amended and Restated Consolidated Urban Revitalization Plan April 22, 2024 with Ordinance 6603. The Consolidated Plan includes the 17 original Urban Revitalization Area Plans. City Council approved the Amended and Restated Consolidated Urban Revitalization Plan-Amendment #1 October 21, 2024 with Ordinance 6614. The Amendment added the 1<sup>st</sup> Avenue &amp; 17<sup>th</sup> Street Subarea and extended the period of abatement for new construction multi-family housing developments. Community Development is proposing adding two additional Subareas.</p> <p>Two updates are included in the Consolidated Plan - Amendment 2:</p> <ol style="list-style-type: none"> <li>1. Additional Area Added: The City is working with a developer that has plans of adding housing that would be available for rent to low and moderate income households. It is located east of interstate 80 and north of highway 6. The area is comprised of 57.43 acres, more or less, of land. If the Kanesville Subarea is approved, the project as proposed could be eligible for full exemption for 3 years or a sliding scale for 10 years from taxation.</li> <li>2. Additional Area Added: The City is working with a developer that has plans of adding a commercial building. It is located east of Valley View Drive and west of interstate 80 between Franklin Avenue and McPherson Ave. The area is comprised of 2.73 acres, more or less, of land. If the Valley view South Subarea is approved, the project as proposed could be eligible for full exemption for 3 years or a sliding scale for 10 years from taxation.</li> </ol>		

## Planning Commission

Although Chapter 404 of the Iowa Code does not specifically require review by the City Planning Commission, staff believes that such review is appropriate.

Concurrent with the adoption of an urban revitalization plan, an ordinance establishing the urban revitalization area can be considered by City Council. Upon adoption of the area, the City is permitted to grant tax abatement to qualified projects. Staff specifically asks that the Commission consider the following:

- The proposed Kanesville Subarea and the Valley View South subarea furthers the goals of the City's Comprehensive Plan.
- The Kanesville Subarea and Valley View South Subarea are areas appropriate for urban revitalization designation as specified in Iowa Code Section 404.1.4, which discusses an area which is appropriate as an economic development area as defined in section 403.17. Provides that "economic development area" means an area of a municipality designated by the local governing body as appropriate for commercial and industrial enterprises or housing and residential development for low and moderate income families, including single or multi-family housing.

### **Recommendation**

The Community Development Department recommends approval to add additional area, Kanesville Subarea and Valley View South Subarea to the Amended and Restated Consolidated Urban Revitalization Plan.

### **Attachments**

Attachment A – Draft of the Amended and Restated Consolidated Urban Revitalization Plan

Attachment B – Boundary Map for Kanesville Subarea

Attachment C – Boundary Map for Valley View South Subarea

Prepared by: Marianne Collins, Community Development Housing & Economic Planner, Community Development Department  
Submitted by: Courtney Harter, Housing & Economic Development Director, Community Development Department



AMENDMENT NO. 2  
TO THE  
AMENDED AND RESTATED  
CONSOLIDATED URBAN REVITALIZATION PLAN  
FOR THE  
CITY OF COUNCIL BLUFFS, IOWA

INTRODUCTION

The Urban Revitalization Act, Chapter 404 of the *Code of Iowa*, is intended to encourage development, redevelopment, and revitalization within a designated area of a city by authorizing property tax development incentives to the private sector. Qualified real estate within a designated area may be eligible to receive a total or partial exemption from property taxes on improvements for a specified number of years. The primary intent of this act is to provide communities with a long-term increase or stabilization in their tax base by encouraging rehabilitation or new construction which might not otherwise have occurred.

In October 2024, the City Council of the City of Council Bluffs, Iowa (the “City”) adopted the Amended and Restated Consolidated Urban Revitalization Plan (the “Amended and Restated Plan” or “Plan”) Amendment No. 1 to add the 1<sup>st</sup> Avenue and 17<sup>th</sup> Street area to the previously adopted Amended and Restated Consolidated Urban Revitalization Plan. The various revitalization areas that now comprise the subareas of the Revitalization Area, and their corresponding original designating ordinances, are:

- 1<sup>st</sup> Avenue Urban Revitalization Area – Ordinance No. 6177
- 5<sup>th</sup> and West Broadway Urban Revitalization Area – Ordinance No. 6411
- 14<sup>th</sup> Avenue Urban Revitalization Area – Ordinance No. 6412
- 16<sup>th</sup> Avenue Urban Revitalization Area – Ordinance No. 6479
- 21<sup>st</sup> Avenue Urban Revitalization Area – Ordinance No. 6495
- American Games Urban Revitalization Area – Ordinance No. 6476
- Black Squirrel Flats Urban Revitalization Area – Ordinance No. 6532
- Bluffs Northway Urban Revitalization Area – Ordinance No. 6281
- College Road Urban Revitalization Area – Ordinance No. 6310
- Council Pointe Road Urban Revitalization Area – Ordinance No. 6326
- Mid-America Urban Revitalization Area – Ordinance No. 6469
- River Road Urban Revitalization Area – Ordinance No. 6464
- South Pointe Urban Revitalization Area – Ordinance No. 6375
- Valley View Urban Revitalization Area – Ordinance No. 6289
- Veterans Memorial Highway Urban Revitalization Area – Ordinance No. 6409
- Whispering Oaks Urban Revitalization Area – Ordinance No. 6533
- South Expressway Subarea, designated in connection with adoption of the Amended and Restated Plan – Ordinance No. 6603
- 1<sup>st</sup> Avenue and 17<sup>th</sup> Street Subarea, designated in connection with adoption of the Amended and Restated Plan Amendment No. 1 – Ordinance No. 6614

The corresponding legal descriptions that now comprise the subareas of the Amended and Restated Consolidated Urban Revitalization Area are attached as Exhibit A.

#### AMENDMENT TO PLAN – NEW SUBAREA - KANESVILLE

With the adoption of this Amendment No. 2 to the Amended and Restated Consolidated Urban Revitalization Plan (the “Amendment”), the City is designating additional land as a new subarea of the Revitalization Area. The first new subarea is legally described and depicted in Exhibit B, attached hereto and incorporated by this reference. The new subarea will be known as the Kanesville Subarea of the Revitalization Area.

The City is designating the Kanesville Subarea of the Revitalization Area as a revitalization area meeting the criteria of Iowa Code Sections 404.1(4) and Section 404.1(5).

Existing zoning classifications of the property within the Kanesville Subarea is Agricultural. Existing land use within the subarea is consistent with these zoning classifications. New development that remains consistent with the City’s zoning ordinance is proposed for the subarea.

A listing of the names and addresses of the owners of record for the real estate within the Kanesville Subarea, as well as the assessed valuations stated separately for land and buildings for the real estate, as of the date of this Amendment is attached as Exhibit C.

#### AMENDMENT TO PLAN – NEW SUBAREA – VALLEY VIEW SOUTH

With the adoption of this Amendment No. 2 to the Amended and Restated Consolidated Urban Revitalization Plan (the “Amendment”), the City is designating additional land as a new subarea of the Revitalization Area. The second new subarea is legally described and depicted in Exhibit D, attached hereto and incorporated by this reference. The new subarea will be known as the Valley View South Subarea of the Revitalization Area.

The City is designating the Valley View South Subarea of the Revitalization Area as a revitalization area meeting the criteria of Iowa Code Sections 404.1(4) and Section 404.1(5).

Existing zoning classifications of the property within the Valley View South Subarea is Residential with a planned residential overlay. Existing land use within the subarea is consistent with these zoning classifications. New development that remains consistent with the City’s zoning ordinance is proposed for the subarea.

A listing of the names and addresses of the owners of record for the real estate within the Valley View South Subarea, as well as the assessed valuations stated separately for land and buildings for the real estate, as of the date of this Amendment is attached as Exhibit E.

## EFFECTIVE DATE AND SEVERABILITY

This Amendment shall be effective upon the approval of a resolution by the City Council adopting the Amendment.

Applications submitted following the Amendment's effective date shall be eligible to apply only for those exemptions contained in the Amended and Restated Plan, as amended by this Amendment, subject to the terms of the Plan. All previously awarded exemptions shall continue until their expiration.

Except as modified by this Amendment, the provisions of the Amended and Restated Plan are hereby ratified, confirmed, and approved and shall remain in full force and effect as provided herein. In case of any conflict or uncertainty, the terms of this Amendment shall control. Any subsections of the Amended and Restated Plan not mentioned in this Amendment shall continue to apply to the Plan.

If any part of this Amendment is determined to be invalid or unconstitutional, such invalidity or unconstitutionality shall not affect the validity of the Amended and Restated Plan or the Amendment as a whole, or any part of Amended and Restated Plan or the Amendment not determined to be invalid or unconstitutional.

## EXHIBIT A

### SUBAREAS OF REVITALIZATION AREA – LEGAL DESCRIPTIONS

#### Whispering Oaks Urban Revitalization Area

A PART OF THE SW 1/4 OF THE NW 1/4 OF SECTION 4, TOWNSHIP 74 NORTH, RANGE 43 WEST OF THE 5TH PRINCIPAL MERIDIAN, AND ALSO TOGETHER WITH PART OF THE SE 1/4 OF THE NE 1/4 OF SECTION 5, SAID TOWNSHIP 74 NORTH, RANGE 43 WEST OF THE 5TH PRINCIPAL MERIDIAN; ALL LOCATED IN POTTAWATTAMIE COUNTY, COUNCIL BLUFFS, IOWA, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE EAST 1/4 CORNER OF SECTION 5, TOWNSHIP 74N, RANGE 43 WEST; THENCE N1°06'10"E (ASSUMED BEARING), 53.00 FEET TO THE POINT OF BEGINNING; THENCE N88°28'13"W A DISTANCE OF 351.12 FEET TO A POINT ON THE EAST RIGHT-OF-WAY LINE OF FOREST GLEN DRIVE; THENCE NORTHERLY ALONG SAID EAST RIGHT-OF-WAY LINE OF FOREST GLEN DRIVE ON THE FOLLOWING DESCRIBED COURSES: THENCE N1°20'57"E, A DISTANCE OF 433.34 FEET; THENCE N88°16'18"W, A DISTANCE OF 15.99 FEET; THENCE N1°31'50"E, A DISTANCE OF 313.54 FEET TO THE SOUTHWEST CORNER OF LOT 106, WHISPERING OAKS; THENCE S88°34'04"E, A DISTANCE

OF 56.87 FEET ALONG THE SOUTH LINE OF LOT 106, WHISPERING OAKS TO THE NORTHWEST CORNER OF A TRACT OF LAND DESCRIBED IN BOOK 2017 PAGE 2889; THENCE S88°28'13"E, A DISTANCE OF 306.04 FEET ALONG THE SOUTH LINE OF LOT 106 & SOUTH LINE OF OUTLOT A, WHISPERING OAKS TO A POINT AT THE INTERSECTION OF THE SOUTH LINE OF OUTLOT A & THE EAST LINE OF A TRACT OF LAND DESCRIBED IN BOOK 2017 PAGE 2889; THENCE S88°15'01"E, A DISTANCE OF 562.24 FEET ALONG THE SOUTH LINE OF OUTLOT A, & LOTS 87-90 WHISPERING OAKS TO THE SOUTHEAST CORNER OF LOT 87 WHISPERING OAKS; THENCE S88°15'01"E, A DISTANCE OF 714.76 FEET; THENCE S88°15'01"E, A DISTANCE OF 17.46, TO THE WEST RIGHT OF WAY LINE OF FRANKLIN AVENUE; THENCE S1°43'39"W, A DISTANCE OF 747.00 FEET ALONG SAID WEST RIGHT-OF-WAY LINE OF FRANKLIN AVENUE; THENCE N88°15'01"W DISTANCE OF 1,086.30 FEET TO THE EAST LINE OF A PARCEL BOOK 87, PAGE 22729; THENCE N01°06'10"E ALONG SAID EAST LINE OF SAID PARCEL BOOK 87, PAGE 22729, A DISTANCE OF 180.01 FEET TO THE NORTHEAST CORNER OF SAID PARCEL BOOK 87, PAGE 22729; THENCE N88°15'01"W ALONG THE NORTH LINE OF SAID PARCEL, B00K 87, PAGE 22729 A DISTANCE OF 200.00 FEET; THENCE S1°06'10"W ALONG SAID PARCEL BOOK 87, PAGE 22729, A DISTANCE OF 180.01 FEET TO THE POINT OF BEGINNING. SAID TRACT OF LAND CONTAINS 1,193,878.13 SQ.FT. OR 27.40 ACRES MORE OR LESS

South Pointe Urban Revitalization Area

A PARCEL OF LAND BEING ALL OF ROGERS AUTO SUBDIVISION, SOUTH POINTE SUBDIVISION, SOUTH POINTE SUBDIVISION REPLAT 1, SOUTH POINTE SUBDIVISION REPLAT 2, SOUTH POINT SUBDIVISION PHASE 2, SOUTH 24TH AND HIGHWAY 275 INDUSTRIAL AND A PORTION OF THE SOUTHEAST QUARTER OF SECTION 10, THE WEST HALF OF THE SOUTHWEST QUARTER OF SECTION 11, SECTION 14, GOVERNMENT LOT 1 TO SAID SECTION 14 AND A PORTION OF THE EAST HALF OF SECTION 15, ALL IN TOWNSHIP 74 NORTH, RANGE 44 WEST OF THE 5TH PRINCIPAL MERIDIAN, CITY OF COUNCIL BLUFFS, POTTAWATTAMIE COUNTY, IOWA, BEING MORE FULLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE CENTER OF SAID SECTION 10, SAID CENTER BEING ON THE SOUTH RIGHT-OF-WAY LINE OF RICHARD DOWNING AVENUE; THENCE EASTERLY ON SAID SOUTH RIGHT-OF-WAY LINE, 2,730 FEET MORE OR LESS TO A POINT ON THE WESTERLY RIGHT-OF-WAY LINE OF SOUTH 24TH STREET; THENCE SOUTHERLY ON SAID WESTERLY RIGHT-OF-WAY LINE, 2,329 FEET MORE OR LESS TO A POINT ON THE NORTHERLY RIGHT-OF-WAY LINE OF



VETERANS MEMORIAL HIGHWAY; THENCE WESTERLY ON SAID NORTHERLY RIGHT-OF-WAY LINE, 197 FEET MORE OR LESS TO A POINT ON THE EASTERLY LINE OF SAID SECTION 10; THENCE SOUTHERLY ON SAID EASTERLY LINE AND ON IT'S SOUTHERLY PROLONGATION, 390 FEET MORE OR LESS TO A POINT ON THE SOUTHERLY RIGHT-OF-WAY LINE OF SAID VETERANS MEMORIAL HIGHWAY; THENCE EASTERLY ON SAID SOUTHERLY RIGHT-OF-WAY LINE, 2,760 FEET MORE OR LESS TO THE NORTHEAST CORNER OF SAID SOUTH POINTE SUBDIVISION REPLAT 2; THENCE SOUTHERLY ON THE EAST LINE OF SAID SOUTH POINTE SUBDIVISION REPLAT 2, 1,246 FEET MORE OR LESS TO THE NORTHEAST CORNER OF SAID SOUTH POINTE SUBDIVISION REPLAT 1; THENCE SOUTHERLY ON THE EAST LINE OF SAID SOUTH POINTE SUBDIVISION REPLAT 1, 533 FEET MORE OR LESS TO A POINT ON THE NORTH LINE OF SAID SOUTH POINTE SUBDIVISION PHASE 2; THENCE EASTERLY ON SAID NORTH LINE, 110 FEET MORE OR LESS TO THE NORTHEAST CORNER OF SAID SOUTH POINTE SUBDIVISION PHASE 2, SAID NORTHEAST CORNER ALSO BEING ON THE WESTERLY RIGHT-OF-WAY LINE OF INDIAN CREEK; THENCE SOUTHWESTERLY ON THE EAST LINE OF SAID SOUTH POINTE SUBDIVISION PHASE 2 AND ON SAID WESTERLY RIGHT-OF-WAY LINE, 2,742 FEET MORE OR LESS TO THE SOUTHEAST CORNER OF LOT 5 IN SAID SOUTH POINTE SUBDIVISION PHASE 2; THENCE WESTERLY ON THE SOUTH LINE OF SAID LOT 5, 149 FEET MORE OR LESS TO A POINT ON THE EASTERLY RIGHT-OF-WAY LINE OF GIFFORD ROAD; THENCE NORTHWESTERLY ON SAID EASTERLY RIGHT-OF-WAY LINE, 1,420 FEET MORE OR LESS TO A POINT ON THE NORTHERLY RIGHT-OF-WAY LINE OF GIFFORD ROAD; THENCE WESTERLY ON SAID NORTHERLY RIGHT-OF-WAY LINE, 1,209 FEET MORE OR LESS; THENCE SOUTHWESTERLY, 1,883 FEET MORE OR LESS TO A POINT ON THE MISSOURI RIVER MEANDER LINE; THENCE SOUTHWESTERLY ON SAID MISSOURI RIVER MEANDER LINE, 1,174 FEET MORE OR LESS TO A POINT ON THE EAST LINE OF SAID SECTION 15; THENCE NORTHERLY ON SAID EAST LINE, 802 FEET MORE OR LESS; THENCE WESTERLY, 631 FEET MORE OR LESS; THENCE NORTHWESTERLY, 2,019 FEET MORE OR LESS TO A POINT ON THE EAST-WEST CENTERLINE OF SAID SECTION 15; THENCE WESTERLY ON SAID EAST-WEST CENTERLINE, 1,322 FEET MORE OR LESS TO A POINT ON THE EAST LINE OF GATEWAY SUBDIVISION IN SAID CITY OF COUNCIL BLUFFS; THENCE NORTHERLY ON SAID EAST LINE, 1,256 FEET MORE OR LESS TO A POINT ON THE SOUTHERLY RIGHT-OF-WAY LINE OF SAID VETERANS MEMORIAL HIGHWAY; THENCE NORTHEASTERLY ON SAID SOUTH RIGHT-OF-WAY LINE, 1,355 FEET MORE OR LESS TO A POINT ON THE SOUTHERLY PROLONGATION OF THE NORTH-SOUTH CENTERLINE OF SAID SOUTHEAST QUARTER OF SECTION 10; THENCE NORTHERLY ON SAID SOUTHERLY PROLONGATION AND ON SAID NORTH-SOUTH CENTER, 2,480 FEET MORE OR LESS; THENCE WESTERLY, 1,315 FEET MORE OR LESS TO A POINT ON THE

WEST LINE OF SAID SOUTHEAST QUARTER; THENCE NORTHERLY ON SAID WEST LINE, 998 FEET MORE OR LESS TO THE POINT OF BEGINNING.

SAID PARCEL CONTAINS AN AREA OF 500 ACRES, MORE OR LESS.

Valley View Urban Revitalization Area

Lot 3 of New Horizon Subdivision, City of Council Bluffs, Pottawattamie County, Iowa

Veterans Memorial Highway Urban Revitalization Area

The North 660 feet of the NE  $\frac{1}{4}$  SW  $\frac{1}{4}$  SW  $\frac{1}{4}$  of Section 12-74-44, except the West 250 feet, and the West 16.5 feet of the South 20 feet north of the highway in the SE  $\frac{1}{4}$  SW  $\frac{1}{4}$  of Section 12-74-44 and commencing at a point 660 feet East of the NW corner of the SW  $\frac{1}{4}$  of the SW quarter of section 12, thence South 660 feet, thence East 250 feet, thence North 660 feet, thence West 250 feet to the place of beginning, subject to right of ways of public highway City of Council Bluffs, Pottawattamie County, Iowa

College Road Urban Revitalization Area

Proposed Lots 1-4, New Horizon Subdivision, Replat Two, City of Council Bluffs, Pottawattamie County, Iowa

Council Pointe Road Urban Revitalization Area

Lot 1, Fox Run Landing, Replat Three, City of Council Bluffs, Pottawattamie County, Iowa.

Lot 116, Fox Run Landing, except the northwest corner dedicated to City right-of-way, along with northerly part of Lot 117 commencing at the southeast corner of said Lot 116, thence North 469.54 feet, thence Northeasterly 885.29 feet, thence South 787.74 feet, and thence West 806.06 feet back to the point of beginning, all in the City of Council Bluffs, Pottawattamie County, Iowa

Mid-America Urban Revitalization Area

A PARCEL OF LAND BEING ALL OF BASS PRO SUBDIVISION, BLUFFS VISION SUBDIVISION, BLUFFS VISION SUBDIVISION REPLAT 1, BLUFFS VISION 4 SUBDIVISION, BLUFFS VISION 4 SUBDIVISION REPLAT 1, HORSESHOE SUBDIVISION, HOTEL PLAZA AT THE MAC, HOTEL PLAZA AT THE MAC REPLAT 1, INRIP SUBDIVISION TRACT NO 1 1<sup>st</sup> ADDITION, MORRIS SUBDIVISION, MORRIS SUBDIVISION REPLAT 1, PLAZA AT MARCC, SAPP BROS TRAVEL CENTER, A PORTION OF RAILROAD ADDITION, A PORTION OF THE SOUTH HALF OF SECTION 03 AND A PORTION OF GOVERNMENT LOTS 2 AND 3 IN SECTION 04, ALL IN TOWNSHIP 74 NORTH, RANGE 44 WEST OF THE 5<sup>th</sup> PRINCIPAL MERIDIAN, CITY OF COUNCIL BLUFFS, POTTAWATTAMIE COUNTY, IOWA, BEING MORE FULLY DESCRIBED AS FOLLOW:

BEGINNING AT THE NORTHEAST CORNER OF SAID SAPP BROS TRAVEL CENTER, SAID NORTHEAST CORNER ALSO BEING ON THE WEST RIGHT-OF-WAY LINE OF SOUTH 24<sup>th</sup> STREET;

THENCE SOUTH ON SAID WEST RIGHT-OF-WAY LINE, 726 FEET MORE OR LESS TO A POINT ON THE NORTHERLY RIGHT-OF-WAY LINE OF MID-AMERICAN DRIVE;

THENCE ON SAID NORTHERLY RIGHT-OF-WAY LINE THE FOLLOWING THREE (3) COURSES:

- 1 WESTERLY, 352 FEET MORE OR LESS;
- 2 SOUTHWESTERLY, 1,272 FEET MORE OR LESS;
- 3 WESTERLY AND WESTERLY ON THE WESTERLY PROLONGATION, 2,382 FEET MORE OR LESS TO A POINT ON THE EASTERLY RIGHT-OF-WAY LINE OF INTERSTATE 29;

THENCE NORTHWESTERLY ON SAID EASTERLY RIGHT-OF-WAY LINE, 3,909 FEET MORE OR LESS TO A POINT ON THE SOUTHWESTERLY PROLONGATION OF THE NORTH LINE OF SAID INRIP SUBDIVISION TRACT NO 1 1<sup>st</sup> ADDITION;

THENCE NORTHEASTERLY ON SAID WESTERLY PROLONGATION AND ON SAID LINE, 942 FEET MORE OR LESS TO A POINT ON THE SOUTHWESTERLY RIGHT-OF-WAY LINE OF SOUTH 35<sup>th</sup> STREET;

THENCE SOUTHEASTERLY ON SAID SOUTHWESTERLY RIGHT-OF-WAY LINE AND SOUTHEASTERLY ON IT'S SOUTHEASTERLY PROLONGATION, 1,073 FEET MORE OR LESS TO A POINT ON THE SOUTHERLY RIGHT-OF-WAY LINE OF 23<sup>rd</sup> AVENUE;

THENCE EASTERLY ON SAID SOUTHERLY RIGHT-OF-WAY LINE, 4,982 FEET MORE OR LESS TO A POINT ON THE WESTERLY RIGHT-OF-WAY LINE OF SAID SOUTH 24<sup>th</sup> STREET;

THENCE SOUTH ON SAID WESTERLY RIGHT-OF-WAY, 610 FEET MORE OR LESS TO THE POINT OF BEGINNING.

SAID PARCEL CONTAINS AN AREA OF 285 ACRES, MORE OR LESS.

River Road Urban Revitalization Area

Lot 1, River Road Subdivision, City of Council Bluffs, Pottawattamie County, Iowa

American Games Urban Revitalization Area

Lot 3, Pollard Games Addition, City of Council Bluffs, Pottawattamie County, Iowa

Black Squirrel Flats Urban Revitalization Area

Lot 1, Black Squirrel Flats Subdivision, City of Council Bluffs, Pottawattamie County, Iowa

Bluffs Northway Urban Revitalization Area

Lots 2 and 3, Walmart Bluffs Northway Subdivision, City of Council Bluffs, Pottawattamie County, Iowa

Lots 10 through 18 and the east/west alley abutting Belmont Addition along with the Canadian National Railway right-of-way abutting on the north and Avenue P right-of-way abutting on the south; Lots 33 through 37 and the North ½ vacated alley abutting and Lots 56 through 61 and the South ½ vacated alley abutting Belmont Addition along with Avenue O right-of-way abutting on the south; Lots 79 through 83 and the North ½ vacated alley abutting and Lots 102 through 106 and the South ½ vacated alley abutting Belmont Addition, City of Council Bluffs, Pottawattamie County, Iowa



### 16<sup>th</sup> Avenue Urban Revitalization Area

A parcel of land situated in the North Half (N1/2) of Section 2, Township 74 North, Range 44 West and the Southeast Quarter of the Southwest Quarter (SE1/4 SW1/4) of Section 35, Township 75 North, Range 44 West of the Fifth Principal Meridian, City of Council Bluffs, Pottawattamie County, State of Iowa, according to an official plat of said land filed in the District Land Office, bounded and described as follows: Beginning at a point on the North-South centerline of said Section 2, from which point the center of said section bears South, 264.98 feet; thence North 89 degrees 50 minutes 17 seconds East, 200.00 feet; thence North 00 degrees 00 minutes 17 sections East, 2150.79 feet to the south line of 16<sup>th</sup> Avenue; thence along said south line South 89 degrees 30 minutes 12 seconds West, 200.0 feet to a point on said North-South centerline of said Section 2; thence along said North-South centerline North 20.90 feet to the north quarter corner of said Section 2; thence along the North-South centerline of said Section 35, North 00 degrees 21 minutes 09 seconds West, 60.0 feet to a point on the north line of 16<sup>th</sup> Avenue, said point also being the southwest corner of Lot 12, Block 36, Fleming and Davis addition; thence South 89 degrees 38 minutes 51 seconds West, 16.0 feet; thence North 00 degrees 21 minutes 09 seconds West, 646.37 feet to a point on the south line of 14<sup>th</sup> Avenue prolonged, said point being South 89 degrees 38 minutes 53 seconds West, 16.0 feet from the northwest corner of Lot 1, Block 29, Fleming and Davis Addition; thence South 89 degrees 38 minutes 53 seconds West, 379.00 feet; thence South 75 degrees 42 minutes 26 seconds West, 399.46 feet; thence South 82 degrees 12 minutes 26 seconds West, 126.58 feet; thence South 21 degrees 28 minutes 31 seconds East, 2490.70 feet to a point on the North-South centerline of said Section 2; thence along said North-South centerline, South 441.28 feet to the Point of Beginning. Containing an area of 1,548,471 square feet, more or less, or 35.548 acres, more or less.

AND

A parcel of land legally described as being the East 16 feet of the South 686 feet, except the South 178 feet of the North 323 feet, all in the SE1/4 SW1/4 of Section 35-75-44, City of Council Bluffs, Pottawattamie County, Iowa. Said parcel of land contains an area of 8,276 square feet more or less, or .19 acres, more or less.

### 21<sup>st</sup> Avenue Urban Revitalization Area

Lots 9, 10, 18, 19, 20, 21 and 22, a portion of Lots 7, 8, 11, 12, 13, 16, 17, 23, 24 and 25 in Block 14, a portion of Lots 16, 17, 18 and 19 in Block 19, all of the vacated alley's in said Block 14 and all of vacated 22nd Avenue right-of-way lying within the following described parcel, all in Hughes and Doniphan's Addition, City of Council Bluffs, Pottawattamie County, Iowa

*And*

Lots 14 and 15 and that part of Lot 13 in Block 14, Hughes and Doniphan's Addition to the City of Council Bluffs, Pottawattamie County, Iowa, all lying Southwest of the former Wabash Railroad Right-of-Way (now Southside Trail Bike Trail Right-of-Way) AND That part of the vacated north/south alley lying north of the north right-of-way line of 22nd Avenue and south of the southerly right-of-way of the former Wabash Railroad (now Southside Trail Bike Trail) AND The North 1/2 of vacated 22nd Avenue lying between the east right-of-way line of South 6th Street and southwesterly right-of-way line of Southside Trail Bike Trail.

#### 14<sup>th</sup> Avenue Urban Revitalization Area

Lots 16-30, Block 37, Brown's Subdivision, Council Bluffs, Pottawattamie County, Iowa

#### 5<sup>th</sup> and West Broadway Urban Revitalization Area

The portion of Block 6, Mynster's Addition Southeast of the right-of-way of Kanesville Boulevard; The portion of Lots C and D, Auditor's Subdivision of Block 6 Mynster's Addition and Block 2 Bayliss 1st Addition located Southeast of the right-of-way of Kanesville Boulevard, and the entirety of the alleyway adjacent to Lot D; Lots E-P, Auditor's Subdivision of Block 6 Mynster's Addition and Block 2 Bayliss 1st Addition, and the vacated alley adjacent to Lot N; Lot 5, Block 2, Bayliss Addition to Council Bluffs, Pottawattamie County, Iowa;

And:

Lots 1-13, Auditor's Subdivision of Lot 5, Block 5 Mynster's Addition and Block 1, Bayliss 1st Addition, and the alleyway adjacent; Lot 2 excluding City right-of-way, Lots 3 and 4, and Lots 6-10, Mynster's Addition, all in the City of Council Bluffs, Pottawattamie County, Iowa.

#### 1<sup>st</sup> Avenue Urban Revitalization Area

Lots 1-5 and 9-16, Block 6, Bayliss First Addition, City of Council Bluffs, Pottawattamie County, Iowa

South Expressway Subarea of Revitalization Area

Lots 5, 6, 7, 8, 16, 17 and all of Lot 4 except the North 3.5 feet, Country Club Acres, City of Council Bluffs, Pottawattamie County, Iowa.

1<sup>st</sup> Avenue & 17<sup>th</sup> Street Subarea of Revitalization Area

Lots 1-8, Block 4, Everetts Addition along with Lots 1-8, Block 26, Beer's Subdivision and the vacated east/west alley adjacent, City of Council Bluffs, Pottawattamie County, Iowa.

## EXHIBIT B

### LEGAL DESCRIPTION AND MAP OF NEW SUBAREA

A tract of land located in part of Lot 1, Auditor's Subdivision of the SW  $\frac{1}{4}$  NW  $\frac{1}{4}$ ; part of the SE  $\frac{1}{4}$  NW  $\frac{1}{4}$ ; part of Lots 1, 2 and 3, Auditor's Subdivision of the NW  $\frac{1}{4}$  SW  $\frac{1}{4}$ ; and part of the NE  $\frac{1}{4}$  SW  $\frac{1}{4}$ , all located in Section 22, Township 75 North, Range 43 West of the 5<sup>th</sup> Principal Meridian, City of Council Bluffs, Pottawattamie County, Iowa.



EXHIBIT C  
INFORMATION CONCERNING KANESVILLE SUBAREA

Current Tax Parcel Number	Name of Property Owner	Address of Record for Property Owner	Current Assessed Value – Land Value	Current Assessed Value – Improvement Value
754322100006	KCI Council Bluffs Land LLC	14747 N. Northsight Blvd, Ste # 111-431 Scottsdale, AZ 85260	\$135,700.00	\$0



## EXHIBIT D

### LEGAL DESCRIPTION AND MAP OF NEW SUBAREA

Lots 2-4, Jilla Subdivision, City of Council Bluffs, Pottawattamie County, Iowa.



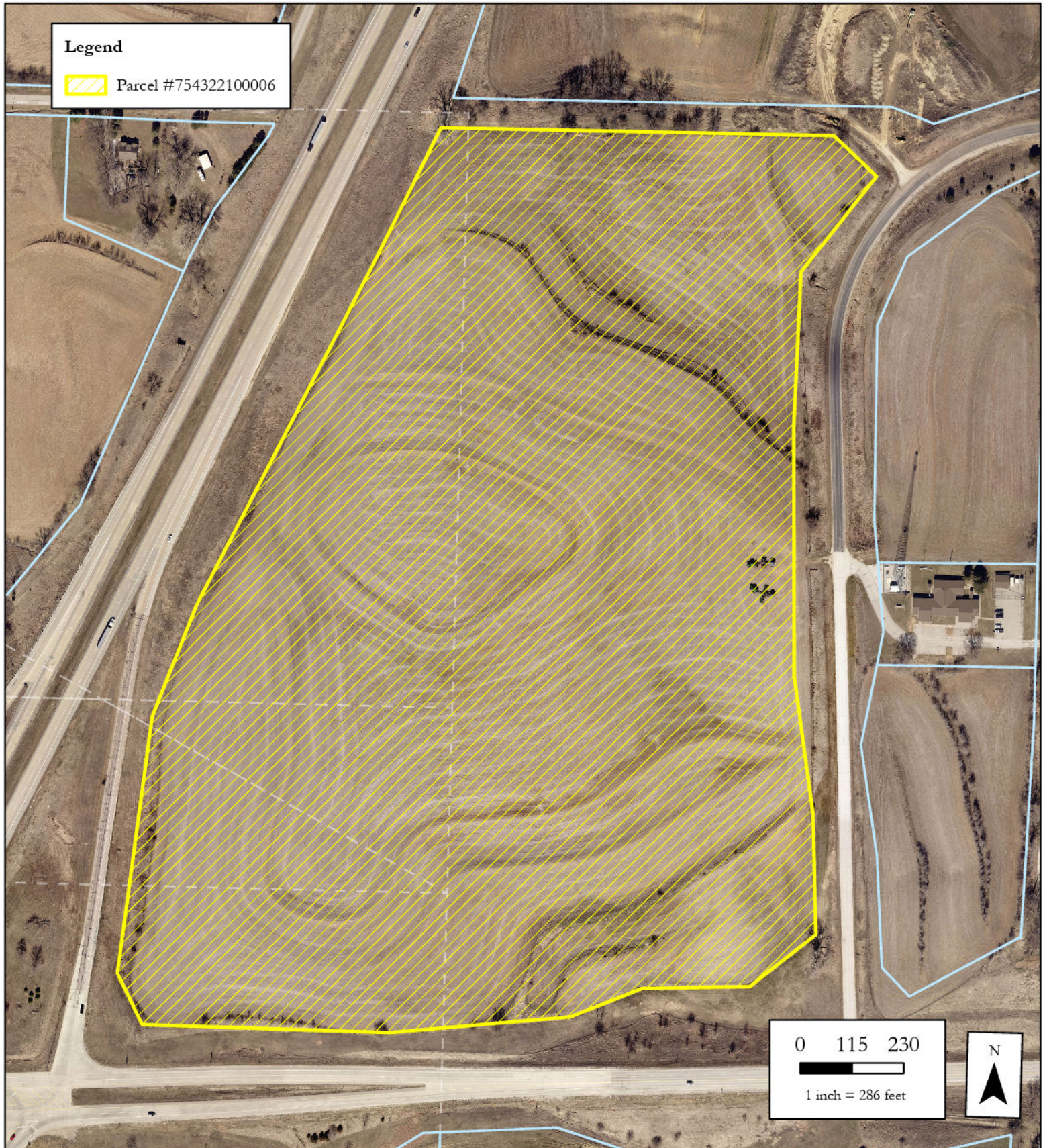
EXHIBIT E

INFORMATION CONCERNING VALLEY VIEW SOUTH SUBAREA

Current Tax Parcel Number	Name of Property Owner	Address of Record for Property Owner	Current Assessed Value – Land Value	Current Assessed Value – Improvement Value
754332256002	Hunt Ventures LLC	23699 Murphy Ln Council Bluffs, IA 51503	\$104,100.00	\$0
754332256003	R-J Capital LLC	PO Box 33 Council Bluffs, IA 51502	\$119,500.00	\$0
754332256004	R-J Capital LLC	PO Box 33 Council Bluffs, IA 51502	\$127,200.00	\$0



# CONSOLIDATED REVITALIZATION PLAN AMENDMENT #2 (PARCEL #754322100006)





# CONSOLIDATED REVITALIZATION PLAN AMENDMENT #2 (VALLEY VIEW DRIVE PARCELS)

