



**AGENDA  
PLANNING COMMISSION  
COUNCIL BLUFFS PUBLIC LIBRARY,  
400 WILLOW AVENUE, COUNCIL BLUFFS, IA  
Tuesday, March 11, 2025 - 6:00 PM**

- 1. CALL TO ORDER**
- 2. ROLL CALL**
- 3. ADOPTION OF AGENDA**
- 4. APPROVAL OF MINUTES**
- 5. PROOF OF PUBLICATION**
- 6. REVIEW OF MEETING PROCEDURES**
- 7. PUBLIC HEARINGS**

**A. CASE #SAV-25-001**

Public hearing on the request of Parker Smith and Bill Somers to vacate and dispose of Lindberg Drive right-of-way adjacent to the easterly 80 feet of Lot 9, Block 1, and the westerly 30 feet of Lot 1 and all of Lot 2, Block 3, Oak Grove Addition, City of Council Bluffs, Pottawattamie County, Iowa. Location: Immediately south of 724 Hazel Street.

**B. CASE #PC-25-001**

Public hearing on the request of H&S Council Bluffs 3125, LLC and H&S Council Bluffs 3145, LLC, to amend the adopted planned commercial development plan, relative to signage, for properties legally described as Lot 2, Lake Manawa Centre Subdivision Phase V and Lot 19, Lake Manawa Centre Subdivision Phase 3, City of Council Bluffs, Pottawattamie County, Iowa. Location: 3125 and 3145 Manawa Centre Drive.

**C. CASE #ZC-25-001**

Public hearing on the request of Sapp Bros. Inc. to rezone properties legally described as Lot 1, Sapp Bros. Truck Center from a mixture of I-2/ General Industrial District and P-C/Planned Commercial District to I-2/General Industrial District; and Lot 2, Sapp Bros. Truck Center from a mixture of P-C/Planned Commercial District and C-2/Commercial District to PC District. Location: 2608 South 24th Street. Location: 2608 South 24th Street.

**D. CASE #AN-25-001**

Public hearing on the request of Oak Valley LLC, Cattleman Heritage Beef Co. LLC, BNSF Railroad, QRS Investments, LLC, and the City of Council Bluffs for voluntarily annexation of approximately 473 acres (m/l)

of land, legally described as being part of Sections 29-74-43 and 32-74-43, Pottawattamie County, Iowa and part of Sections 5-73-43 and 6-73-43, Mills County, Iowa and being more particularly described in Attachment 'B' of the case staff report.

E. CASE #URN-25-001

Public hearing on the request of the City of Council Bluffs Community Development Department to create and adopt the Power Drive Housing Urban Renewal Area and Plan, for property legally described in the case staff report.

F. CASE #URN-25-002

Public hearing on the request of the City of Council Bluffs Community Development Department to create and adopt the Kaneshville Urban Renewal Area and Plan, for property legally described in the case staff report.

G. CASE #URN-25-003

Public hearing on the request of the City of Council Bluffs Community Development Department to amend the Old Airport Urban Renewal Area and Plan, for property legally described in the case staff report.

**8. OTHER BUSINESS**

- A. Appoint a Nominating Committee for the Election of Officers

**9. ADJOURNMENT**

If you plan to attend this meeting and require special assistance please contact the Community Development Department at (712) 890-5350 at least 48 hours before the meeting.



**Planning Commission Communication**

Department: Community  
Development  
Case/Project No.: SAV-25-001                      CASE #SAV-25-001                      Council Action: 3/11/2025  
Submitted by: Haley Weber,  
Planner

**Description**

Public hearing on the request of Parker Smith and Bill Somers to vacate and dispose of Lindberg Drive right-of-way adjacent to the easterly 80 feet of Lot 9, Block 1, and the westerly 30 feet of Lot 1 and all of Lot 2, Block 3, Oak Grove Addition, City of Council Bluffs, Pottawattamie County, Iowa. Location: Immediately south of 724 Hazel Street.

**Background/Discussion**

See attached staff report.

**Recommendation**

**ATTACHMENTS:**

Description	Type	Upload Date
Staff Report & Attachments	Other	3/6/2025

### City Planning Commission Communication

Department: Community Development  CASE #SAV-25-001  Applicant(s): Parker Smith 724 Hazel Street Council Bluffs, IA 51503  Bill Somers 625 Lindberg Drive Council Bluffs, IA 51503	Reso. of Intent No. _____  Reso. to Dispose No. _____	Planning Commission: 3/11/25
<p style="text-align: center;"><b>Subject/Title</b></p> <p><b>Request:</b> Public hearing on the request of Parker Smith and Bill Somers to vacate and dispose of the Lindberg Drive right-of-way adjacent to the easterly 80 feet of Lot 9, Block 1, and the westerly 30 feet of Lot 1 and all of Lot 2, Block 3, Oak Grove Addition, City of Council Bluffs, Pottawattamie County, Iowa.</p> <p><b>Location:</b> Immediately south of 724 Hazel Street</p>		
<p style="text-align: center;"><b>Background</b></p> <p>The Community Development Department has received a request from Parker Smith (representing 724 Hazel Street) and Bill Somers (representing 625 Lindberg Drive) to vacate and dispose of the Lindberg Drive right-of-way adjacent to the easterly 80 feet of Lot 9, Block 1, and the westerly 30 feet of Lot 1 and all of Lot 2, Block 3, Oak Grove Addition, City of Council Bluffs, Pottawattamie County, Iowa. The subject right-of-way measures approximately 60 feet in width and 80 feet in length.</p> <p>The applicant at 724 Hazel (Parker Smith) previously brought forth a request to vacate only the north half of the subject right-of-way to incorporate additional land area into their property for off-street parking purposes. Said request was originally scheduled for the February 11, 2025 Planning Commission meeting, with a staff recommendation of denial due to creation of a substandard segment of right-of-way. The applicant requested to postpone the public hearing to revise the request to include the entire width of Lindberg Drive right-of-way, as described above. Vacating the entire portion of Lindberg Drive right-of-way would result in Lot 2, Block 3, Oak Grove Addition (the west 50 feet of 625 Lindberg Drive) to become landlocked. The applicants intend to submit a subsequent final plat request to combine the acquired portions of right-of-way and existing lots into two lots of record so that all lots maintain access following the proposed vacation.</p> <p>On August 25, 2003, the City Council amended the adopted <i>Policy and Procedures for Alley, Street and Right-of-way Vacations</i>. The objectives of the amended Policy are as follows:</p> <p>A. <i>To provide due process and citizen participation in the application and review process for vacations.</i>          Property owners with land that abuts the subject alley are as follows:</p> <p style="margin-left: 40px;">North: Residential property owned by Parker Smith (applicant)          South: Residential property owned by John S. and Ramona C. Crookham Trust (applicant, represented by Bill Somers)          East: Lindberg Drive and Hazel Street          West: Formerly vacated Lindberg Drive (Case #SAV-19-005)</p>		

The abutting property owners were mailed a petition asking if they are in favor of/opposed to the vacation request and if they were willing to/not willing to acquire the portion of the alley adjacent to their property, if vacated. Their response is noted in Item J below.

*B. To ensure that no property owner is deprived of required and reasonable access.*

The property (625 Lindberg Drive) to the south of the proposed vacation area is comprised of two existing lots of record (Lots 1 and 2, Block 3, Oak Grove Addition). Lot 2, Block 3, Oak Grove Addition only has access off the subject portion of Lindberg Drive to be vacated and would therefore become landlocked if the vacation were to be approved. The Community Development Department recommends that the vacation not become effective until such time a final plat is executed to replat the property at 625 Lindberg into one lot of record so that all lots continue to have access following the proposed vacation. The property at 724 Hazel Street will continue to have access off Hazel Street.

*C. To discourage the creation and eliminate or reduce existing dead-end alleys, streets or other rights-of-way.*

The subject request is to vacate an unimproved, dead-end section of Lindberg Drive right-of-way.

*D. To reduce or eliminate hazardous and dangerous traffic conditions.*

The subject right-of-way is not improved and is not utilized for public vehicular and/or pedestrian traffic circulation.

*E. To protect all existing and proposed public utilities located in the right-of-way and to maintain necessary utility easements.*

All City Departments and utilities were notified of the request. The following responses were received:

- The Council Bluffs Public Works Department stated an easement shall be retained over the existing sanitary sewer line located within the subject right-of-way.
- The Council Bluffs Police Department stated they have no comments or objections to the request.
- The Council Bluffs Fire Department stated they have no comment on the request.
- Council Bluffs Water Works stated they have no comment on the request.
- MidAmerican Energy stated they operate overhead electric distribution facilities that appear to be within, adjacent, or overhanging the section of Lindberg Drive right-of-way to be vacated. MidAmerican Energy's acceptance of the revised request to vacate and dispose is contingent upon the establishment of a permanent and perpetual utility easement to provide and ensure reasonable access to their facilities within the area to be vacated.
- Black Hills Energy stated they have no concerns with the request.
- Cox Communications stated they have no objections to the request.

*F. To maintain appropriate right-of-way width to ensure that an adequate pedestrian and vehicular circulation system is retained.* The subject right-of-way dead-ends into private property to the west and is not improved. Vacating the subject right-of-way would have no impact on pedestrian or vehicular circulation.

*G. To discourage the vacation of a portion of an existing alley, street or other right-of-way.*

The subject request is to vacate an unimproved portion of Lindberg Drive right-of-way which dead-ends into private property.

*H. To assist in the implementation of the goals and objectives of the Comprehensive Plan.*

The request is consistent with the local access and circulation objectives stated in Chapter 6, Transportation of the Bluffs Tomorrow: 2030 Plan (comprehensive plan).

*I. To reduce the City's maintenance liability on previously vacated right-of-way parcels from public improvement projects and various lots acquired through delinquent taxes or assessments.*

Not applicable.

*J. To establish an equitable price for surplus public property.*

There are two property owners with land that abuts the subject right-of-way. Both abutting property owners were notified of the vacation request. Each abutting property owner is eligible to receive their portion of the alley in consideration of \$381.42. The applicant at 724 Hazel Street has indicated that they are in favor of the request and willing to acquire their portion of subject right-of-way for \$381.42. The signed petition from 625 Lindberg has not been returned as of the date of this report.

#### **Recommendation**

The Community Development Department recommends approval of the request of Parker Smith and Bill Somers to vacate and dispose of the Lindberg Drive right-of-way adjacent to the easterly 80 feet of Lot 9, Block 1, and the westerly 30 feet of Lot 1 and all of Lot 2, Block 3, Oak Grove Addition, City of Council Bluffs, Pottawattamie County, Iowa, subject to the comments stated above and the following conditions:

- A. An easement shall be retained over the subject right-of-way for utility access and maintenance purposes;
- B. All portions of the subject right-of-way shall be disposed of to an abutting property owner(s); and
- C. A final plat shall be executed to combine Lots 1 and 2, Block 3, Oak Grove Addition with the associated portion of right-of-way to create one lot of record.

#### **Attachments**

Attachment A: Location/Zoning Map  
Attachment B: Site Photographs

Prepared by: Haley Weber, Planner, Community Development Department



# CITY OF COUNCIL BLUFFS - CITY PLANNING COMMISSION CASE #SAV-25-001 - REVISED LOCATION/ZONING MAP

## Legend

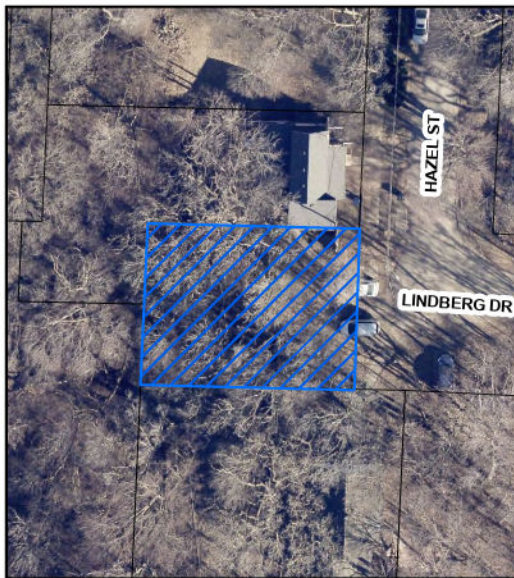


Subject Vacation Area Case  
#SAV-25-001 (Revised)

0 12.5 25



1 inch = 21 feet



Last Amended: 2/13/2025



Council Bluffs Community  
Development Department  
209 Pearl Street  
Council Bluffs, IA 51503  
Telephone: (712) 890-5350

**DISCLAIMER**  
This map is prepared and compiled from City documents, plans and other public records data. Users of this map are hereby notified that the City expressly disclaims any and all responsibility for errors, if any, in the information contained on this map or the nature of the same by the user or anyone else. The user should verify the accuracy of information/data contained on this map before using it. The City assumes no legal responsibility for the information contained on this map.

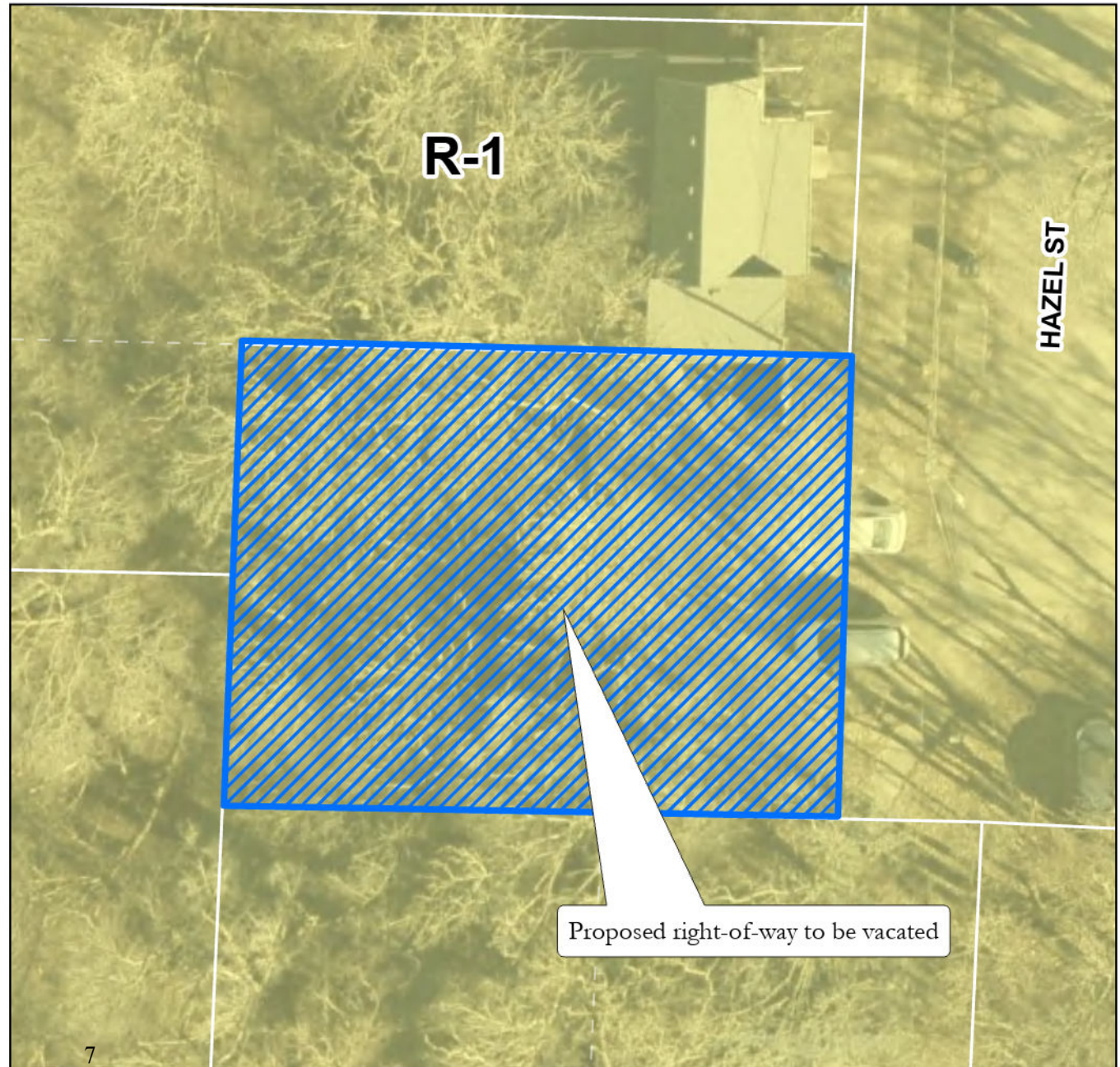






Exhibit A: Looking west towards subject R-O-W from Lindberg Drive



Exhibit B: Looking northwest towards dwelling at 724 Hazel St. and subject R-O-W



Exhibit C: Looking west towards subject R-O-W from Lindberg Drive

## Planning Commission Communication

Department: Community

Development

Case/Project No.: PC-25-001

CASE #PC-25-001

Council Action: 3/11/2025

Submitted by: Haley Weber,

Planner

### Description

Public hearing on the request of H&S Council Bluffs 3125, LLC and H&S Council Bluffs 3145, LLC, to amend the adopted planned commercial development plan, relative to signage, for properties legally described as Lot 2, Lake Manawa Centre Subdivision Phase V and Lot 19, Lake Manawa Centre Subdivision Phase 3, City of Council Bluffs, Pottawattamie County, Iowa. Location: 3125 and 3145 Manawa Centre Drive.

### Background/Discussion

See attached staff report.

### Recommendation

### ATTACHMENTS:

Description

Type

Upload Date

Staff Report & Attachments

Other

3/6/2025

### Planning Commission Communication

Department: Community Development  CASE #PC-25-001  Applicant/Property Owner: H&S Council Bluffs 3125, LLC and H&S Council Bluffs 3145, LLC 10730 Pacific Street, Suite 230 Omaha, NE 68114  Representative: Justin Crawford Access Project Management 10730 Pacific Street, Suite 230 Omaha, NE 68114	Resolution No. _____	Planning Commission: 3/11/2025
<p style="text-align: center;"><b>Subject/Title</b></p> <p><b>Request:</b> Public hearing on the request of H&amp;S Council Bluffs 3125, LLC and H&amp;S Council Bluffs 3145, LLC, to amend the adopted planned commercial development plan, relative to signage, for properties legally described as Lot 2, Lake Manawa Centre Subdivision Phase V and Lot 19, Lake Manawa Centre Subdivision Phase 3, City of Council Bluffs, Pottawattamie County, Iowa.</p> <p><b>Location:</b> 3125 and 3145 Manawa Centre Drive</p>		
<p style="text-align: center;"><b>Background</b></p> <p>The Community Development Department has received a request from H&amp;S Council Bluffs 3125, LLC and H&amp;S Council Bluffs 3145, LLC to amend the adopted planned commercial development plan, relative to signage, for properties legally described above.</p> <p>The subject properties consist of two parcels located in the Lake Manawa Power Center shopping center and contain the former Gordman's (3125 Manawa Centre Drive) and Toys-R-Us (3145 Manawa Centre Drive) buildings. The conjoined buildings have largely sat vacant since the former big box retailers closed. The subject properties are now under ownership by the one property owner who is in the process of dividing the buildings into four tenant bays for new retail users (Ross, HomeGoods, Sierra Trading Co. and one additional future tenant) to be operated under one property management entity. The purpose of the subject request is to adopt site specific signage standards for the re-activated retail space to allow attached signage for the four tenant spaces and a shared pole sign. The applicant's letter of intent is included as Attachment 'A'. The proposed signage is outlined below and shown in Attachment 'B':</p> <p><u><i>Proposed Detached Signage</i></u></p> <p>The applicant has proposed one 280 square foot pole sign measuring 60-feet in height to be located in a parking lot landscape island north of 3125 Manawa Centre Drive (see site plan included as Attachment 'C'). Said pole sign is intended to provide signage for all four (4) tenants of 3125 and 3145 Manawa Centre Drive. As the sign will be located at 3125 Manawa Centre Drive and will provide advertising for two (2) tenants located at 3145 Manawa Centre Drive, the sign is considered an off-premises sign. Typically, billboards are the only off-premises signage type permitted within City limits and are subject to Section 15.33.190, <i>Off-Premises Signs (Billboards)</i>, of the Council Bluffs Municipal Code (Zoning Ordinance). Per Section 15.33.190, billboards are only allowed</p>		



on properties zoned I-1, I-2, or I-3 District. Therefore, in order to allow the proposed pole sign, the applicant is requesting that the development plan be modified to allow for one (1) shared pole sign between the two subject properties.

Proposed Attached Signage - Proposed attached signage is outlined in the table below:

<u>Address</u>	<u>Tenant</u>	<u>Sign Location</u>	<u>Size (Sq. Ft.)</u>
3125 Manawa Centre Drive	Ross	West Façade (Front Façade)	311
		North Facade	230.25
		East Façade (Facing I-29)	144
		Ross Total:	685.25
	HomeGoods	West Facade	235.5
		East Façade (Facing I-29)	58.5
		HomeGoods Total:	294
3125 Manawa Centre Dr. Total:			979.25
3145 Manawa Centre Drive	Sierra	West Facade	268.37
		East Façade (Facing I-29)	45.89
		Sierra Total:	314.26
	Future Tenant	No specific signage renderings proposed. 560 square feet of attached signage is requested in the submitted Letter of Intent (see Attachment 'X')	560
	3145 Manawa Centre Dr. Total:		
Total Proposed Attached Signage:			1,853.51

*Note – Sheet SH in Attachment 'X' shows proposed window signage for Ross. Per Section 15.33.0801, Exempt Signs, of the Council Bluffs Municipal Code (Zoning Ordinance), the proposed window signs are considered exempt signs and do not count towards the maximum allowed signage for the properties.*

Total proposed signage:

1,853.51 sq. ft. (Attached Signage)  
+ 280 sq. ft. (Detached Signage)  
**2,133.51 sq. ft. of Total Proposed Signage**

Land Use and Zoning – The subject properties are zoned P-C/Planned Commercial District and are surrounded by commercial retail uses and like zoning on all sides, as noted below:

<b>Direction</b>	<b>Zoning District(s)</b>	<b>Land Uses</b>
North	P-C/Planned Commercial District	Retail Shopping Establishments (Harbor Freight, Home Depot) and Interstate 29
South	P-C/Planned Commercial District	Retail Shopping Establishments (Walmart, Sam's Club, U.S. Cellular)
East	P-C/Planned Commercial District	Undeveloped land and Interstate 29
West	P-C/Planned Commercial District	Retail Shopping Establishments (Aldi, Home Depot)

A location/zoning map is included as Attachment ‘D.’

The Future Land Use Plan of the Bluffs Tomorrow: 2030 Plan (Comprehensive Plan) designates the subject properties as ‘Regional Commercial.’

City Departments and Utilities – All appropriate City departments and utilities were notified of the proposed planned commercial development plan. The following comments were received:

- A. The Council Bluffs Public Works Department stated they had no comments on the request as it appears all signage will be located on private property.
- B. The Council Bluffs Police Department stated they had no comments or objections to the request.
- C. The Council Bluffs Fire Department stated they had no comments on the request.
- D. Council Bluffs Water Works stated they had no comments on the request.
- E. MidAmerican Energy stated they had no conflicts or concerns with the request and noted that the developer or their agents are required to contact MidAmerican Energy directly to identify costs and responsibilities associated with the electric service requirements for the redevelopment of the site.
- F. The Community Development Department provided the following comments:

- 1. The Lake Manawa Power Center development plan was approved by City Council on May 4, 1992 via Resolution #92-104 (see Case #PC-92-001) and has been amended on several occasions as the center developed and new tenants/users located within the shopping center. As a general standard, the Lake Manawa Power Center development plan allowed a maximum of 15 percent of the street facing façade for attached signage; 60-foot tall pole signs for lots abutting the Interstate; and a total maximum permitted sign area per lot equivalent to two times the street frontage.

Certain sites, as they were developed with new users, adopted signage standards specific to each lot. Resolution No. 02-348 was adopted by City Council on December 16, 2002 and included the following signage standard for Lot 2, Lake Manawa Centre Subdivision (3125 Manawa Centre Drive):

*“Approval of two wall signs as presented, for the Gordmans store on Lot 20 or as replatted. No additional signage will be permitted without prior consideration by the Planning Commission and City Council approval.”* This allowed a maximum of 772 square feet of attached signage for the property. Gordmans did not propose a detached sign; therefore, no specific detached signage standards were adopted for this property.

3125 and 3145 Manawa Centre Drive do not have any street frontage. However, historically, the west “front” façade of 3145 Manawa Centre Drive has been treated as the property’s street frontage for signage calculation purposes. This allowed the property a maximum of 517.5 square feet of attached signage.

- 2. The below table summarizes the most recent permanent signage on the subject properties, based on permit data and previous adopted development plans. All signage of the former tenants has since been removed.

<u>Address</u>	<u>Tenant</u>	<u>Sign Location</u>	<u>Size (Sq. Ft.)</u>
3125 Manawa Centre Drive	Gordmans	West Façade (Front)	472
		East Façade (Facing I-29)	300
		<i>Gordmans Total:</i>	772
3145 Manawa Centre Drive	Toys-R-Us	West Façade (Front)	332.89
		East Façade (Facing I-29)	61
		Pole Sign*	150 sq. ft.
		<i>Toys-R-Us Total:</i>	543.89

*\*Note – The Toys-R-Us pole sign along their Interstate frontage was removed in 2010 when the wall sign was installed on the rear façade facing I-29.*

3. The former big box store buildings on the subject properties are currently in the process of being converted into four tenant bays under one property management entity. The applicant has proposed new signage for the property which includes attached signage for each of the four tenants and one shared pole sign between the tenants to be located at 3125 Manawa Centre Drive. The requested amendment to the development plan is necessary to accommodate the proposed request for the following reasons:
  - a. In order to allow one shared pole sign, as currently each property is only allowed one 60-foot tall pole sign;
  - b. The proposed total signage amount at 3125 Manawa Centre Drive exceeds the 772 square foot maximum by 457.25 square feet; and
  - c. The proposed total signage amount at 3145 Manawa Centre Drive exceeds the 517.5 square foot maximum by 356.76 square feet.
4. The Community Development Department recommends the following signage standards for the subject properties:
  - a. *The total combined signage allotment for all attached and detached signage shall be limited to a maximum of 1,900 square feet total for both properties;*
  - b. *One, 60-foot tall pole sign shared between the two properties limited to a maximum of 280 square feet, per sign face, shall be allowed to be utilized by only the tenants of the subject properties; and*
  - c. *In order to maintain visibility to the tenant spaces, a maximum of 50 percent of the storefront windows shall remain unobstructed by signage and shall allow for clear visibility into stores for public safety purposes.*

The above maximum signage standard increases the 15 percent maximum of the Lake Manawa Power Center to a 20 percent maximum for the subject properties. Staff is supportive of this increase as it accounts for 1) the reuse of two vacant big box stores as four tenant bays; 2) the

use of a shared pole sign as opposed to two additional new pole signs within the shopping center; and 3) compatibility of new signage to existing development within the Lake Manawa Power Center.

5. In 1993, Menards proposed a detached sign which included signage for Menards and three additional tenants of the Lake Manawa Power Center. At that time, it was noted that the Iowa Department of Transportation (IDOT) has authority for permitting signs located within 660 feet of federal and state highway rights-of-way and that IDOT's regulations prohibit placement of off-premises advertising within this area. It was noted that the proposed signage at that time would have been allowed if they advertise only the business located on the lot upon which the sign sits. The applicant shall coordinate with IDOT to ensure all proposed signage complies with all current federal and state regulations.

The City has discussed with the applicant the option of replatting the properties into one lot of record so that any shared signage for the tenants would not be considered off-premises. If IDOT is not supportive of a shared pole sign (i.e. off-premises signage) at this location, the applicant would still have the option to replat the properties into a single lot of record to install a shared sign.

#### Development Plan

The previously approved signage plan as described in the planned commercial development plan for the Lake Manawa Power Center, as adopted on May 4, 1992, shall remain in effect with the exception that signage for properties legally described as Lot 2, Lake Manawa Centre Subdivision Phase V and Lot 19, Lake Manawa Centre Subdivision Phase 3, City of Council Bluffs, Pottawattamie County, Iowa, shall be as follows:

- A. The total combined signage allotment for all attached and detached signage shall be limited to a maximum of 1,900 square feet total for both properties;
- B. One, 60-foot tall pole sign shared between the two properties limited to a maximum of 280 square feet, per sign face, shall be allowed to be utilized by only the tenants of the subject properties; and
- C. In order to maintain visibility to the tenant spaces, a maximum of 50 percent of the storefront windows shall remain unobstructed by signage and shall allow for clear visibility into stores for public safety purposes.

#### **Recommendation**

The Community Development Department recommends approval of the request to amend the adopted planned commercial development plan for property legally described as Lot 2, Lake Manawa Centre Subdivision Phase V and Lot 19, Lake Manawa Centre Subdivision Phase 3, City of Council Bluffs, Pottawattamie County, Iowa, as follows:

- A. The total combined signage allotment for all attached and detached signage shall be limited to a maximum of 1,900 square feet total for both properties;
- B. One, 60-foot tall pole sign shared between the two properties limited to a maximum of 280 square feet, per sign face, shall be allowed to be utilized by only the tenants of the subject properties; and

- C. In order to maintain visibility to the tenant spaces, a maximum of 50 percent of the storefront windows shall remain unobstructed by signage and shall allow for clear visibility into stores for public safety purposes.

**Attachments**

Attachment A: Letter of Intent  
Attachment B: Signage Renderings  
Attachment C: Site Plan  
Attachment D: Location/Zoning Map

Prepared by: Haley Weber, Planner, Community Development Department



Haley Weber  
City of Council Bluffs  
Community Development Department  
209 Pearl Street  
Council Bluffs, IA 51503

Council Bluffs Planning Commission,

On behalf of H&S Council Bluffs 3125, LLC and H&S Council Bluffs 3145, LLC, Access Project Management is requesting the following Amendment to the Planned Commercial Development Agreement of the properties at 3125 Manawa Centre Drive and 3145 Manawa Centre Drive.

It is the property owner's intention to increase the allowable square footage of signage on the properties to meet the needs of the new project tenants per the following totals for a grand total of 2,582 SF:

- 3125 Manawa Centre Drive: 946 SF
  - Sierra: 433 SF
  - Future Tenant: 513 SF
- 3145 Manawa Centre Drive: 1076 SF
  - Ross: 777 SF
  - HomeGoods: 299 SF
- Combined Pylon Sign: 560 SF

Attached you will find the following documents to exhibits to depict the signage planned for the redevelopment:

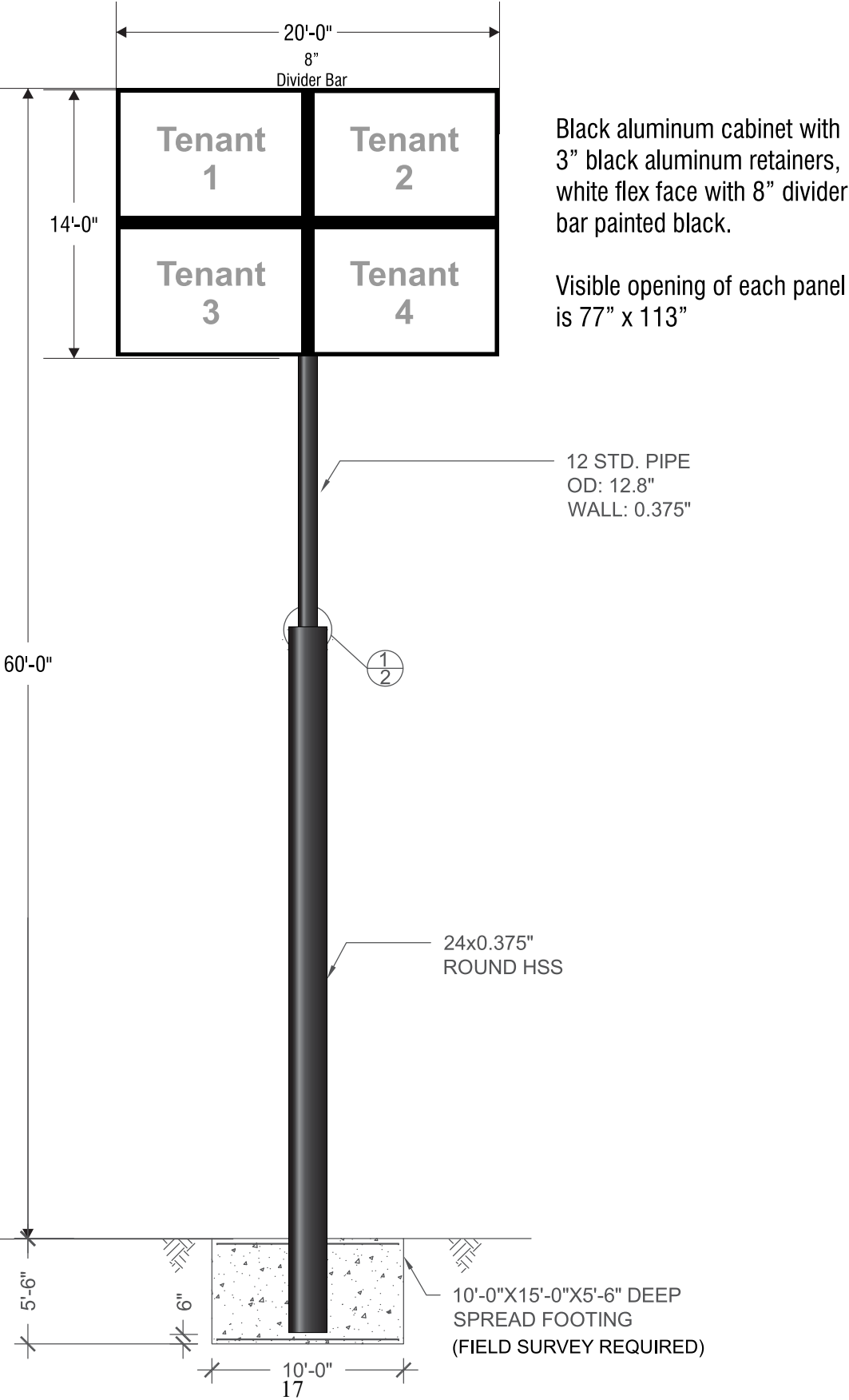
- Site Plan with Tenant locations and potential pylon sign location.
- Pylon Sign Exhibit
- Ross Signage Exhibit
- HomeGoods Signage Exhibit
- Sierra Signage Exhibit

Sincerely,

Justin Crawford  
Project Manager  
Access Project Management  
[justin@accesscommercial.com](mailto:justin@accesscommercial.com)  
402.943.8821

Scale 1/8" = 1'-0"

Pylon Sign



6958 N 97th Cir,  
Omaha, NE 68122

Customer Logo:	Customer:
	Location:

Type of Signage:

Specifications:

<input type="checkbox"/>	Color Schedule:
<input type="checkbox"/>	

Signed & Dated customer approval MUST be on file before production is started.	This is an original drawing by American Lift & Sign Service. This design is the property of American Lift and is not to be reproduced or shared without our written consent.
--	--

Date of Original Drawing:
Revision: _____
Revision: _____
Revision: _____

Drawn By: *Amy Cox*

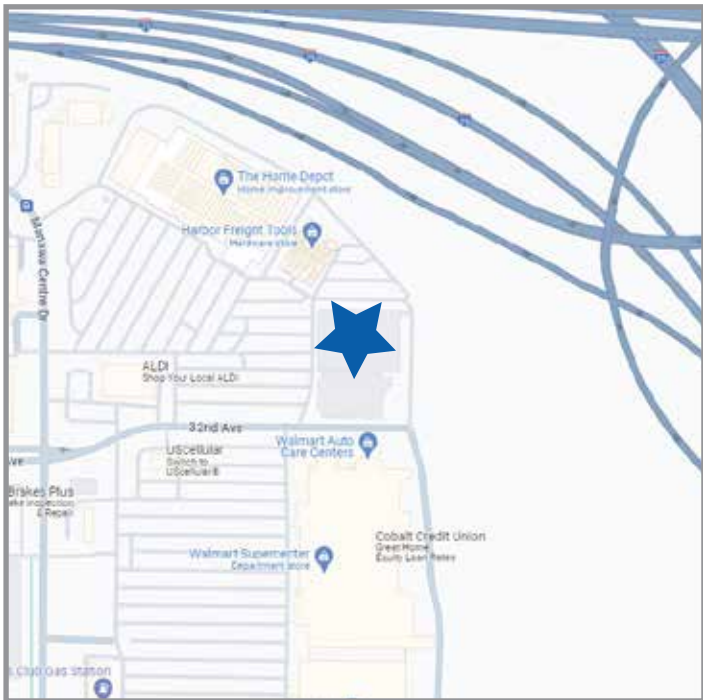
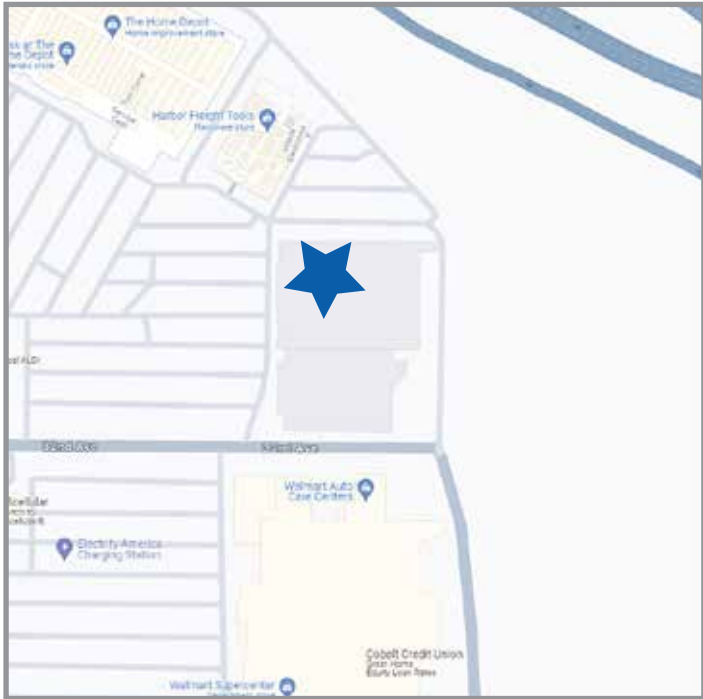
\*Changes to design after approval may result in additional charges\*

<input type="checkbox"/> Approved as drawn	<input type="checkbox"/> Make noted corrections and resubmit
--	--

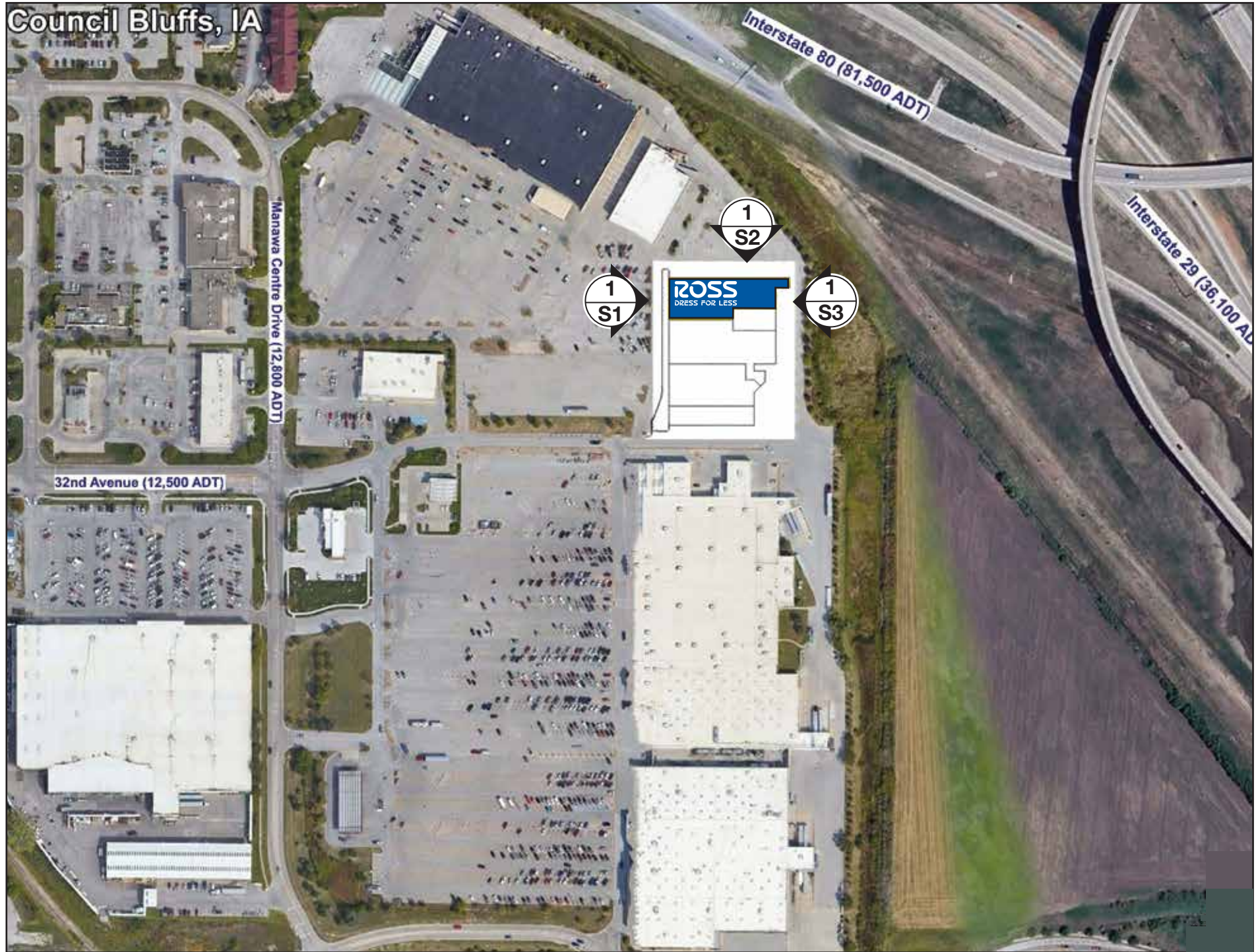
Date: \_\_\_\_\_ Signature: \_\_\_\_\_

DRAWING NO.  
20034





# VICINITY MAPS NOT TO SCALE



# SITE PLAN NOT TO SCALE



**Ideas to Identity**  
tel: 1 (510) 526-0296  
info@billmoore.com  
www.billmoore.com

bill moore & associates



**#2744 COUNCIL BLUFFS**  
Manawa Power Center  
NEC Manawa Centre Dr. & 32nd Ave.  
Council Bluffs, IA 51501

FH-BMA 08/13/24

**SHEET**  
**K**



Notes:

- LANDLORD TO PROVIDE:
- ADEQUATE ACCESS BEHIND LOGO LETTERS FOR INSTALLATION AND MAINTENANCE, PER ARTICLE 600 OF THE N.E.C.
  - ONE (1) 20 AMP 120V ISOLATED SIGN CIRCUIT AND JUNCTION BOX TO AREA BEHIND SIGN LETTERS CONNECTED TO THE ENERGY MANAGEMENT SYSTEM
  - AT LEAST 1/2" THICK PLYWOOD BACKING BEHIND ALL E.I.F.S. WALL SYSTEMS FOR SIGN AND BANNER SUPPORT

SIGN FASCIA TO BE FREE OF JOINTS & REVEALS, AND OF A LIGHT COLOR (MINIMUM 80% L.R.V.) TO PROVIDE HIGH CONTRAST AND VISIBILITY FOR THE SIGN.

ALL COLORS ARE SUBJECT TO ROSS STORES, INC. REVIEW AND APPROVAL. COLOR APPEARANCE MAY BE ALTERED BY PRINTING, SEE APPROVED FINAL CONSTRUCTION DRAWINGS FOR COLOR SPECIFICATIONS.

IF ANY SIGNAGE PROPOSED IN THIS EXHIBIT IS ALTERED BY LOCAL GOVERNMENT AUTHORITIES, ROSS STORES INC. RESERVES THE RIGHT TO, AT NO COST, ADJUST ARCHITECTURAL FEATURES TO BEST ACCOMMODATE THE ALTERED SIGNAGE.

SIGN INSTALLER TO CONFIRM SIGN FASCIA DIMENSIONS IN THE FIELD BEFORE INSTALLING SIGNAGE. IF ANY DISCREPANCIES, NOTIFY ROSS STORE DESIGN.

**A** 72"H INDIVIDUAL "ROSS" PAN CHANNEL LETTER-LOK LOGO LETTERS:  
FACES: PLASKOLITE OPTIX.LD 2406 WHITE  
WITH 3M 3730-167L BLUE VINYL FILM OVERLAY.  
RETURNS: 8"D ALUM. W/ WHITE FINISH  
TRIM CAP: 2" WHITE JEWELITE  
LETTER BACKS: ALUMINUM  
LEDs: PRINCIPAL TRUE WHITE QWIK MOD 3 (7100K)  
MOUNTING: 1/4"-20 GALV. THRU BOLTS  
PEG OFF: 1/2" SPACERS

**B** 42"H INDIVIDUAL "DFL" LOGO LETTERS:  
ALL CALLOUTS SAME AS "ROSS" EXCEPT:  
RETURNS: 5"D ALUM. W/ WHITE FINISH  
TRIM CAP: 1" WHITE JEWELITE

**C** 12"H X 48"W X 10"D DOUBLE-FACE INTERNALLY ILLUMINATED UNDER-CANOPY SIGN, SEE SHEET UC FOR DETAILS.

**D** 24"H X 48"W X 1"D KOMACEL OVAL "ROSS" LOGO WALL PLAQUE  
TWO (2) REQUIRED AS SHOWN, SEE SHEET EL FOR DETAILS.

**E** N/A

**1** SIGN FASCIA BY LANDLORD, SEE NOTES

**2** CLEAR ANODIZED ALUMINUM STOREFRONT & DOORS BY LANDLORD

**3** FROSTED FILM BY LANDLORD

**4** (2) SETS OF FIVE (5) EYE-BOLTS FOR BANNER ATTACHMENT BY LANDLORD

**5** STORE HOURS; INCLUDES STORE HOURS, OPERATIONAL DECAL, EBT, GUARD & RESERVE LTR. 55 & OVER AND EXIT/ENTER DECALS. SEE SHEET SH FOR DETAILS.

**6** N/A

**7** N/A

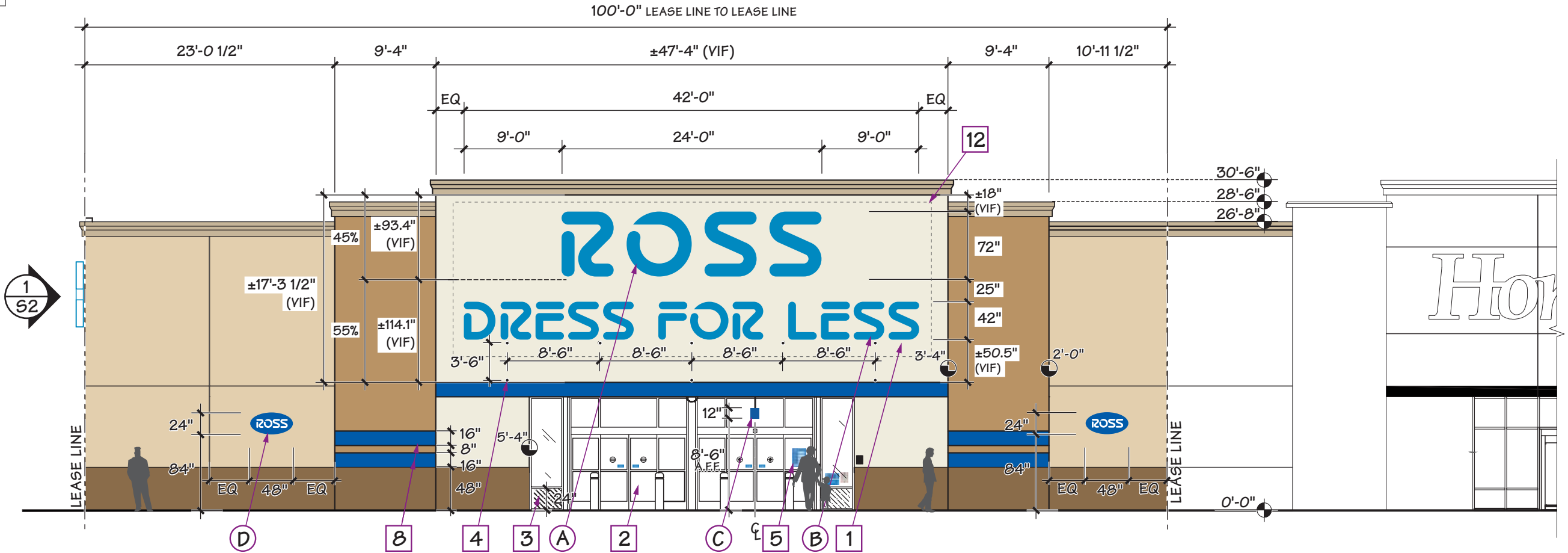
**8** TYPICAL ROSS BLUE IDENTITY BANDS BY LANDLORD

**9** N/A

**10** N/A

**11** N/A

**12** ROSS CONTRACTOR TO ADD 1 1/4" V-GROOVE REVEAL, SIGN BORDER AROUND THE SIGN ONLY IF SMALLER THAN PROTOTYPE SIGN IS APPROVED. FINAL DIMENSIONS ARE TO BE DETERMINED.



**SIGN AREA CALCULATION : AMENDMENT REQUIRED :**

**ROSS DRESS FOR LESS**

SIGN AREA **ALLOWED**: 386 sf (FOR ALL ELEVATIONS)  
SIGN AREA **PROPOSED**: 364.22 sf  
TOTAL FOR ALL ELEVATIONS : 776.22 sf

STOREFRONT SIGN = 341 sf

WALL PLAQUES: 2' X 4' X 2 = 16 sf  
UC SIGN: 11'9" X 3.8' = 7.22 sf

**1 STOREFRONT • WEST • MANAWA CENTRE DRIVE • ELEVATION**

SCALE: 3/32" = 1'- 0"

**bma** Ideas to Identity  
tel: 1 (510) 526-0296  
info@billmoore.com  
www.billmoore.com  
bill moore & associates

MEMBER  
**SA**  
California Sign Association  
**ISA**

**ROSS**  
DRESS FOR LESS

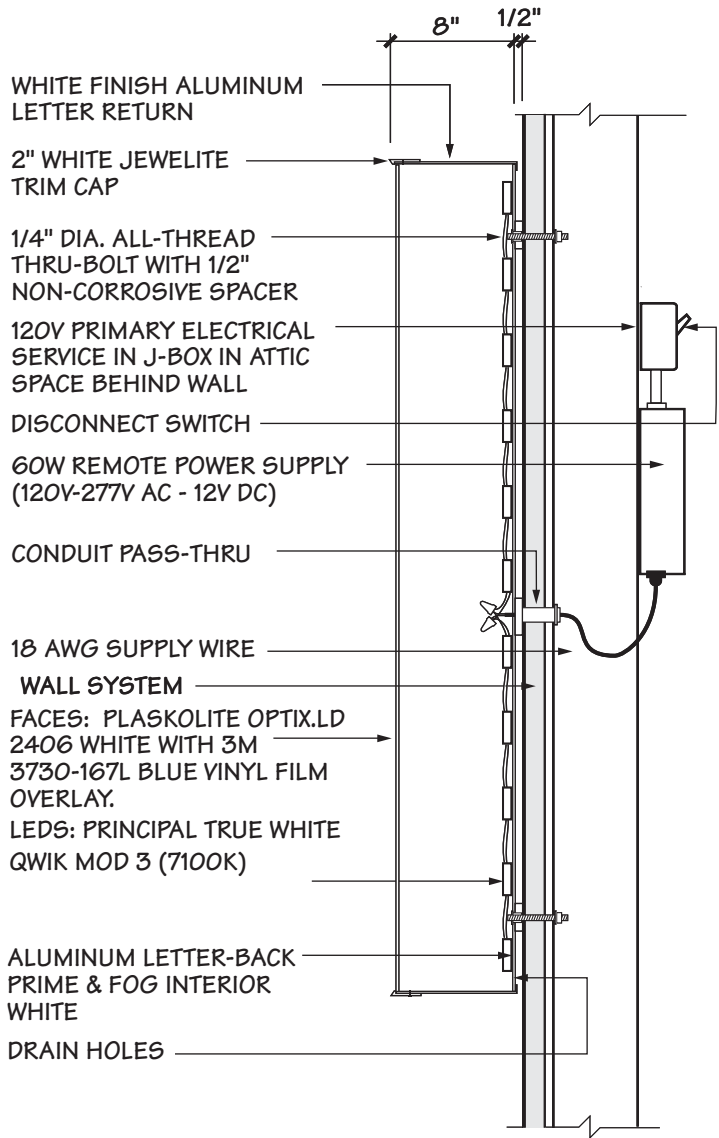
**#2744 COUNCIL BLUFFS**  
Manawa Power Center  
NEC Manawa Centre Dr. & 32nd Ave.  
Council Bluffs, IA 51501

drawn 08/19/24  
Exhibit J 09/19/24  
REV. placement 11/05/24

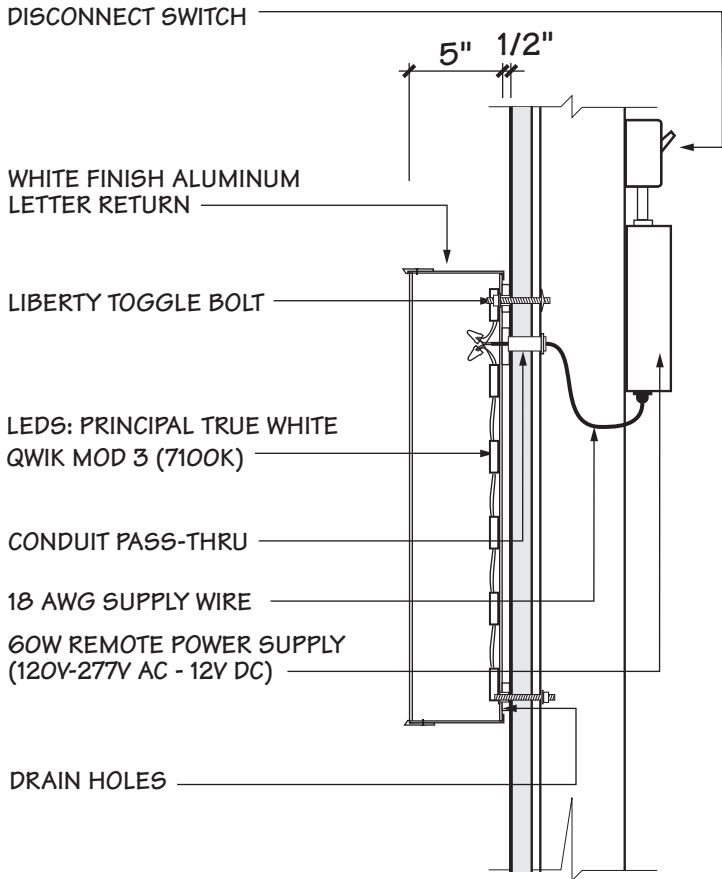
**RB-E/H**  
**SHEET**  
**S1**

Notes:

- ROSS CONTRACTOR TO PROVIDE:
- ADEQUATE STRUCTURE BEHIND WALL FASCIA FOR SIGN ATTACHMENT. PLYWOOD BACKING OR BLOCKING IS REQUIRED BEHIND E.I.F.S. WALL SYSTEMS AT ALL SIGN ATTACHMENT POINTS.
  - ACCESS TO AREA BEHIND ENTIRE SIGN FOR INSTALLATION, WIRING AND MAINTENANCE PER N.E.C. ARTICLE 600.
  - ISOLATED 20 AMP, 120V SINGLE-PHASE SIGN CIRCUIT TERMINATED IN JUNCTION BOXES WITHIN FIVE FEET OF THE SIGN LOCATION AND CONTROLLED BY THE E.M.S.



**1** SECTION AT 'ROSS' LETTERS  
MIDDLE FEED N.T.S.



**2** SECTION AT 'DRESS FOR LESS' LETTERS  
TOP FEED 'DRESS FOR LESS' N.T.S.

ANCHOR SCHEDULE: 1/4" DIA. ANCHORS - MINIMUM FIVE (5) PER "ROSS" LETTER, MINIMUM FOUR (4) PER "DRESS FOR LESS" LETTER	
ANCHORS TO BE THRU BOLTS IF POSSIBLE, ALTERNATE ANCHORS PER WALL TYPE SHOWN BELOW FOR USE IF THRU BOLTING IS NOT POSSIBLE	
WALL STRUCTURE	ANCHOR TYPE
WOOD BLOCKING	LAG BOLT (1-1/2" EMBEDMENT)
EIFS OVER 5/8" PLYWOOD	LIBERTY TOGGLE BOLT
HOLLOW CONCRETE BLOCK	SLEEVE ANCHOR (1-1/2" EMBEDMENT)
SOLID CONCRETE / MASONRY	WEDGE ANCHOR (2-1/2" EMBEDMENT)



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bill moore & associates



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Manawa Power Center  
NEC Manawa Centre Dr. & 32nd Ave.  
Council Bluffs, IA 51501

drawn 11/11/24

SHEET  
SD1

Notes:

- LANDLORD TO PROVIDE:
- ADEQUATE ACCESS BEHIND LOGO LETTERS FOR INSTALLATION AND MAINTENANCE, PER ARTICLE 600 OF THE N.E.C.
  - ONE (1) 20 AMP 120V ISOLATED SIGN CIRCUIT AND JUNCTION BOX TO AREA BEHIND SIGN LETTERS CONNECTED TO THE ENERGY MANAGEMENT SYSTEM
  - AT LEAST 1/2" THICK PLYWOOD BACKING BEHIND ALL E.I.F.S. WALL SYSTEMS FOR SIGN AND BANNER SUPPORT

SIGN FASCIA TO BE OF A LIGHT COLOR (MINIMUM 80% L.R.V.) TO PROVIDE HIGH CONTRAST AND VISIBILITY FOR THE SIGN.

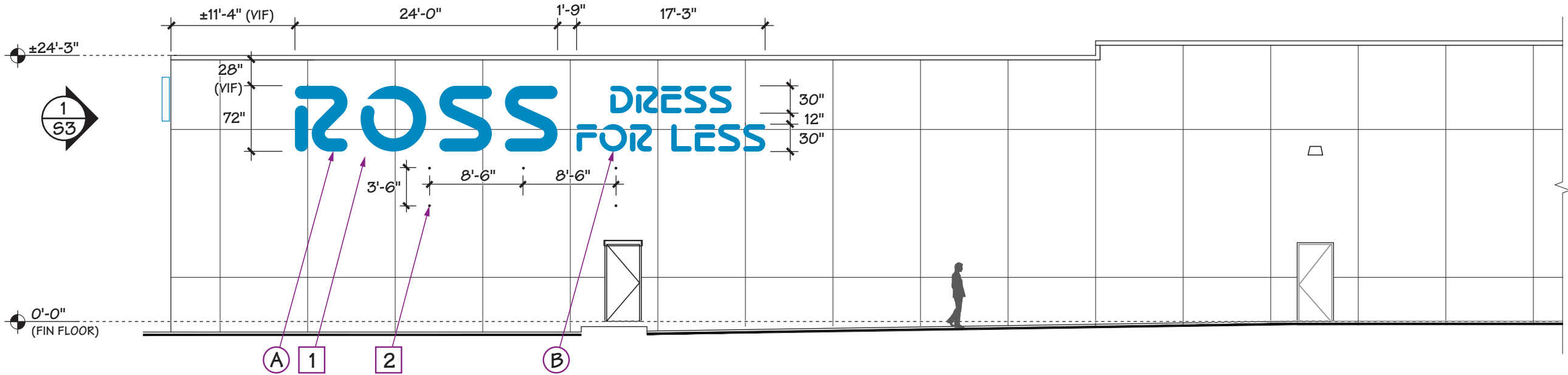
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IF ANY SIGNAGE PROPOSED IN THIS EXHIBIT IS ALTERED BY LOCAL GOVERNMENT AUTHORITIES, ROSS STORES INC. RESERVES THE RIGHT TO, AT NO COST, ADJUST ARCHITECTURAL FEATURES TO BEST ACCOMMODATE THE ALTERED SIGNAGE.

SIGN INSTALLER TO CONFIRM SIGN FASCIA DIMENSIONS IN THE FIELD BEFORE INSTALLING SIGNAGE. IF ANY DISCREPANCIES, NOTIFY ROSS STORE DESIGN.

- A** 72"H INDIVIDUAL "ROSS" PAN CHANNEL LETTER-LOK LOGO LETTERS:  
FACES: PLASKOLITE OPTIX.LD 2406 WHITE  
WITH 3M 3730-167L BLUE VINYL FILM OVERLAY.  
RETURNS: 8"D ALUM. W/ WHITE FINISH  
TRIM CAP: 2" WHITE JEWELITE  
LETTER BACKS: ALUMINUM  
LEDs: PRINCIPAL TRUE WHITE QWIK MOD 3 (7100K)  
MOUNTING: 1/4"-20 GALV. THRU BOLTS  
PEG OFF: 1/2" SPACERS
- B** 30"H INDIVIDUAL "DFL" LOGO LETTERS:  
ALL CALLOUTS SAME AS "ROSS" EXCEPT:  
RETURNS: 5"D ALUM. W/ WHITE FINISH  
TRIM CAP: 1" WHITE JEWELITE

- 1** SIGN FASCIA BY LANDLORD, SEE NOTES
- 2** (1) SET OF FIVE (5) EYE-BOLTS FOR BANNER ATTACHMENT BY LANDLORD



SIGN AREA CALCULATION : AMMENDMENT REQUIRED :

SIGN AREA ALLOWED: 386 sf (FOR ALL ELEVATIONS)	
SIGN AREA PROPOSED: 258.0 sf	
TOTAL FOR ALL ELEVATIONS : 776.22 sf	
ROSS-D/FL 6.0'H x 43.0'W	= 258 sf

1 SIDE • NORTH • INTERSTATE 80 • ELEVATION

SCALE: 3/32" = 1'- 0"

RB-E/H

SHEET  
S2

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bill moore & associates

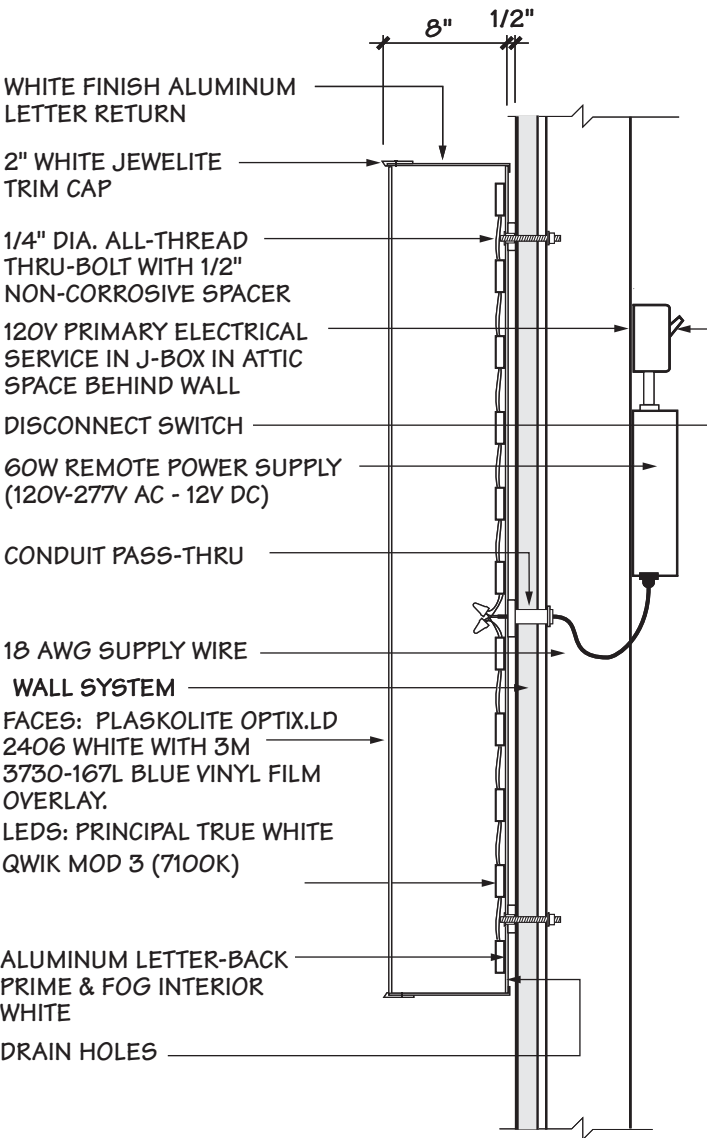


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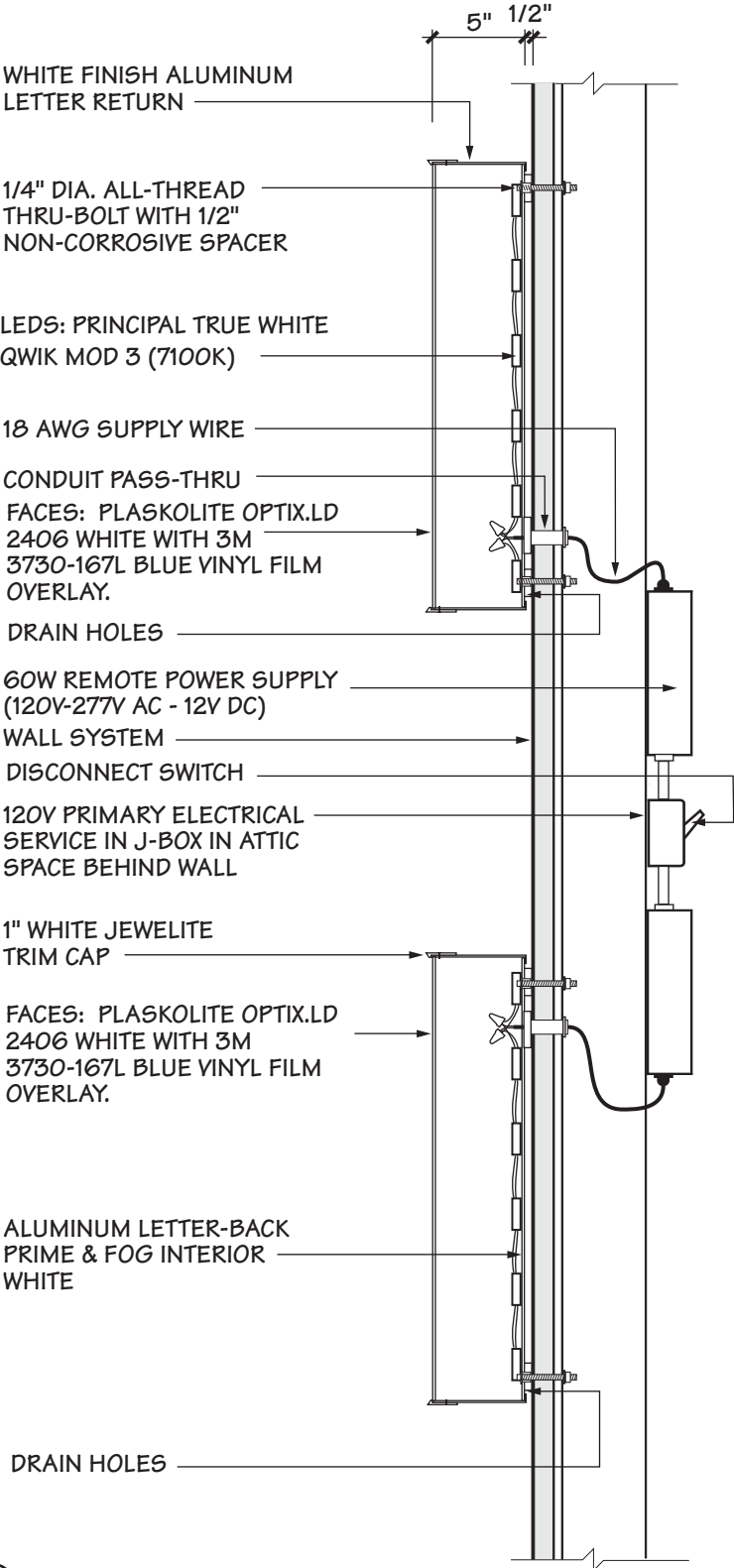
drawn 08/21/24  
Exhibit J 09/19/24

Notes:

- ROSS CONTRACTOR TO PROVIDE:
- ADEQUATE STRUCTURE BEHIND WALL FASCIA FOR SIGN ATTACHMENT. PLYWOOD BACKING OR BLOCKING IS REQUIRED BEHIND E.I.F.S. WALL SYSTEMS AT ALL SIGN ATTACHMENT POINTS.
  - ACCESS TO AREA BEHIND ENTIRE SIGN FOR INSTALLATION, WIRING AND MAINTENANCE PER N.E.C. ARTICLE 600.
  - ISOLATED 20 AMP, 120V SINGLE-PHASE SIGN CIRCUIT TERMINATED IN JUNCTION BOXES WITHIN FIVE FEET OF THE SIGN LOCATION AND CONTROLLED BY THE E.M.S.



1 SECTION AT 'ROSS' LETTERS  
MIDDLE FEED N.T.S.



2 SECTION AT 'DRESS FOR LESS' LETTERS  
BOTTOM FEED 'DRESS' / TOP FEED 'FOR LESS' N.T.S.

ANCHOR SCHEDULE: 1/4" DIA. ANCHORS - MINIMUM FIVE (5) PER "ROSS" LETTER, MINIMUM FOUR (4) PER "DRESS FOR LESS" LETTER	
ANCHORS TO BE THRU BOLTS IF POSSIBLE, ALTERNATE ANCHORS PER WALL TYPE SHOWN BELOW FOR USE IF THRU BOLTING IS NOT POSSIBLE	
WALL STRUCTURE	ANCHOR TYPE
WOOD BLOCKING	LAG BOLT (1-1/2" EMBEDMENT)
EIFS OVER 5/8" PLYWOOD	LIBERTY TOGGLE BOLT
HOLLOW CONCRETE BLOCK	SLEEVE ANCHOR (1-1/2" EMBEDMENT)
SOLID CONCRETE / MASONRY	WEDGE ANCHOR (2-1/2" EMBEDMENT)



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ROSS  
DRESS FOR LESS

#2744 COUNCIL BLUFFS  
Manawa Power Center  
NEC Manawa Centre Dr. & 32nd Ave.  
Council Bluffs, IA 51501

drawn 11/11/24

SHEET  
SD2



LANDLORD TO PROVIDE:

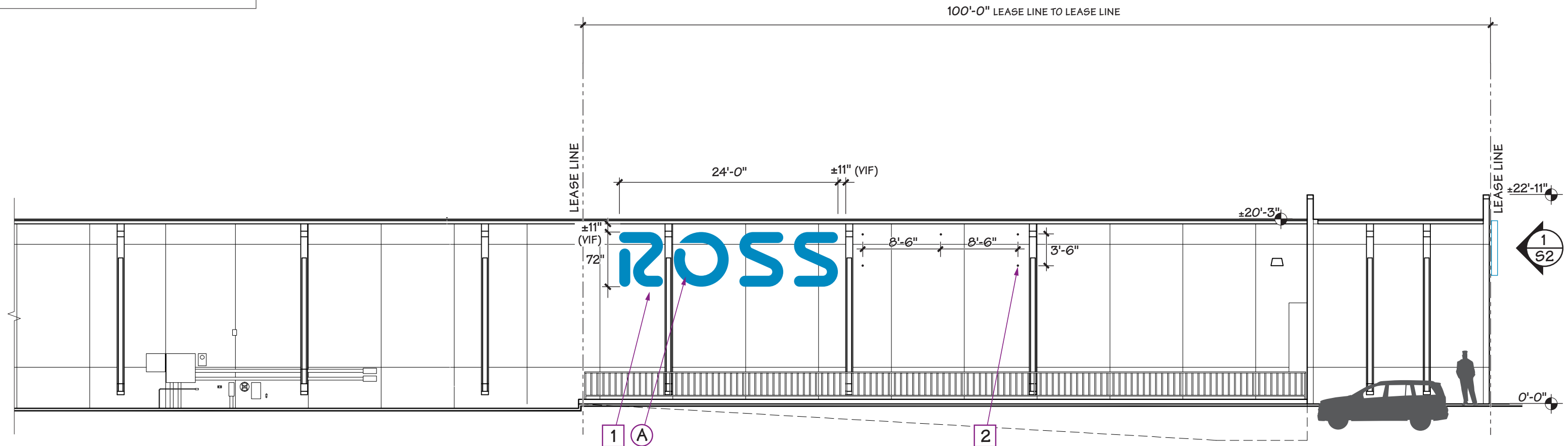
SIGN FASCIA TO BE FREE OF JOINTS & REVEALS, AND OF A LIGHT COLOR (MINIMUM 80% L.R.V.) TO PROVIDE HIGH CONTRAST AND VISIBILITY FOR THE SIGN.

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SIGN INSTALLER TO CONFIRM SIGN FASCIA  
DIMENSIONS IN THE FIELD BEFORE INSTALLING  
SIGNAGE. IF ANY DISCREPANCIES, NOTIFY  
ROSS STORE DESIGN.

- A** 72"H INDIVIDUAL "ROSS" PAN CHANNEL  
LETTER-LOK LOGO LETTERS:  
FACES: PLASKOLITE OPTIX.LD 2406 WHITE  
WITH 3M 3730-167L BLUE VINYL FILM OVERLAY.  
RETURNS: 8"D ALUM. W/ WHITE FINISH  
TRIM CAP: 2" WHITE JEWELITE  
LETTER BACKS: ALUMINUM  
LEDs: PRINCIPAL TRUE WHITE QWIK MOD 3 (7100K)  
MOUNTING: 1/4"-20 GALV. THRU BOLTS  
PEG OFF: 1/2" SPACERS

- 1 SIGN FASCIA BY LANDLORD,  
SEE NOTES
- 2 ONE (1) SET OF FIVE (5) EYE-BOLTS  
FOR BANNER ATTACHMENT BY  
LANDLORD



### SIGN AREA CALCULATION : AMMENDMENT REQUIRED :

SIGN AREA **ALLOWED**: 386 sf (FOR ALL ELEVATIONS)  
SIGN AREA **PROPOSED**: 144 sf  
TOTAL FOR ALL ELEVATIONS : 776.22 sf



ROSS 6'H x 24'W = 144 sf

23

**① REAR • EAST • INTERSTATE 29 ON-RAMP • ELEVATION**

**SCALE: 3/32" = 1'-0"**



**Ideas to Identity**

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**bill moore & associates**



**ROSS**

DRESS FOR LESS

**#2744 COUNCIL BLUFFS**

Manawa Power Center

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Council Bluffs, IA 51501

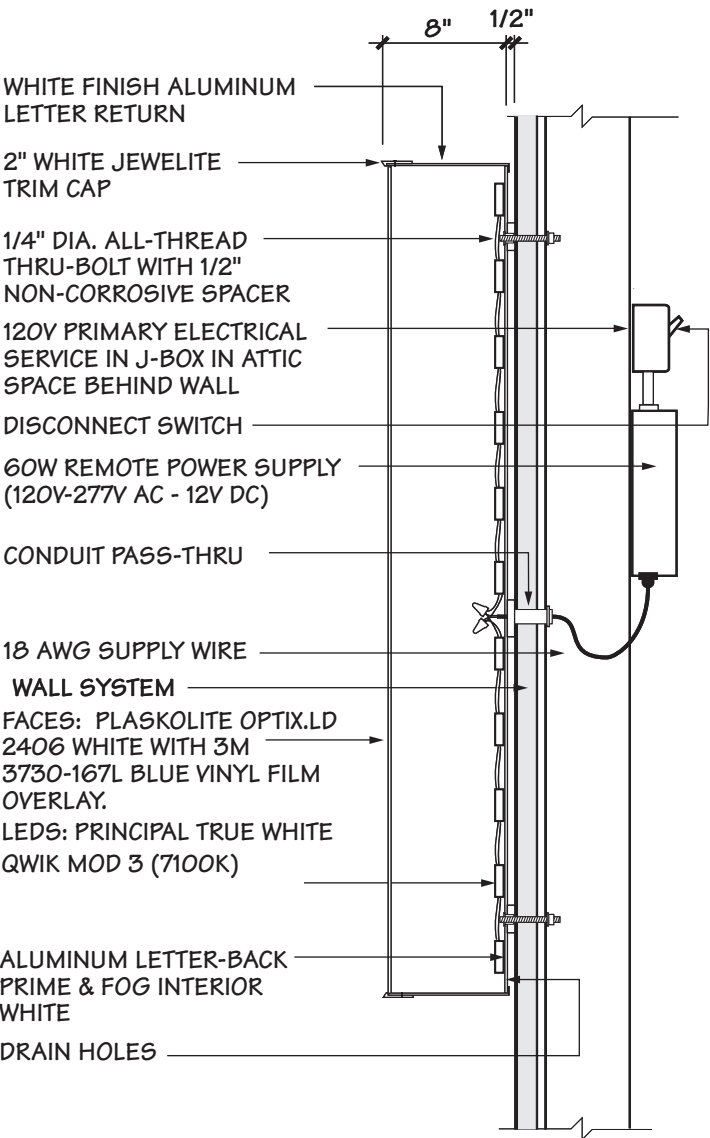
drawn (initial)	08/19/24
72" 'ROSS'	09/19/24
Exhibit J	09/19/24

**SHEET**

**S3**

Notes:

- ROSS CONTRACTOR TO PROVIDE:
- ADEQUATE STRUCTURE BEHIND WALL FASCIA FOR SIGN ATTACHMENT. PLYWOOD BACKING OR BLOCKING IS REQUIRED BEHIND E.I.F.S. WALL SYSTEMS AT ALL SIGN ATTACHMENT POINTS.
  - ACCESS TO AREA BEHIND ENTIRE SIGN FOR INSTALLATION, WIRING AND MAINTENANCE PER N.E.C. ARTICLE 600.
  - ISOLATED 20 AMP, 120V SINGLE-PHASE SIGN CIRCUIT TERMINATED IN JUNCTION BOXES WITHIN FIVE FEET OF THE SIGN LOCATION AND CONTROLLED BY THE E.M.S.



**1** SECTION AT 'ROSS' LETTERS  
MIDDLE FEED N.T.S.

ANCHOR SCHEDULE: 1/4" DIA. ANCHORS - MINIMUM FIVE (5) PER "ROSS" LETTER, MINIMUM FOUR (4) PER "DRESS FOR LESS" LETTER	
ANCHORS TO BE THRU BOLTS IF POSSIBLE, ALTERNATE ANCHORS PER WALL TYPE SHOWN BELOW FOR USE IF THRU BOLTING IS NOT POSSIBLE	
WALL STRUCTURE	ANCHOR TYPE
WOOD BLOCKING	LAG BOLT (1-1/2" EMBEDMENT)
EIFS OVER 5/8" PLYWOOD	LIBERTY TOGGLE BOLT
HOLLOW CONCRETE BLOCK	SLEEVE ANCHOR (1-1/2" EMBEDMENT)
SOLID CONCRETE / MASONRY	WEDGE ANCHOR (2-1/2" EMBEDMENT)



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Council Bluffs, IA 51501

drawn 11/11/24

SHEET  
SD3

**Notes:**

SEE SHEET S1 FOR UNDER-CANOPY SIGN LOCATION.

GENERAL CONTRACTOR TO PROVIDE:

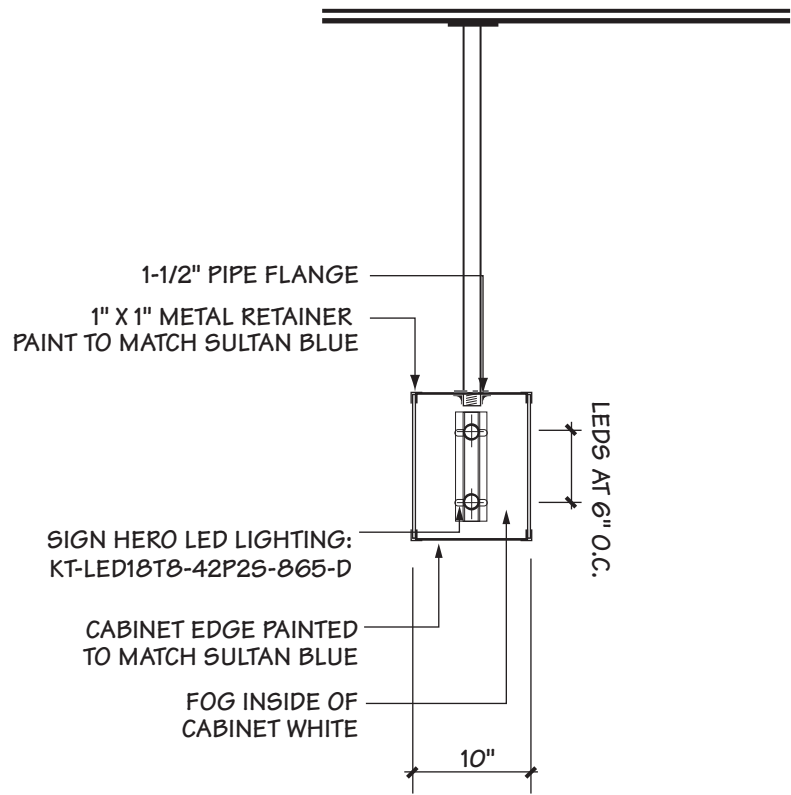
- ACCESS ABOVE CEILING FOR SIGN INSTALLATION,
- 120V ELECTRICAL SERVICE
- J-BOX WITHIN FIVE (5) FEET OF SIGN LOCATION (CONNECTED TO ENERGY MANAGEMENT SYSTEM).

BMA TO PROVIDE:

- DOUBLE-FACED ALUMINUM CABINET
- ESCUTCHEON PLATES AT CEILING

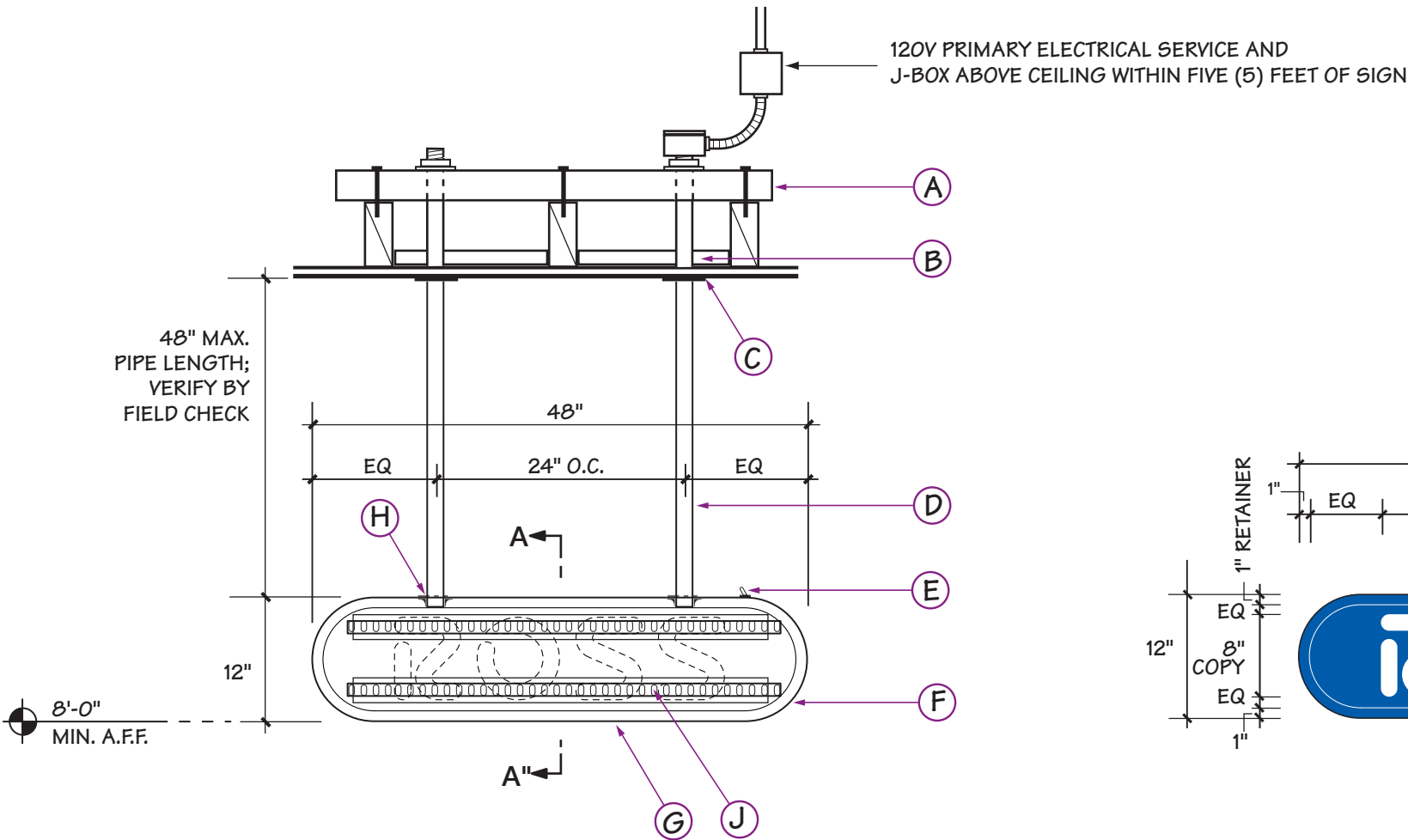
SIGN INSTALLER TO PROVIDE:

- WOOD OR STEEL ANGLE CROSS MEMBER (AND WOOD BLOCKING IF NECESSARY); SEE LETTER "B"
- 2 SCREWS FOR ESCUTCHEON PLATE; PRIME AND PAINT PLATES AND SCREW HEADS TO MATCH CEILING: SEE LETTER "C"
- 1-1/2" DIA. GAVANIZED STEEL PIPE SUPPORTS (TYP. OF TWO); THREAD ENDS TO SECURE INSIDE CABINET AND ABOVE CEILING. PRIME AND PAINT TO MATCH CEILING. SEE LETTER "D"



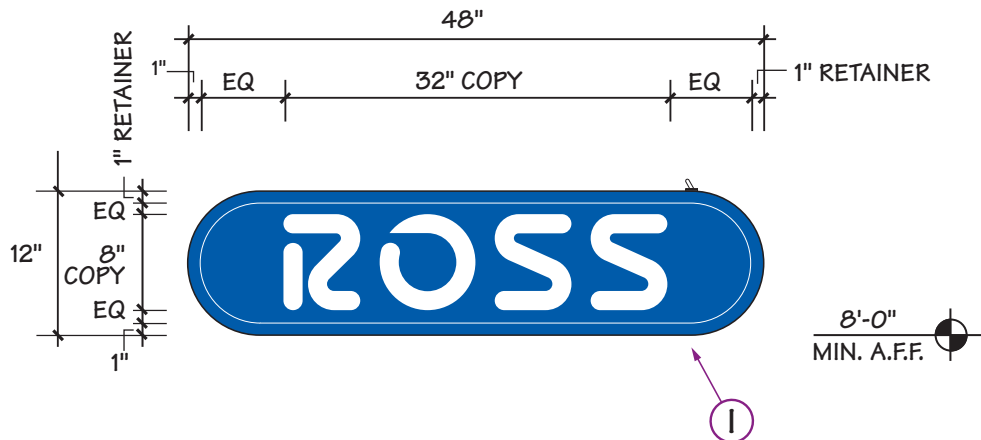
3 SECTION A-A'  
SCALE: 3/4" = 1'- 0"

- A WOOD OR STEEL ANGLE CROSS MEMBER (AND WOOD BLOCKING IF NECESSARY) ANCHORED TO CANOPY JOISTS.
- B 2" DIA. HOLE FOR PIPE SUPPORTS; FASTEN PIPES WITH FENDER WASHERS AND LOCK NUTS AS REQUIRED
- C ESCUTCHEON PLATE AT CEILING; SECURE WITH 2 SCREWS, PRIME AND PAINT PLATES AND SCREW HEADS TO MATCH CEILING
- D 1-1/2" DIA. GALVANIZED STEEL PIPE SUPPORTS (TYP. OF TWO) CUT TO LENGTH FOR FINISH CABINET HEIGHT
- E DISCONNECT SWITCH; INSTALL CABINET SO SWITCH AND U.L. LABEL FACE STORE
- F CABINET: 12" X 48" X 10" DOUBLE-FACED ALUMINUM PRIMED W/ ZINC CHROMATE; CABINET EDGE AND 1" RETAINERS PAINTED TO MATCH SULTAN BLUE (PMS 286).
- G 1/4" DIA. DRAINHOLE AT BOTTOM OF CABINET, TYP.
- H WEATHERPROOF SILICONE SEAL AROUND PIPE PENETRATIONS INTO CABINET, TYP.
- I FACES: 0.177 (3/16") WHITE LEXAN FACE WITH 8"H 'ROSS' COPY REVERSED OUT OF 3M 3630-157 SULTAN BLUE TRANSLUCENT VINYL OVERLAY
- J SIGN HERO LED LIGHTING: KT-LED18TB-42P25-865-D

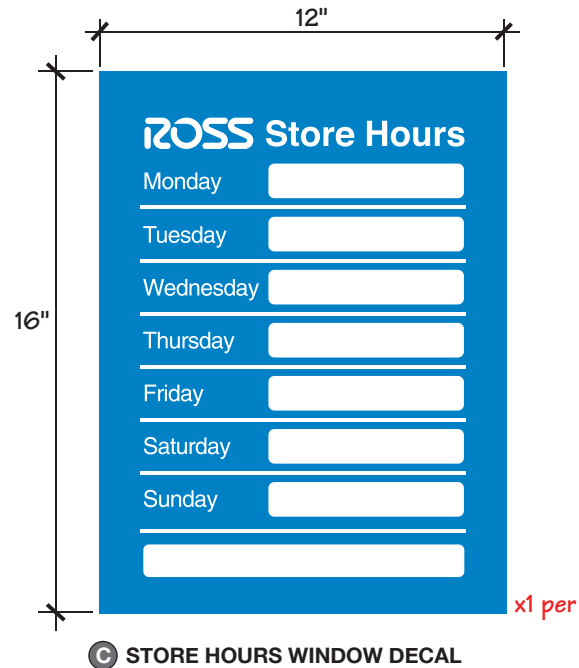
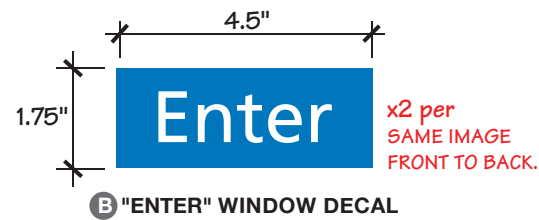
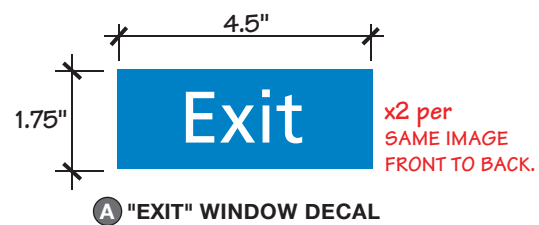


2 D/F UNDER-CANOPY FRAMING ELEVATION  
SCALE: 3/4" = 1'- 0"

- Installaler to:**
- DRILL 2" DIA. HOLES FOR PIPE SUPPORTS; FASTEN PIPES WITH FENDER WASHERS AND LOCK NUTS AS REQUIRED.
  - PROVIDE AND CUT TO LENGTH: 1-1/2" DIA. GALVANIZED STEEL PIPE SUPPORTS; THREAD ENDS TO SECURE INSIDE CABINET AND ABOVE CEILING. PRIME AND PAINT TO MATCH CEILING.
  - PROVIDE AND USE TWO (2) SCREWS TO SECURE ESCUTCHEON PLATES; PRIME AND PAINT PLATES AND SCREW HEADS TO MATCH CEILING

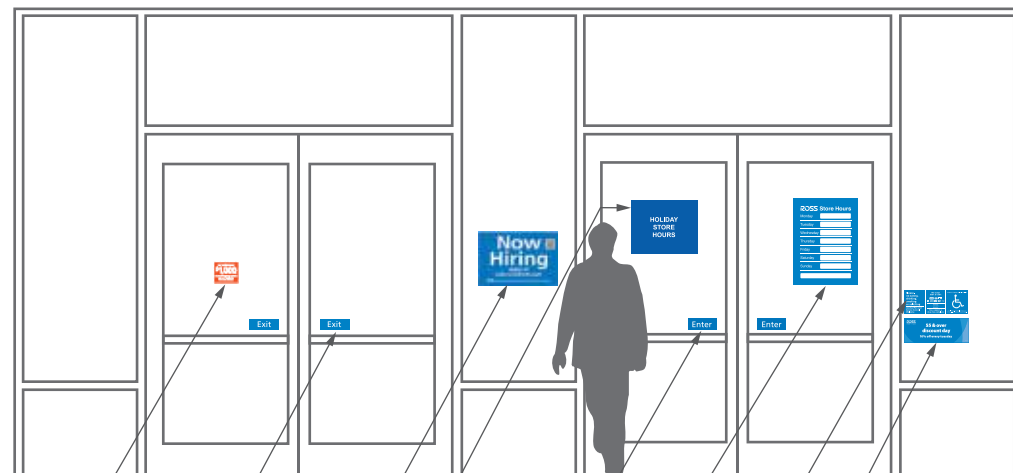
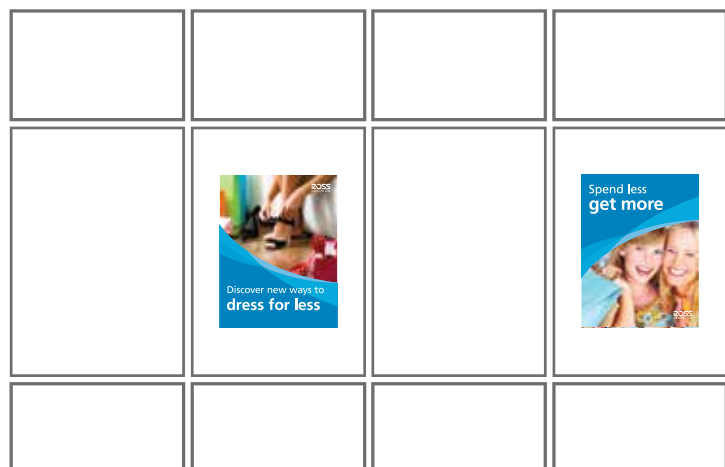


1 D/F UNDER-CANOPY FACE DETAIL  
SCALE: 3/4" = 1'- 0"



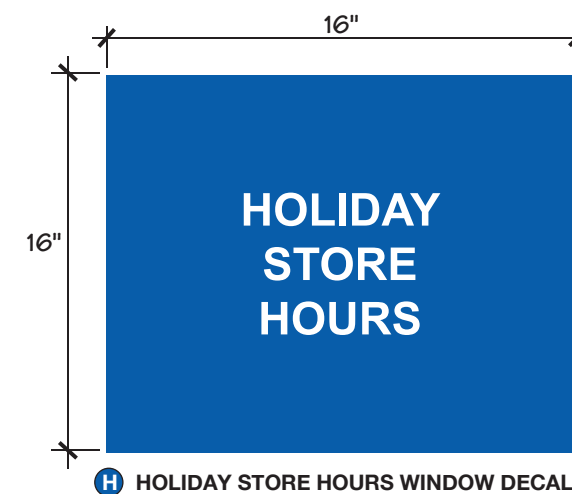
## 2 EVERY DAY ALL STORES WINDOW DECAL • DETAIL

NO SCALE



## 1 STORE ENTRY ELEVATION - STORE HOURS DECALS

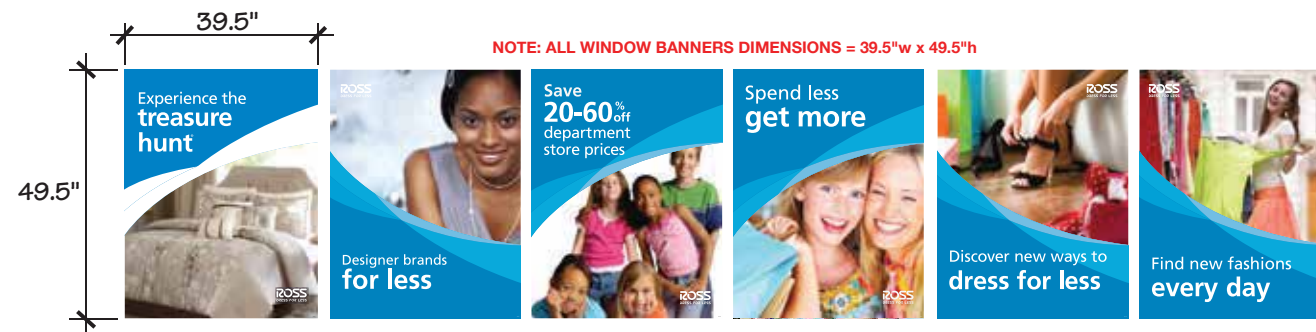
NO SCALE



## 3 PROMOTIONAL ALL STORES WINDOW DECAL • DETAIL

ALL = x1 per

NO SCALE



## 4 WINDOW BANNERS • DETAIL

NO SCALE





Notes:

SEE SHEET S1 FOR PLAQUE LOCATIONS.

GENERAL CONTRACTOR TO PROVIDE:

- VERIFICATION AND PREPARATION OF WALL SURFACE - IF WALL SURFACE IS UNEVEN (EXAMPLE: SPLIT-FACE CMU OR STONE VENEER), GENERAL CONTRACTOR TO KNOCK DOWN ROUGH SURFACE 2" BEYOND EDGE OF PLAQUE SO IT WILL SIT FLUSH AGAINST THE WALL. SEE SECTION A-A BELOW.

BMA TO PROVIDE:

- PLAQUES, HARDWARE AND INSTALLATION PATTERNS TO SIGN INSTALLER
- FULL-SIZED OVAL TEMPLATE TO GENERAL CONTRACTOR TO FACILITATE RESURFACING OF WALL AREA BEHIND PLAQUES. BMA TO VERIF WALL FINISH BEFORE SENDING PATTERN

SIGN INSTALLER TO PROVIDE:

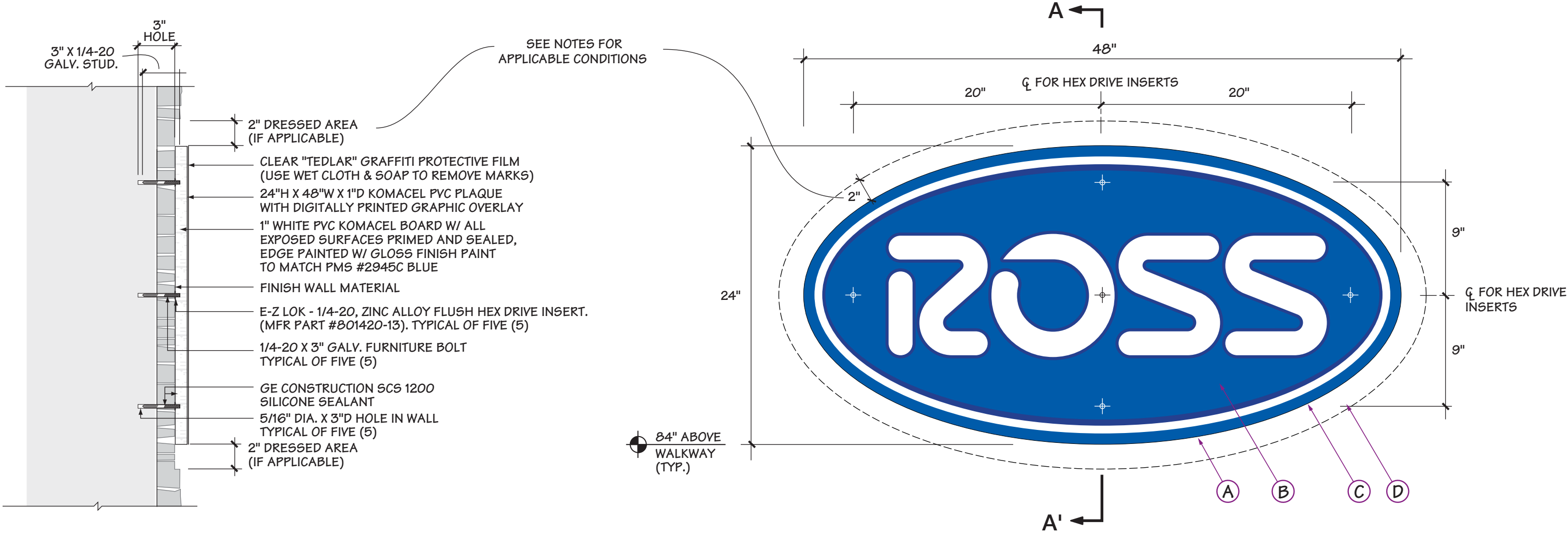
- GE CONSTRUCTION SCS1200 SILICONE SEALANT

- A** 24"H X 48"W X 1"D KOMACEL OVAL "ROSS" LOGO WALL PLAQUE; SEE SHEET S1 FOR LOCATION(S).
- B** DIGITALLY PRINTED 3M CONTROL TAC GRAPHIC: 9.6"H x 35"W WHITE "ROSS" COPY .25" PMS #296C DARK BLUE COPY OUTLINE PMS #2945C BLUE BACKGROUND .25" PMS #296C DARK BLUE 1ST OUTLINE, .625" WHITE 2ND OUTLINE .875" PMS #2945C BLUE 3RD OUTLINE

- C** CLEAR "TEDLAR" GRAFFITI GUARD FILM OVERLAY
- D** 2" DRESSED AREA (IF NECESSARY)

Installation Instructions:

- DRILL FIVE (5) 5/16" DIA. X 3" DEEP HOLES INTO WALL AS PER PATTERN.
- SCREW 3" X 1/4-20 MACHINE-THREAD END OF GALV. FURNITURE BOLTS INTO EMPTY HEX DRIVE INSERTS INTO BACK OF PLAQUE UNTIL THEY CONTACT THE PVC. (DO NOT OVER-TIGHTEN).
- USING GE CONSTRUCTION SCS 1200 SILICONE SEALANT, FILL HOLES IN WALL, COAT SCREW-THREAD ENDS OF FURNITURE BOLTS AND APPLY HEAVY BEAD TO BACK OF PLAQUE
- MOUNT PLAQUE ONTO WALL BY PUSHING BOLTS INTO HOLES UNTIL PLAQUE IS FLUSH AGAINST WALL SURFACE.

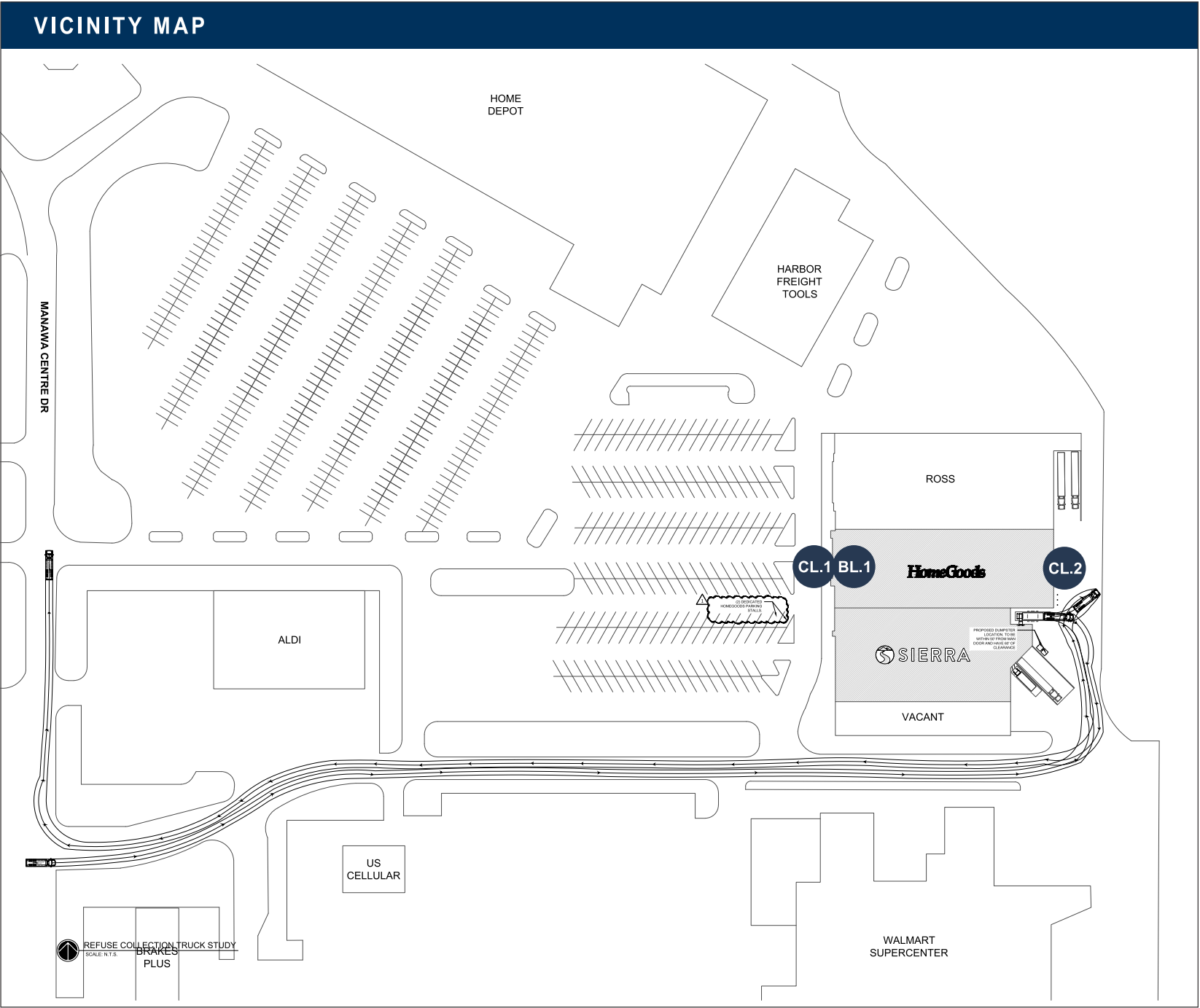


2 SECTION A-A' AT MOUNT

SCALE: 1-1/2" = 1'-0"

1 OVAL ENTRANCE LOGO PLAQUE ELEVATION

SCALE: 1-1/2" = 1'-0"



SCALE: N.T.S.

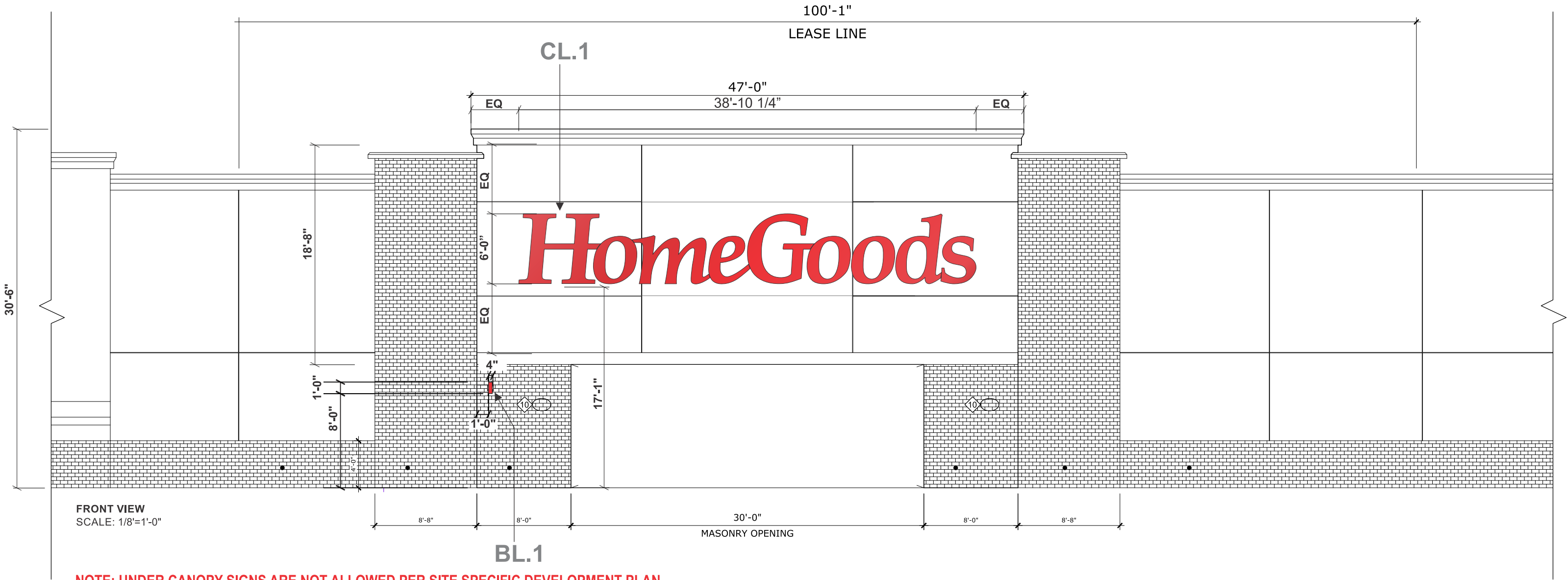
SCOPE OF WORK		
EXTERIOR SIGNS		QTY
CL.1	6'-0" FACE LIT CHANNEL LETTERS - FRONT	1
CL.2	3'-0" FACE LIT CHANNEL LETTERS - REAR	1
BL.1	DF ILLUMINATED BLADE SIGN - FRONT	1
SIGN CODE REVIEW		
site code has total aggregate area of 100 sq ft of signage allowed		

<div>JONES SIGN</div> <div>Your Vision. Accomplished.</div> <div>A MORTENSEN COMPANY</div>	<div>JOB #: 293183_R3 WANT</div> <div>DATE: 10.29.00</div> <div>DESIGNER: JM</div> <div>SALES REP: House</div> <div>PROJ MGR: L HAWKINS</div>	<div>REQUIRED:</div> <div><div><input type="checkbox"/> FIELD SURVEY</div><div><input type="checkbox"/> VECTOR ARTWORK</div></div> <div><div><input type="checkbox"/> PAINT COLOR</div><div><input type="checkbox"/> CLIENT PMS COLOR</div></div> <div><div><input type="checkbox"/> FONTS</div><div><input type="checkbox"/> ENGINEERING</div></div>
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OTHER:

CL.1 6'-0" FACE LIT CHANNEL LETTERS (Qty. 1) PART# HG1CL72-467-5L

Allowable Square Footage this Elevation:	TBD
Boxed Square Footage this Elevation:	233.1
Actual Square Footage this Elevation:	188.1



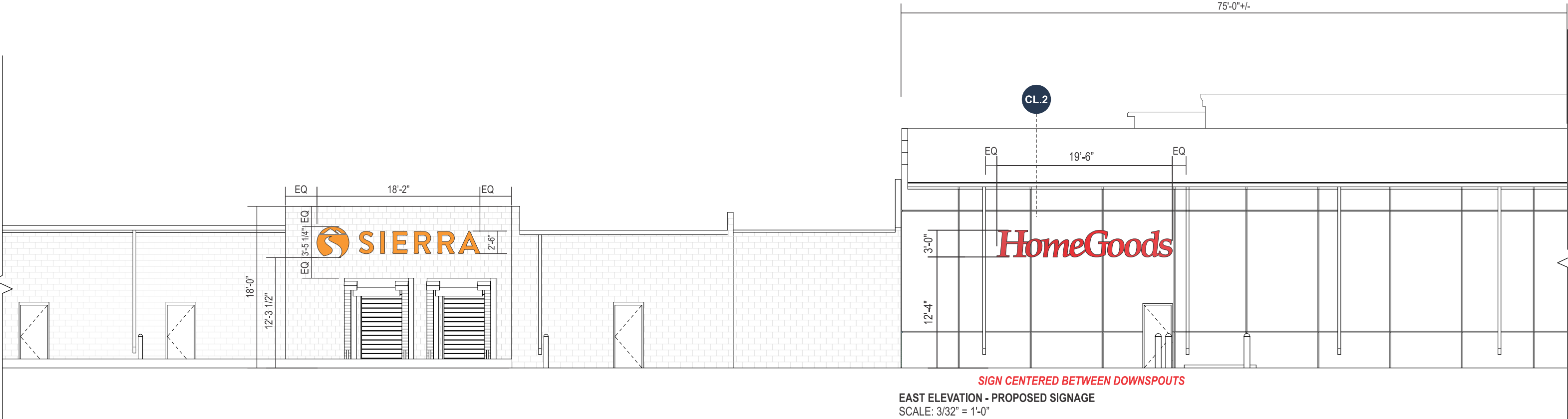
NOTE: UNDER CANOPY SIGNS ARE NOT ALLOWED PER SITE SPECIFIC DEVELOPMENT PLAN.  
BLADE SIGNS ARE PERMITTED IN AN MCR AND PC DISTRICT, SUBJECT TO AN APPROVED AMENDED DEVELOPMENT PLAN  
ALLOWABLE SQ FT THIS ELEVATION: TBD

<div>JONES SIGN</div> <div>Your Vision. Accomplished.</div> <div>A MORTENSEN COMPANY</div>	<div>JOB #: 293183_R3 WANT</div> <div>DATE: 10.29.00</div> <div>DESIGNER: JM</div> <div>SALES REP: House</div> <div>PROJ MGR: L HAWKINS</div>	<div>REQUIRED:</div> <div><div><input type="checkbox"/> FIELD SURVEY</div><div><input type="checkbox"/> VECTOR ARTWORK</div></div> <div><div><input type="checkbox"/> PAINT COLOR</div><div><input type="checkbox"/> CLIENT PMS COLOR</div></div> <div><div><input type="checkbox"/> FONTS</div><div><input type="checkbox"/> ENGINEERING</div></div>
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OTHER:

EAST ELEVATION

Allowable Square Footage this Elevation:	
Boxed Square Footage this Elevation:	58.5
Actual Square Footage this Elevation:	46.9

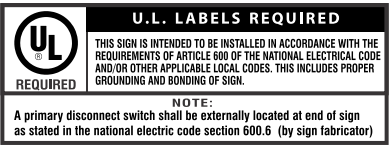


<div>JONES SIGN</div> <div>Your Vision. Accomplished.</div> <div>A MORTENSEN COMPANY</div>	JOB #: 293183_R3 WANT	REQUIRED: <div><div><input type="checkbox"/> FIELD SURVEY</div><div><input type="checkbox"/> VECTOR ARTWORK</div></div> <div><div><input type="checkbox"/> PAINT COLOR</div><div><input type="checkbox"/> CLIENT PMS COLOR</div></div> <div><div><input type="checkbox"/> FONTS</div><div><input type="checkbox"/> ENGINEERING</div></div>
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OTHER:

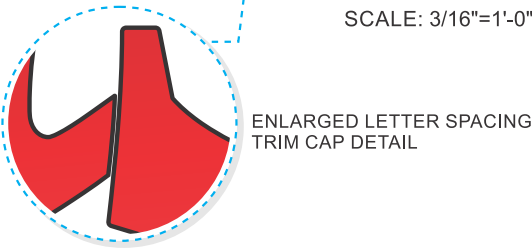
CL.1 6'-0" FACE LIT CHANNEL LETTERS (Qty. 1) PART# HG1CL72-467-5L

Allowable Square Footage this Elevation:	TBD
Boxed Square Footage this Elevation:	233.1
Actual Square Footage this Elevation:	188.1



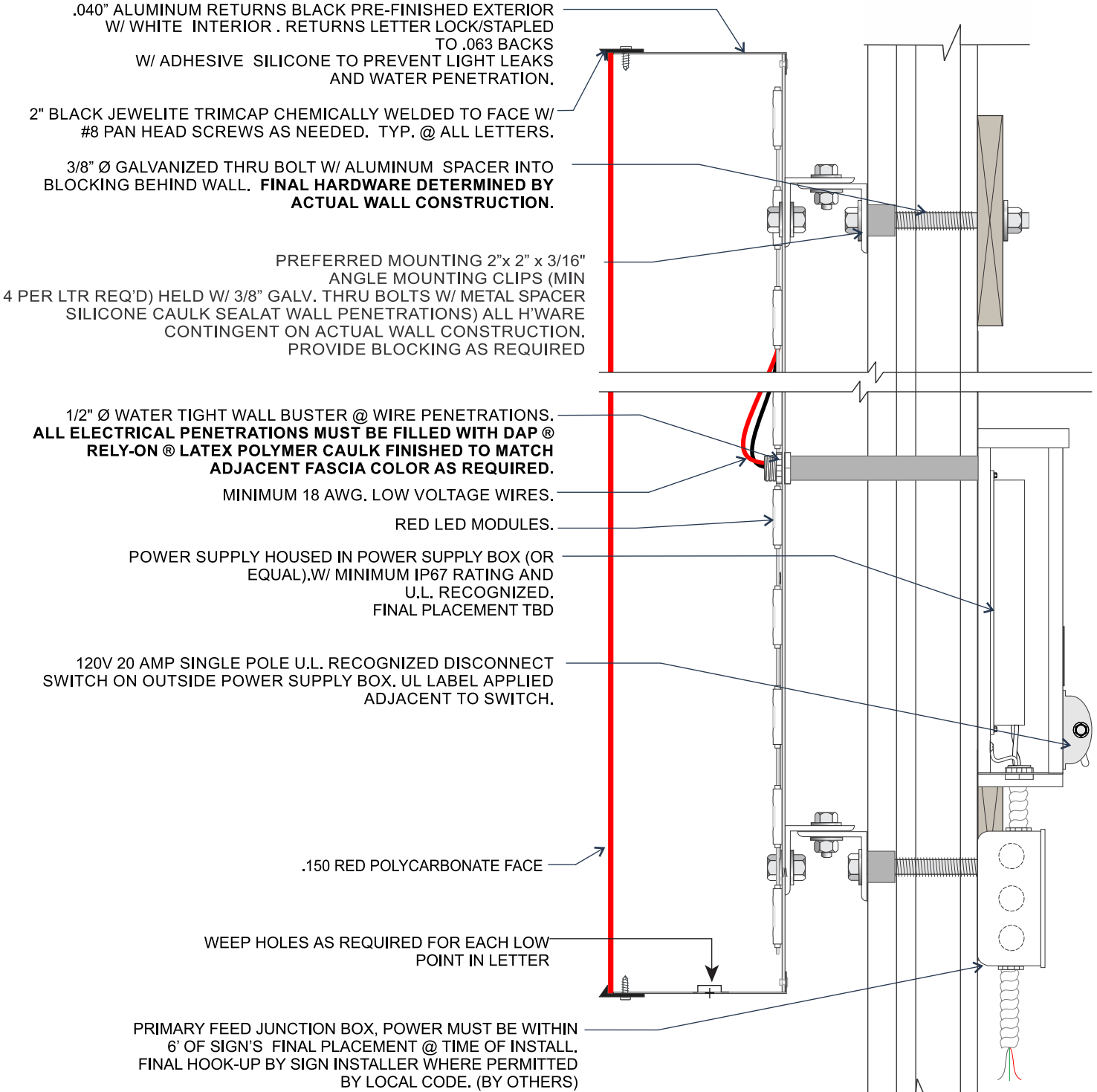
ELECTRICAL NOTES:

- U.L. LISTED
- ALL ELECTRICAL WORK SHALL BE PERFORMED IN ACCORDANCE WITH "NEC" REF. SECTION 600 TO MEET LOCAL CODE.
- ALL ELECTRICAL SIGN SECTIONS TO HAVE U.L. LABELS IN ACCORDANCE WITH "NEC" 600.3 AND MANUFACTURERS LABEL LOCATED NEXT TO DISCONNECT SWITCH
- ALL NON-CURR/BWENT CARR/BWYING METAL PARTS OF SIGN SHALL BE GROUNDED & BONDED IN ACCORDANCE WITH "NEC" 250
- SPlicing OF CONDUCTORS SHALL BE MADE IN JUNCTION BOXES OR SIMILAR METAL ENCLOSURES
- AT THE POINT THAT ELECTRICAL CABLE PASSES THRU THE SIGN BOX, IT SHALL PASS THRU A U.L. LISTED GROMMET.
- FINAL PRIMARY HOOK-UP BY SIGN INSTALLER WHERE ALLOWED BY CODE.



GENERAL NOTES:

- NO EXPOSED FASTENERS TO BE USED. IF EXPOSED FASTENERS MUST BE USED THEN THEY MUST BE COUNTER SUNK AND PAINTED TO MATCH ADJACENT FINISH, UNLESS NOTED OTHERWISE.
- ALL HARDWARE TO BE NON CORR/BWOSIVE.
- ALL VISIBLE EDGES TO BE FILLED AND FINISHED.
- ALL WELDS TO BE GROUND SMOOTH.
- SIGNAGE TO CONTAIN BAFFLES AND DRAIN HOLES AS NEEDED.
- INSTALL TEMPLATE TO BE INCLUDED WITH LETTER BY FABRICATOR.



CHANNEL LETTER - VERTICAL SECTION  
SCALE: 3"=1'-0"

SPECIFICATIONS:

1. FABRICATE FACE-LIT CHANNEL LETTERS M-1
2. RETURNS: 5" P-1
3. TRIMCAP: 2" BLACK JEWELITE
4. LED'S: RED

COLORS / FINISHES:

- M-1 3/16" #2793 RED POLYCARB FACES.
- P-1 MP BLACK (SATIN FINISH)

ALL CONDITIONS MUST BE FIELD VERIFIED

<b>JONES SIGN</b> Your Vision. Accomplished. <small>A MORTENSEN COMPANY</small>	JOB #: 293183_R3 WANT DATE: 10.29.00 DESIGNER: JM SALES REP: House PROJ MGR: L HAWKINS	<b>REQUIRED:</b> <input type="checkbox"/> FIELD SURVEY <input type="checkbox"/> PAINT COLOR <input type="checkbox"/> FONTS <input type="checkbox"/> VECTOR ARTWORK <input type="checkbox"/> CLIENT PMS COLOR <input type="checkbox"/> ENGINEERING <b>OTHER:</b>	LANDLORD APPROVAL DATE		ADDRESS: 32ND AVE & MANAWA CENTER DRIVE COUNCIL BLUFFS, IA 51501	SHEET NUMBER <b>5.0</b>
			CLIENT APPROVAL DATE			



CL.2 3'-0" FACE LIT CHANNEL LETTERS (Qty 1) PART# HG1CL36-234-5L

Allowable Square Footage this Elevation:	
Boxed Square Footage this Elevation:	58.5
Actual Square Footage this Elevation:	46.9



**U.L. LABELS REQUIRED**  
THIS SIGN IS INTENDED TO BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF ARTICLE 600 OF THE NATIONAL ELECTRICAL CODE AND/OR OTHER APPLICABLE LOCAL CODES. THIS INCLUDES PROPER GROUNDING AND BONDING OF SIGN.

REQUIRED

NOTE:  
A primary disconnect switch shall be externally located at end of sign as stated in the national electric code section 600.6 (by sign fabricator)

ELECTRICAL NOTES:

- U.L. LISTED
- ALL ELECTRICAL WORK SHALL BE PERFORMED IN ACCORDANCE WITH "NEC" REF. SECTION 600 TO MEET LOCAL CODE.
- ALL ELECTRICAL SIGN SECTIONS TO HAVE U.L. LABELS IN ACCORDANCE WITH "NEC" 600.3 AND MANUFACTURERS LABEL LOCATED NEXT TO DISCONNECT SWITCH
- ALL NON-CURR/BWENT CARR/BWYING METAL PARTS OF SIGN SHALL BE GROUNDED & BONDED IN ACCORDANCE WITH "NEC" 250
- SPlicing OF CONDUCTORS SHALL BE MADE IN JUNCTION BOXES OR SIMILAR METAL ENCLOSURES
- AT THE POINT THAT ELECTRICAL CABLE PASSES THRU THE SIGN BOX, IT SHALL PASS THRU A U.L. LISTED GROMMET.
- FINAL PRIMARY HOOK-UP BY SIGN INSTALLER WHERE ALLOWED BY CODE.

GENERAL NOTES:

- NO EXPOSED FASTENERS TO BE USED. IF EXPOSED FASTENERS MUST BE USED THEN THEY MUST BE COUNTER SUNK AND PAINTED TO MATCH ADJACENT FINISH, UNLESS NOTED OTHERWISE.
- ALL HARDWARE TO BE NON CORR/BWOSIVE.
- ALL VISIBLE EDGES TO BE FILLED AND FINISHED.
- ALL WELDS TO BE GROUND SMOOTH.
- SIGNAGE TO CONTAIN BAFFLES AND DRAIN HOLES AS NEEDED.
- INSTALL TEMPLATE TO BE INCLUDED WITH LETTER BY FABRICATOR.

- .040" ALUMINUM RETURNS BLACK PRE-FINISHED EXTERIOR W/ WHITE INTERIOR . RETURNS LETTER LOCK/STAPLED TO .063 BACKS W/ ADHESIVE SILICONE TO PREVENT LIGHT LEAKS AND WATER PENETRATION.
- 1" BLACK JEWELITE TRIMCAP CHEMICALLY WELDED TO FACE W/ #8 PAN HEAD SCREWS AS NEEDED. TYP. @ ALL LETTERS.
- 3/8" Ø GALVANIZED THRU BOLT W/ ALUMINUM SPACER INTO BLOCKING BEHIND WALL. **FINAL HARDWARE DETERMINED BY ACTUAL WALL CONSTRUCTION.**
- PREFERRED MOUNTING 2"x 2" x 3/16" ANGLE MOUNTING CLIPS (MIN 4 PER LTR REQ'D) HELD W/ 3/8" GALV. THRU BOLTS W/ METAL SPACER SILICONE CAULK SEALAT WALL PENETRATIONS) ALL H'WARE CONTINGENT ON ACTUAL WALL CONSTRUCTION. PROVIDE BLOCKING AS REQUIRED

- 1/2" Ø WATER TIGHT WALL BUSTER @ WIRE PENETRATIONS. **ALL ELECTRICAL PENETRATIONS MUST BE FILLED WITH DAP® RELY-ON® LATEX POLYMER CAULK FINISHED TO MATCH ADJACENT FASCIA COLOR AS REQUIRED.**
- MINIMUM 18 AWG. LOW VOLTAGE WIRES.
- RED LED MODULES.
- POWER SUPPLY HOUSED IN POWER SUPPLY BOX (OR EQUAL).W/ MINIMUM IP67 RATING AND U.L. RECOGNIZED. FINAL PLACEMENT TBD
- 120V 20 AMP SINGLE POLE U.L. RECOGNIZED DISCONNECT SWITCH ON OUTSIDE POWER SUPPLY BOX. UL LABEL APPLIED ADJACENT TO SWITCH.

3/16" THK. #2793 RED TRANSLUCENT ACRYLIC FACE.

WEEP HOLES AS REQUIRED FOR EACH LOW POINT IN LETTER

PRIMARY FEED JUNCTION BOX, POWER MUST BE WITHIN 6' OF SIGN'S FINAL PLACEMENT @ TIME OF INSTALL. FINAL HOOK-UP BY SIGN INSTALLER WHERE PERMITTED BY LOCAL CODE. (BY OTHERS)

CHANNEL LETTER - VERTICAL SECTION  
SCALE: 3"=1'-0"

SPECIFICATIONS:

1. FABRICATE FACE-LIT CHANNEL LETTERS *M-1*
2. RETURNS: 5" *P-1*
3. TRIMCAP: 1" BLACK JEWELITE
4. LED'S: RED

COLORS / FINISHES:

- M-1* 3/16" #2793 RED PLEX FACES.
- P-1* MP BLACK (SATIN FINISH)

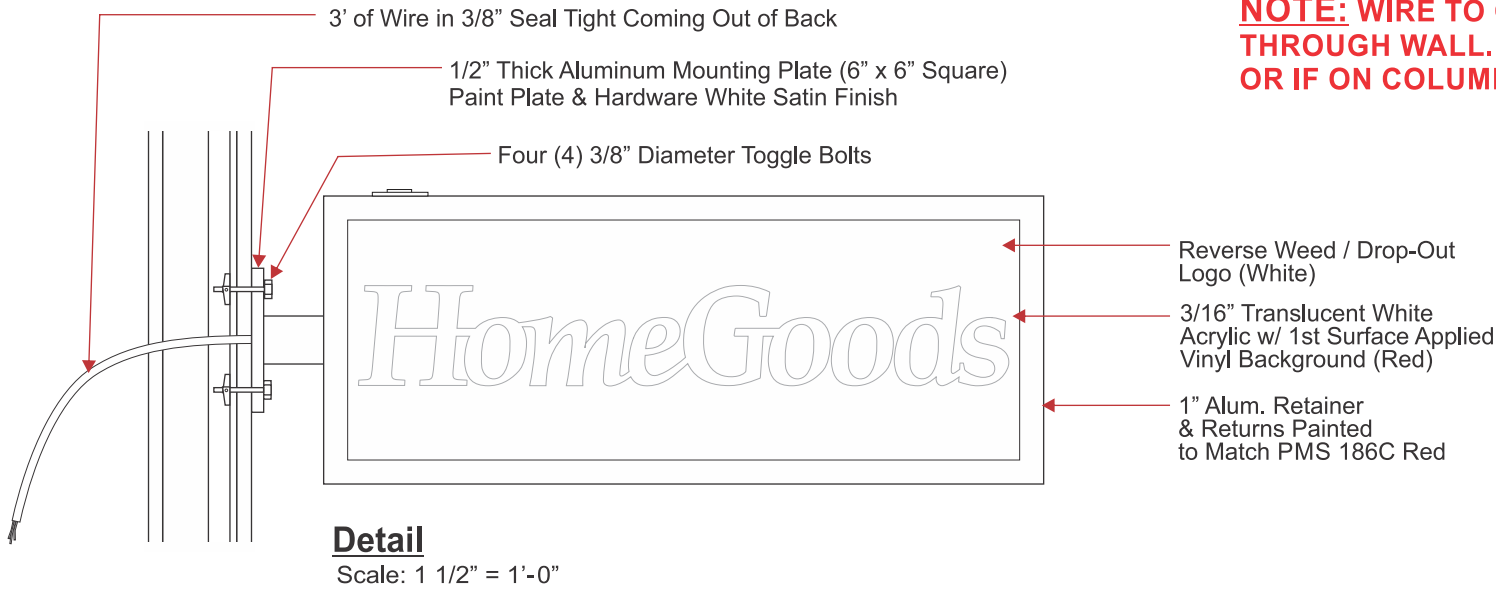
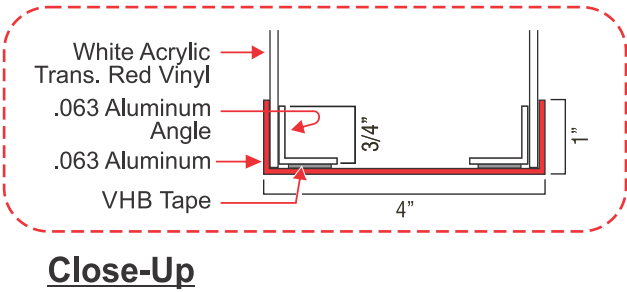
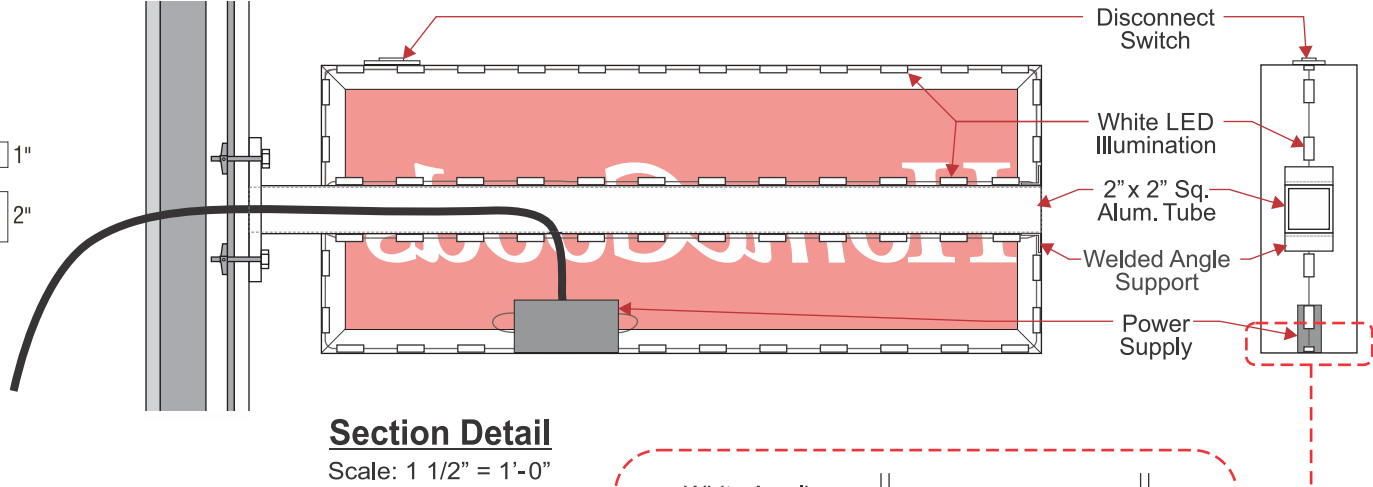
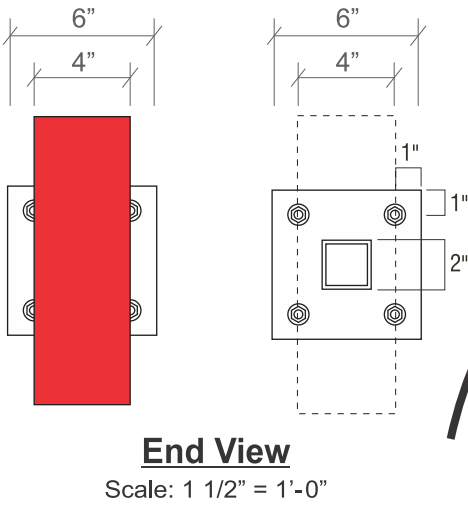
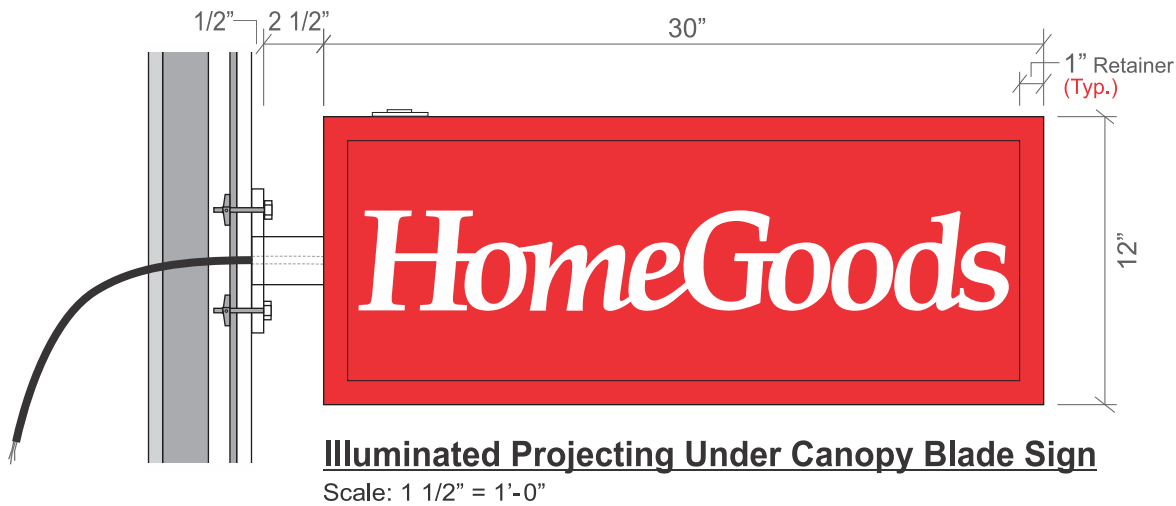
ALL CONDITIONS MUST BE FIELD VERIFIED

	JOB #: 293183_R3 WANT DATE: 10.29.00 DESIGNER: JM SALES REP: House PROJ MGR: L HAWKINS	<b>REQUIRED:</b> <input type="checkbox"/> FIELD SURVEY <input type="checkbox"/> PAINT COLOR <input type="checkbox"/> FONTS <input type="checkbox"/> VECTOR ARTWORK <input type="checkbox"/> CLIENT PMS COLOR <input type="checkbox"/> ENGINEERING <b>OTHER:</b>	LANDLORD APPROVAL DATE		ADDRESS: 32ND AVE & MANAWA CENTER DRIVE COUNCIL BLUFFS, IA 51501	SHEET NUMBER <b>6.0</b>
			CLIENT APPROVAL DATE			

BL.1 D/F ILLUMINATED BLADE SIGN (Qty 1)

Square Footage: 2.5

NOTE: UNDER CANOPY SIGNS ARE NOT ALLOWED PER SITE SPECIFIC DEVELOPMENT PLAN.  
BLADE SIGNS ARE PERMITTED IN AN MCR AND PC DISTRICT, SUBJECT TO AN APPROVED AMENDED DEVELOPMENT PLAN  
NOTE: PLACEMENT TBD BY TJX PM ALLOWABLE SQ FT THIS ELEVATION: TBD



NOTE: WIRE TO COME OUT END OF POLE THROUGH WALL. MAY BE VISIBLE INSIDE STORE OR IF ON COLUMN MAY NOT BE REACHABLE.

SPECIFICATIONS:	COLORS / FINISHES:
1. 3/16" WHITE ACRYLIC FACES	<div></div> V-1 3M #3630-33 RED
2. 1ST SURFACE VINYL APPLIED V-1	<div></div> P-2 MP RED ENAMEL PAINT TO MATCH 3M #3630-33 RED VINYL
3. CABINET & RETURNS PAINTED TO MATCH P-2	<div></div> P-3 MP WHITE ENAMEL (SATIN FINISH)
4. HORIZONTAL SUPPORT PAINTED TO MATCH P-3	
5. BRIGHT WHITE LED ILLUMINATION	
6. POWER SUPPLY (60 WATT) (120 VOLT)	

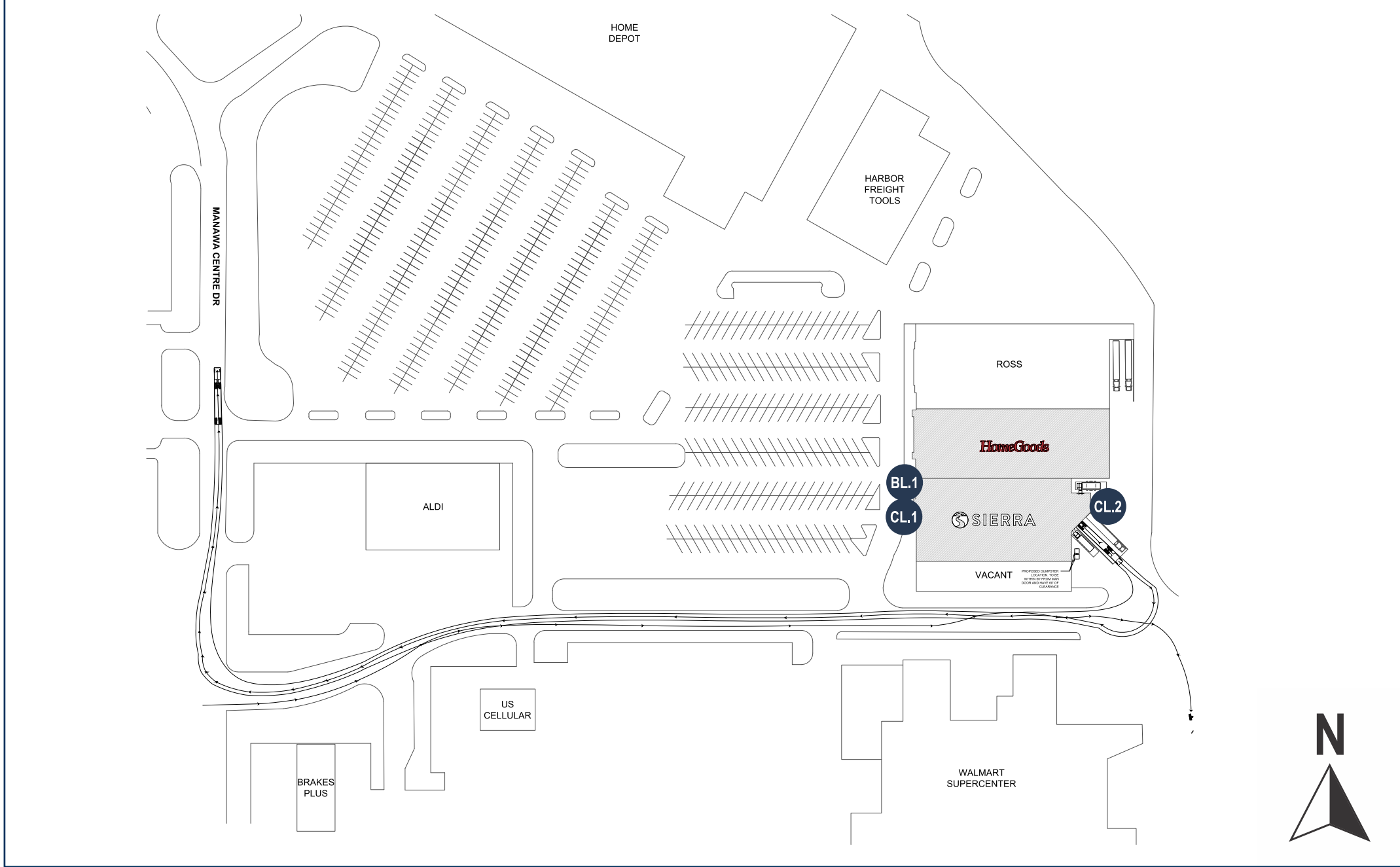
ALL CONDITIONS MUST BE FIELD VERIFIED

LEAVE BLANK  
FOR CITY STAMP

REMOVE COPY AND  
DASHED LINE BEFORE  
MAKING PDF

<b>JONES SIGN</b> Your Vision. Accomplished. <small>A MORTENSEN COMPANY</small>	JOB #: 293183_R3 WANT DATE: 10.29.00 DESIGNER: JM SALES REP: House PROJ MGR: L HAWKINS	<b>REQUIRED:</b> <input type="checkbox"/> FIELD SURVEY <input type="checkbox"/> PAINT COLOR <input type="checkbox"/> FONTS <input type="checkbox"/> VECTOR ARTWORK <input type="checkbox"/> CLIENT PMS COLOR <input type="checkbox"/> ENGINEERING <b>OTHER:</b>	LANDLORD APPROVAL DATE		ADDRESS: 32ND AVE & MANAWA CENTER DRIVE COUNCIL BLUFFS, IA 51501	SHEET NUMBER <b>7.0</b>
			CLIENT APPROVAL DATE			

SITEPLAN



SCOPE OF WORK

EXTERIOR SIGNS		QTY
CL.1	6'-0" FACE LIT CHANNEL LETTERS	1
CL.2	2'-6" FACE LIT CHANNEL LETTERS	1
BL.1	D/F ILLUMINATED BLADE SIGN	1
SIGN CODE REVIEW		
# OF BUILDING SIGNS ALLOWED? PRIMARY FACE AND SECONDARY FACE (CORNER OR DUAL FRONTAGE).		
MAXIMUM SF ALLOWED? CODE: COMPUTATION OF MAXIMUM TOTAL PERMITTED SIGN AREA. THE PERMITTED SUM OF THE AREA OF ALL INDIVIDUAL SIGNS (ATTACHED, DETACHED AND ON-PREMISE DIRECTIONALS) ON A LOT SHALL BE LIMITED TO THE FRONTAGE OF THE PREMISES ALONG A STREET OR PRIVATE WAY. FOR PROPERTY WITH FRONTAGE ON MORE THAN ONE STREET, THE TOTAL FRONTAGE SHALL BE CALCULATED AS THE LONGEST FRONTAGE PLUS ONE-HALF THE LENGTH OF ALL ADDITIONAL FRONTAGES.FOR PURPOSES OF THIS CHAPTER, THAT PART OF A PROPERTY LINE ABUTTING INTERSTATE RIGHT-OF-WAY, INCLUDING RAMPS, SHALL NOT BE CONSIDERED STREET FRONTAGE FOR CALCULATING THE MAXIMUM TOTAL PERMITTED SIGN AREA.		

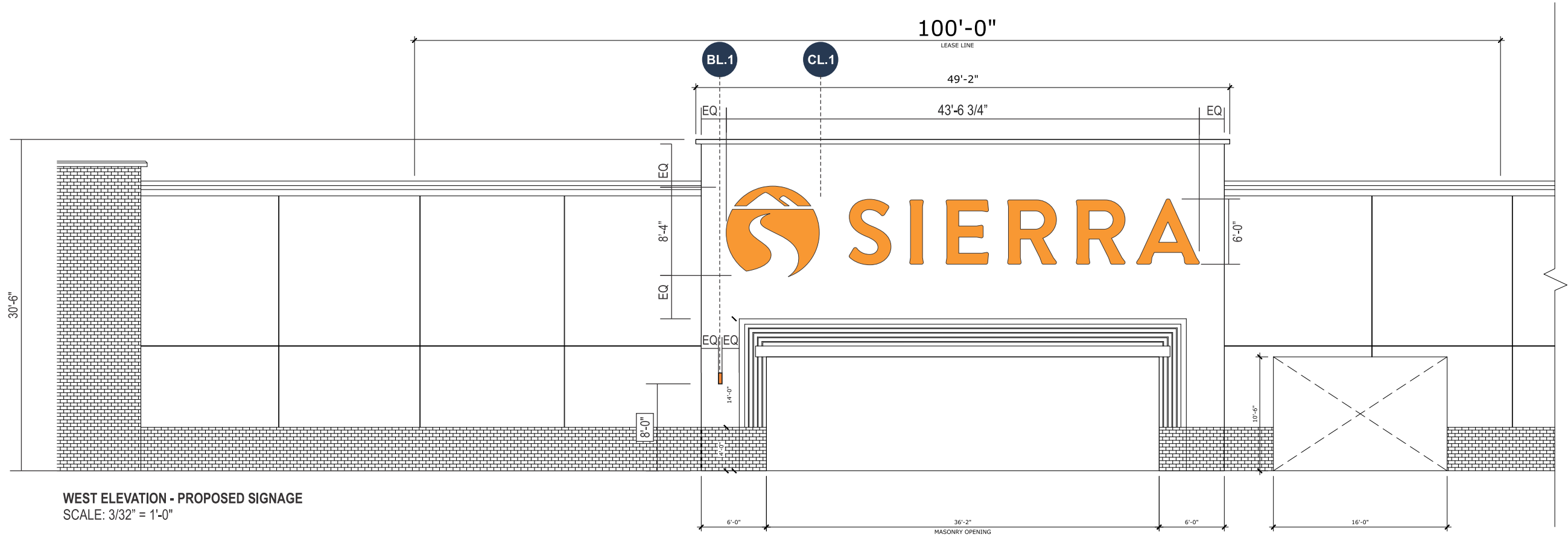
SCALE: NTS

<div><div>JONES SIGN</div><div>Your Vision. Accomplished.</div><div>A MORTENSEN COMPANY</div></div>	JOB #: 293185_R4_WANT DATE: 10.22.2024 DESIGNER: A. GREENSLADE SALES REP: J. GEHRT PROJ MGR: L. HAWKINS	<div>REQUIRED:</div> <div><div><input type="checkbox"/> FIELD SURVEY</div><div><input type="checkbox"/> VECTOR ARTWORK</div><div><input type="checkbox"/> PAINT COLOR</div><div><input type="checkbox"/> CLIENT PMS COLOR</div><div><input type="checkbox"/> FONTS</div><div><input type="checkbox"/> ENGINEERING</div></div> <div>OTHER:</div>	LANDLORD APPROVAL	DATE	<div></div>	SIERRA 32ND AVE & MANAWA CENTER DR COUNCIL BLUFFS, IA 51501	SHEET NUMBER <div>1.0</div>
			CLIENT APPROVAL	DATE			



WEST ELEVATION

Allowable Square Footage this Elevation:	TBD
Boxed Square Footage this Elevation:	363.02
Actual Square Footage this Elevation:	265.87

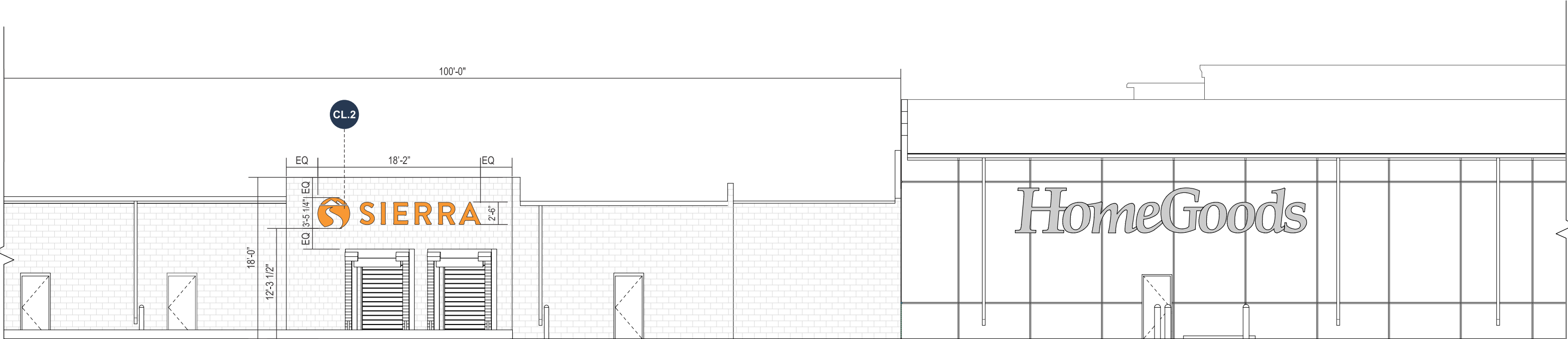


<div><div>JONES SIGN</div><div>Your Vision. Accomplished.</div><div>A MORTENSEN COMPANY</div></div>	<div>JOB #: 293185_R4_WANT</div> <div>DATE: 10.22.2024</div> <div>DESIGNER: A. GREENSLADE</div> <div>SALES REP: J. GEHRT</div> <div>PROJ MGR: L. HAWKINS</div>	<div>REQUIRED:</div> <div><div><input type="checkbox"/> FIELD SURVEY</div><div><input type="checkbox"/> VECTOR ARTWORK</div></div> <div><div><input type="checkbox"/> PAINT COLOR</div><div><input type="checkbox"/> CLIENT PMS COLOR</div></div> <div><div><input type="checkbox"/> FONTS</div><div><input type="checkbox"/> ENGINEERING</div></div>
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OTHER:

EAST ELEVATION

Allowable Square Footage this Elevation:	TBD
Boxed Square Footage this Elevation:	62.66
Actual Square Footage this Elevation:	45.89



EAST ELEVATION - PROPOSED SIGNAGE  
SCALE: 3/32" = 1'-0"

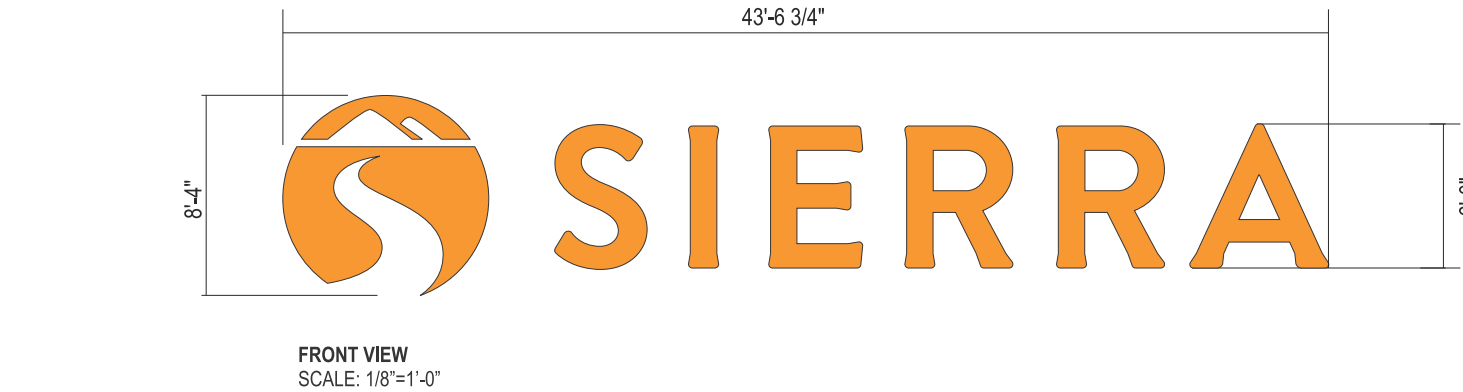
<div>JONES SIGN</div> <div>Your Vision. Accomplished.</div> <div>A MORTENSEN COMPANY</div>	<div>JOB #: 293185_R4_WANT</div> <div>DATE: 10.22.2024</div> <div>DESIGNER: A. GREENSLADE</div> <div>SALES REP: J. GEHRT</div> <div>PROJ MGR: L. HAWKINS</div>	<div>REQUIRED:</div> <div><div><input type="checkbox"/> FIELD SURVEY</div><div><input type="checkbox"/> VECTOR ARTWORK</div></div> <div><div><input type="checkbox"/> PAINT COLOR</div><div><input type="checkbox"/> CLIENT PMS COLOR</div></div> <div><div><input type="checkbox"/> FONTS</div><div><input type="checkbox"/> ENGINEERING</div></div>
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OTHER:

This is an original, unpublished drawing by Jones Sign Co., Inc. It is for your personal use in conjunction with a project being planned for you by JONES SIGN. It is not to be shown to anyone outside of your organization, nor is it to be used, reproduced, copied or exhibited in any fashion. Use of this design or the salient elements of this design in any sign done by any other company, without the express written permission of JONES SIGN, is forbidden by law and carries a civil forfeiture of up to 25% of the purchase price of the sign. JONES SIGN will endeavor to closely match colors, including PMS, where specified. We cannot guarantee exact matches due to varying compatibility of surface materials and paints used. All sizes and dimensions are illustrated for client's conception of project and are not to be understood as being exact size or exact scale.

CL.1 72" ORANGE FACE LIT CHANNEL LETTERS (Qty 1)

Allowable Square Footage this Elevation:	TBD
Boxed Square Footage this Elevation:	363.02
Actual Square Footage this Elevation:	265.87



BOXED SQUARE FOOTAGE - 363.02

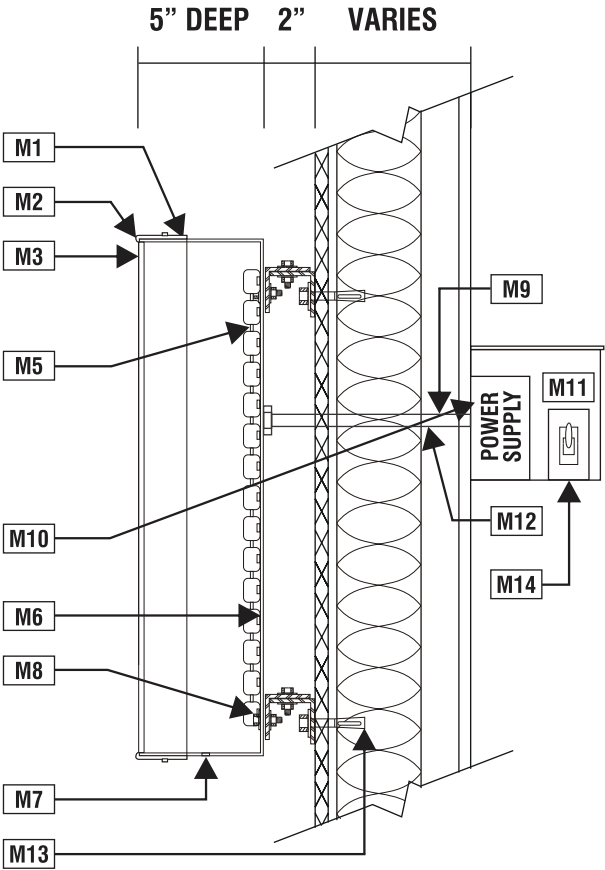
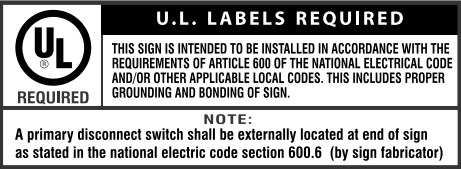


ACTUAL SQUARE FOOTAGE - 265.87



ELECTRICAL NOTES:

- U.L. LISTED
- ALL ELECTRICAL WORK SHALL BE PERFORMED IN ACCORDANCE WITH "NEC" REF. SECTION 600 TO MEET LOCAL CODE.
- ALL ELECTRICAL SIGN SECTIONS TO HAVE U.L. LABELS IN ACCORDANCE WITH "NEC" 600.3 AND MANUFACTURERS LABEL LOCATED NEXT TO DISCONNECT SWITCH
- ALL NON-CURR/BWENT CARR/BWYING METAL PARTS OF SIGN SHALL BE GROUNDED & BONDED IN ACCORDANCE WITH "NEC" 250
- SPlicing OF CONDUCTORS SHALL BE MADE IN JUNCTION BOXES OR SIMILAR METAL ENCLOSURES
- AT THE POINT THAT ELECTRICAL CABLE PASSES THRU THE SIGN BOX, IT SHALL PASS THRU A U.L. LISTED GROMMET.
- FINAL PRIMARY HOOK-UP BY SIGN INSTALLER WHERE ALLOWED BY CODE.



- M1** .040 ALUMINUM RETURNS. EXTERIOR FINISH TO BE BRONZE. .063 ALUMINUM BACKS HELIARC-WELDED TO RETURNS WITH CONTINUOUS CAULK @ INSIDE SEAM. LETTER INTERIORS TO BE SPRAY-PAINTED GLOSS WHITE
- M2** 2" WIDE WHITE TRIMCAP MATERIAL
- M3** 3/16" THICK #7328 WHITE TRANSLUCENT ACRYLIC PLASTIC LETTER FACES
- M5** INTER-CONNECT CABLES BETWEEN L.E.D. MODULES
- M6** GE TETRA LEDS TO BE MOUNTED TO INSIDE-BACKS OF CHANNEL LETTERS WITH 3M V.H.B. TAPE AND TO BE MECHANICALLY FASTENED WITH RIVETS AT THE BEGINNING AND END OF EACH STRIP, EVERY 18" ON CENTER
- M7** 1/4" WEEP HOLES AS REQUIRED IN LOWEST SPOT OF LETTERS (NO WEEP HOLES FOR INTERIOR MALL/STORE SIGNS)
- M8** 2" (x) 2" (x) 3/16" GALVANIZED STEEL CLIPS WITH MOUNTING HARDWARE (TYPE, DEPENDING UPON WALL CONSTRUCTION MATERIALS)
- M9** 1/2" DIAMETER EMT CONDUIT AND CONNECTORS WITH WATER-TIGHT CAULK
- M10** (120 VOLT) L.E.D. (60 WATT) POWER SUPPLIES (REMOTELY LOCATED ON LETTERS 5'-0" TALL AND SMALLER) SELF-CONTAINED OVER 5'-0" TALL (QUANTITY TO BE DETERMINED BY SIZE)
- M11** (20 AMP) (120 VOLT) POWER DISCONNECT SWITCH ON OUTSIDE OF LETTERS
- M12** PRIMARY ELECTRICAL LEADS. POWER TO LETTERS TO BE SUPPLIED BY OTHERS
- M13** 1/4" DIAMETER TOGGLE BOLT ATTACHMENTS (MINIMUM FOUR (4) PER LETTER)
- M14** RACEWAY BEHIND WALL HOUSES POWER SUPPLY(S) WITH DISCONNECT SWITCH

SPECIFICATIONS:

1. FABRICATE FACE-LIT CHANNEL LETTERS **M-1** W/ VINYL APPLIED FIRST SURFACE **V-1**
2. 5" RETURNS PAINTED TO MATCH **P-1**
3. INTERIOR PAINTED TO MATCH **P-2** FOR INCREASED ILLUMINATION
4. TRIMCAP: 2" WHITE JEWELITE
5. LED'S: GE TETRA GEMXPO-W1 BRIGHT ORANGE

COLORS / FINISHES:

- M-1** #7328 WHITE ACRYLIC
- V-1** 3M #3630-74 KUMQUAT
- P-1** AUTUMN BROWN BRONZE ALUMINUM COIL
- P-2** MP WHITE GLOSS

GENERAL NOTES:

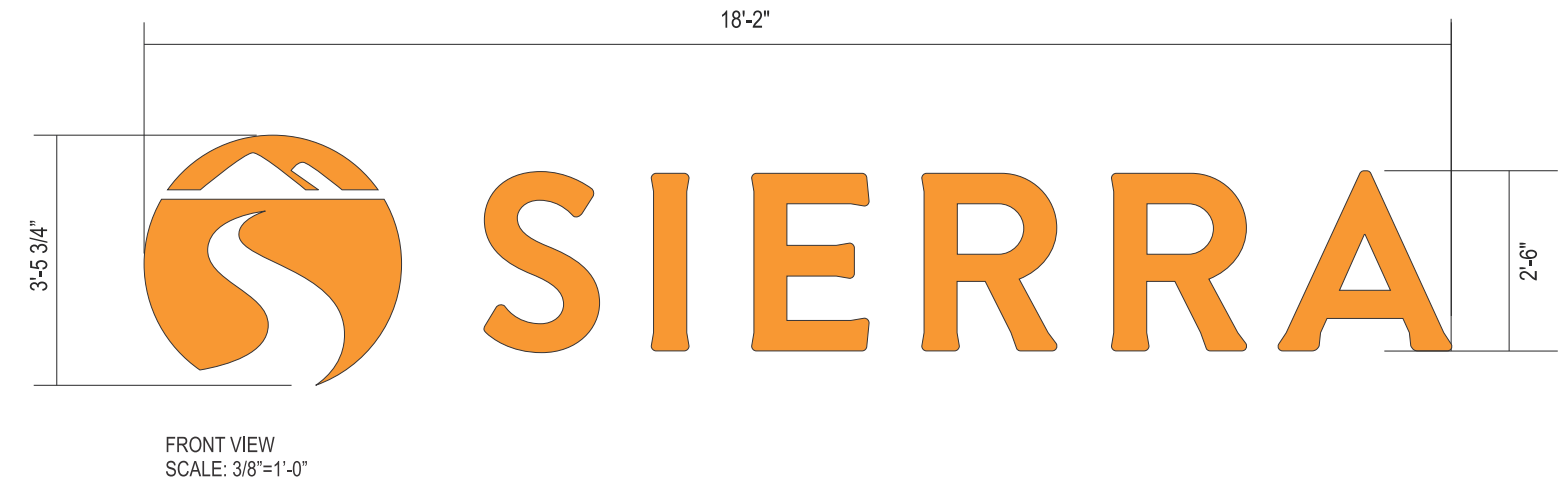
- NO EXPOSED FASTENERS TO BE USED. IF EXPOSED FASTENERS MUST BE USED THEN THEY MUST BE COUNTER SUNK AND PAINTED TO MATCH ADJACENT FINISH, UNLESS NOTED OTHERWISE.
- ALL HARDWARE TO BE NON CORR/BWOSIVE.
- ALL VISIBLE EDGES TO BE FILLED AND FINISHED.
- ALL WELDS TO BE GROUND SMOOTH.
- SIGNAGE TO CONTAIN BAFFLES AND DRAIN HOLES AS NEEDED.
- INSTALL TEMPLATE TO BE INCLUDED WITH LETTER BY FABRICATOR.



<b>JONES SIGN</b> Your Vision. Accomplished. <small>A MORTENSEN COMPANY</small>	JOB #: <b>293185_R4_WANT</b> DATE: 10.22.2024 DESIGNER: A. GREENSLADE SALES REP: J. GEHRT PROJ MGR: L. HAWKINS	<b>REQUIRED:</b> <input type="checkbox"/> FIELD SURVEY <input type="checkbox"/> PAINT COLOR <input type="checkbox"/> FONTS <input type="checkbox"/> VECTOR ARTWORK <input type="checkbox"/> CLIENT PMS COLOR <input type="checkbox"/> ENGINEERING <b>OTHER:</b>	LANDLORD APPROVAL DATE		SIERRA 32ND AVE & MANAWA CENTER DR COUNCIL BLUFFS, IA 51501	SHEET NUMBER <b>4.0</b>
			CLIENT APPROVAL DATE			

CL.2 30" ORANGE FACE LIT CHANNEL LETTERS (Qty 1)

Allowable Square Footage this Elevation:	TBD
Boxed Square Footage this Elevation:	62.66
Actual Square Footage this Elevation:	45.89



BOXED SQUARE FOOTAGE - 62.66

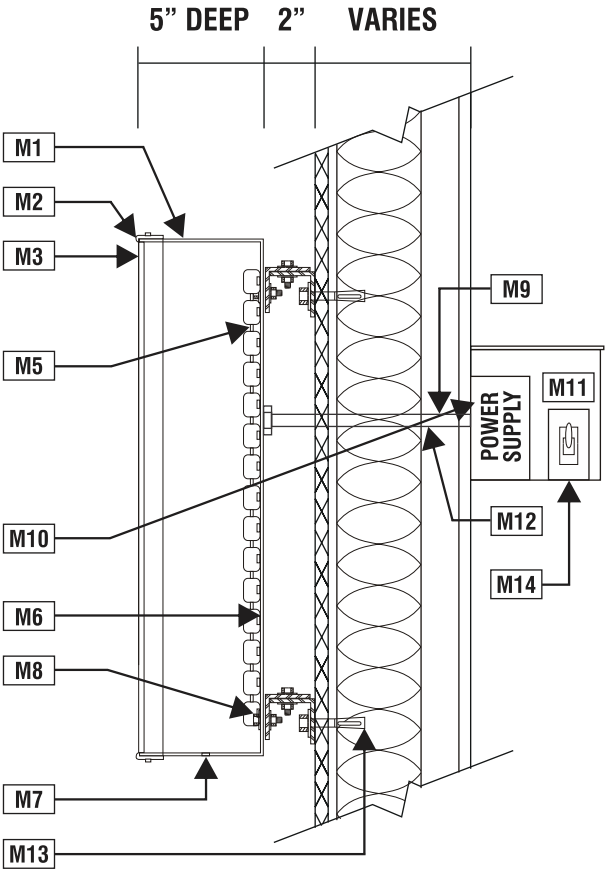
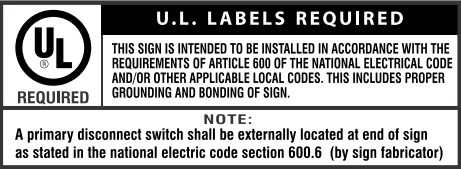


ACTUAL SQUARE FOOTAGE - 45.89



ELECTRICAL NOTES:

- U.L. LISTED
- ALL ELECTRICAL WORK SHALL BE PERFORMED IN ACCORDANCE WITH "NEC" REF. SECTION 600 TO MEET LOCAL CODE.
- ALL ELECTRICAL SIGN SECTIONS TO HAVE U.L. LABELS IN ACCORDANCE WITH "NEC" 600.3 AND MANUFACTURERS LABEL LOCATED NEXT TO DISCONNECT SWITCH
- ALL NON-CURR/BWENT CARR/BWYING METAL PARTS OF SIGN SHALL BE GROUNDED & BONDED IN ACCORDANCE WITH "NEC" 250
- SPlicing OF CONDUCTORS SHALL BE MADE IN JUNCTION BOXES OR SIMILAR METAL ENCLOSURES
- AT THE POINT THAT ELECTRICAL CABLE PASSES THRU THE SIGN BOX, IT SHALL PASS THRU A U.L. LISTED GROMMET.
- FINAL PRIMARY HOOK-UP BY SIGN INSTALLER WHERE ALLOWED BY CODE.



- M1** .040 ALUMINUM RETURNS. EXTERIOR FINISH TO BE BRONZE. .063 ALUMINUM BACKS HELIARC-WELDED TO RETURNS WITH CONTINUOUS CAULK @ INSIDE SEAM. LETTER INTERIORS TO BE SPRAY-PAINTED GLOSS WHITE
- M2** 1" WIDE WHITE TRIMCAP MATERIAL
- M3** 3/16" THICK #7328 WHITE TRANSLUCENT ACRYLIC PLASTIC LETTER FACES
- M5** INTER-CONNECT CABLES BETWEEN L.E.D. MODULES
- M6** GE TETRA LEDS TO BE MOUNTED TO INSIDE-BACKS OF CHANNEL LETTERS WITH 3M V.H.B. TAPE AND TO BE MECHANICALLY FASTENED WITH RIVETS AT THE BEGINNING AND END OF EACH STRIP, EVERY 18" ON CENTER
- M7** 1/4" WEEP HOLES AS REQUIRED IN LOWEST SPOT OF LETTERS (NO WEEP HOLES FOR INTERIOR MALL/STORE SIGNS)
- M8** 2" (x) 2" (x) 3/16" GALVANIZED STEEL CLIPS WITH MOUNTING HARDWARE (TYPE, DEPENDING UPON WALL CONSTRUCTION MATERIALS)
- M9** 1/2" DIAMETER EMT CONDUIT AND CONNECTORS WITH WATER-TIGHT CAULK
- M10** (120 VOLT) L.E.D. (60 WATT) POWER SUPPLIES (REMOTELY LOCATED ON LETTERS 5'-0" TALL AND SMALLER) SELF-CONTAINED OVER 5'-0" TALL (QUANTITY TO BE DETERMINED BY SIZE)
- M11** (20 AMP) (120 VOLT) POWER DISCONNECT SWITCH ON OUTSIDE OF LETTERS
- M12** PRIMARY ELECTRICAL LEADS. POWER TO LETTERS TO BE SUPPLIED BY OTHERS
- M13** 1/4" DIAMETER TOGGLE BOLT ATTACHMENTS (MINIMUM FOUR (4) PER LETTER)
- M14** RACEWAY BEHIND WALL HOUSES POWER SUPPLY(S) WITH DISCONNECT SWITCH

SPECIFICATIONS:

1. FABRICATE FACE-LIT CHANNEL LETTERS **M-1** W/ VINYL APPLIED FIRST SURFACE **V-1**
2. 5" RETURNS PAINTED TO MATCH **P-1**
3. INTERIOR PAINTED TO MATCH **P-2** FOR INCREASED ILLUMINATION
4. TRIMCAP: 1" WHITE JEWELITE
5. LED'S: GE TETRA GEMXPO-W1 BRIGHT ORANGE

COLORS / FINISHES:

- M-1** #7328 WHITE ACRYLIC
- V-1** 3M #3630-74 KUMQUAT
- P-1** AUTUMN BROWN BRONZE ALUMINUM COIL
- P-2** MP WHITE GLOSS

GENERAL NOTES:

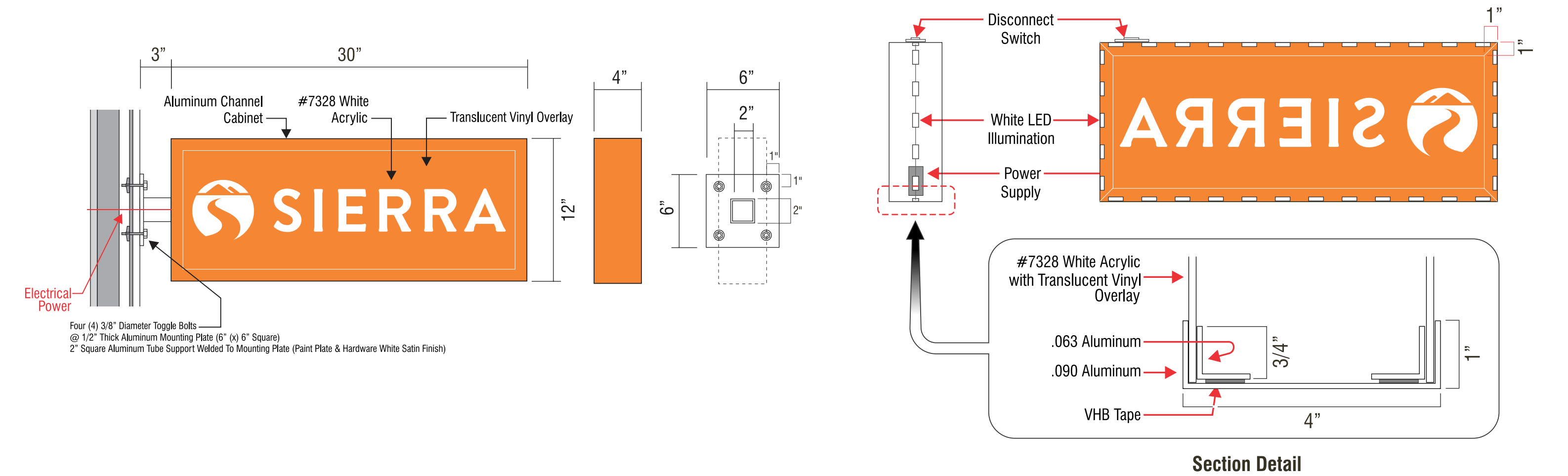
- NO EXPOSED FASTENERS TO BE USED. IF EXPOSED FASTENERS MUST BE USED THEN THEY MUST BE COUNTER SUNK AND PAINTED TO MATCH ADJACENT FINISH, UNLESS NOTED OTHERWISE.
- ALL HARDWARE TO BE NON CORR/BWOSIVE.
- ALL VISIBLE EDGES TO BE FILLED AND FINISHED.
- ALL WELDS TO BE GROUND SMOOTH.
- SIGNAGE TO CONTAIN BAFFLES AND DRAIN HOLES AS NEEDED.
- INSTALL TEMPLATE TO BE INCLUDED WITH LETTER BY FABRICATOR.



<b>JONES SIGN</b> Your Vision. Accomplished. <small>A MORTENSEN COMPANY</small>	JOB #: <b>293185_R4_WANT</b> DATE: 10.22.2024 DESIGNER: A. GREENSLADE SALES REP: J. GEHRT PROJ MGR: L. HAWKINS	<b>REQUIRED:</b> <input type="checkbox"/> FIELD SURVEY <input type="checkbox"/> PAINT COLOR <input type="checkbox"/> FONTS <input type="checkbox"/> VECTOR ARTWORK <input type="checkbox"/> CLIENT PMS COLOR <input type="checkbox"/> ENGINEERING <b>OTHER:</b>	LANDLORD APPROVAL DATE		SIERRA 32ND AVE & MANAWA CENTER DR COUNCIL BLUFFS, IA 51501	SHEET NUMBER <b>5.0</b>
			CLIENT APPROVAL DATE			

BL.1 D/F ILLUMINATED BLADE SIGN (Qty 1)

SQUARE FOOTAGE: BOX: 2.5



SPECIFICATIONS:	COLORS / FINISHES:
<ul style="list-style-type: none"><li>• Sign Faces: #7328 Translucent White Acrylic Plastic Faces</li><li>• Vinyl Overlay: 3m 3630-74 Kumquat Orange</li><li>• Paint Sign Cabinet: To Match PMS #151 Orange</li><li>• Paint Vertical Supports: Matthews White (Satin Finish)</li><li>• Sign Illumination: Bright White LED Internal Illumination</li><li>• LED Type: Sloan V-Series Bright White L.E.D. Modules</li><li>• Power Supply (60 Watt) (120 Volt)</li></ul> <p>(OR)</p> <ul style="list-style-type: none"><li>• Vinyl Logo Overlay: Digitally Printed Vinyl Overlay</li><li>• Paint Sign Cabinet: orange PMS 151</li><li>• Paint Vertical Supports: Matthews White (Satin Finish)</li></ul>	<div><div></div><div>V-1</div>3M #3630-74 KUMQUAT</div> <div><div></div><div>P-3</div>MP TO MATCH PMS #151-C ORANGE</div> <div><div></div><div>P-4</div>MP WHITE-SATIN FINISH</div>

<div>JONES SIGN</div> <div>Your Vision. Accomplished.</div> <div>A MORTENSEN COMPANY</div>	<div>JOB #: 293185_R4_WANT</div> <div>DATE: 10.22.2024</div> <div>DESIGNER: A. GREENSLADE</div> <div>SALES REP: J. GEHRT</div> <div>PROJ MGR: L. HAWKINS</div>	<div>REQUIRED:</div> <div><div><input type="checkbox"/> FIELD SURVEY</div><div><input type="checkbox"/> PAINT COLOR</div><div><input type="checkbox"/> FONTS</div><div><input type="checkbox"/> VECTOR ARTWORK</div><div><input type="checkbox"/> CLIENT PMS COLOR</div><div><input type="checkbox"/> ENGINEERING</div></div> <div>OTHER:</div>	LANDLORD APPROVAL	DATE	<div></div> <div>SIERRA</div>	<div>SIERRA</div> <div>32ND AVE &amp; MANAWA CENTER DR</div> <div>COUNCIL BLUFFS, IA 51501</div>	<div>SHEET NUMBER</div> <div>6.0</div>
			CLIENT APPROVAL	DATE			





1 2 3 4 5 6 7 8 9 10 11 12 13 14 15 16 17 18

1 2 3 4 5 6 7 8 9 10 11 12 13 14 15 16 17 18

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# CITY OF COUNCIL BLUFFS - CITY PLANNING COMMISSION CASE #PC-25-001 LOCATION/ZONING MAP

## Legend

 PC-25-001 Subject Properties

0 120 240



1 inch = 178 feet

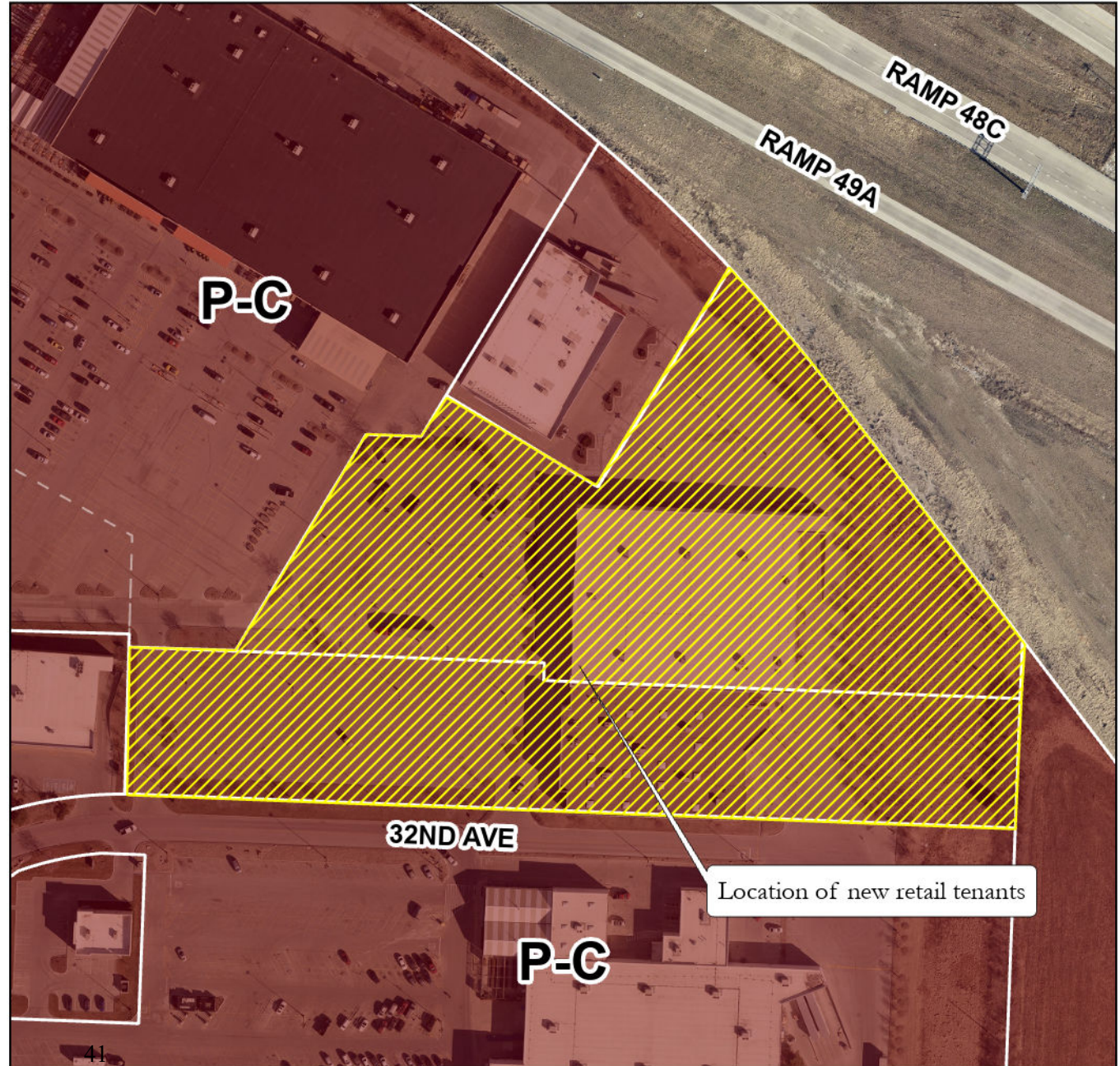


Last Amended: 2/13/2025



Council Bluffs Community  
Development Department  
209 Pearl Street  
Council Bluffs, IA 51503  
Telephone: (712) 890-5350

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## Planning Commission Communication

Department: Community

Development

Case/Project No.: ZC-25-001

CASE #ZC-25-001

Council Action: 3/11/2025

Submitted by: Christopher

Gibbons, AICP, Planning and

Code Compliance Manager

### Description

Public hearing on the request of Sapp Bros. Inc. to rezone properties legally described as Lot 1, Sapp Bros. Truck Center from a mixture of I-2/ General Industrial District and P-C/Planned Commercial District to I-2/General Industrial District; and Lot 2, Sapp Bros. Truck Center from a mixture of P-C/Planned Commercial District and C-2/Commercial District to PC District. Location: 2608 South 24th Street. Location: 2608 South 24th Street.

### Background/Discussion

See attached staff report.

### Recommendation

### ATTACHMENTS:

Description

Type

Upload Date

Staff Report & Attachments

Other

3/6/2025

## Planning Commission Communication

Department: Community Development  CASE #ZC-25-001  Applicant: Sapp Bros. Inc. 9915 S. 148 <sup>th</sup> Street Omaha, NE 68138  Property Owner: Sapp Bros. Inc. P.O. Box 45305 Omaha, NE 68145  Representative: Andrew Richard 9915 S. 148 <sup>th</sup> Street Omaha, NE 68138	Ordinance No. _____	Planning Commission: 3/11/2025
<b>Subject/Title</b> <b>Request:</b> Public hearing on the request of Sapp Bros. Inc. to rezone properties legally described as Lot 1, Sapp Bros. Truck Center from a mixture of I-2/ General Industrial District and P-C/Planned Commercial District to I-2/General Industrial District; and Lot 2, Sapp Bros. Truck Center from a mixture of P-C/Planned Commercial District and C-2/Commercial District to PC District.  <b>Location:</b> 2608 South 24th Street, Council Bluffs, Iowa		
<b>Background</b> The Community Development Department has received an application from Sapp Bros. Inc., represented by Andrew Richard, for the following requests:		
<ol style="list-style-type: none"> <li>1. Rezone Lot 1, Sapp Bros. Truck Center from a mix of P-C/Planned Commercial District and I-2/General Industrial District to I-2/General Industrial District (see Attachment A).</li> <li>2. Rezone Lot 2, Sapp Bros. Truck Center from a mix of P-C/Planned Commercial District and C-2/Commercial District to P-C/Planned Commercial District (see Attachment A).</li> </ol>		
On January 27, 2025, the City Council approved a final plat for a four-lot minor subdivision (Resolution No. 25-14), to be known as Sapp Bros. Truck Center, which includes the existing Sapp Bros. Travel Center (2608 South 24th Street) and their surrounding landholdings (see Attachment B). Currently, Lots 1 and 2, Sapp Bros Truck Center are split zoned. Lot 1 contains their existing travel center and is zoned I-2 and P-C Districts. Lot 2 is currently zoned a mixture of C-2 and P-C Districts and contains truck parking for Sapp Bros. The applicant intends to move the truck parking from Lot 2 to Lot 1 and then market Lot 2 for sale to commercial developers. The purpose of this request is to bring consistent zoning to the subject lots in accordance with the approved Sapp Bros. Truck Center final plat and intended future uses of the properties.		



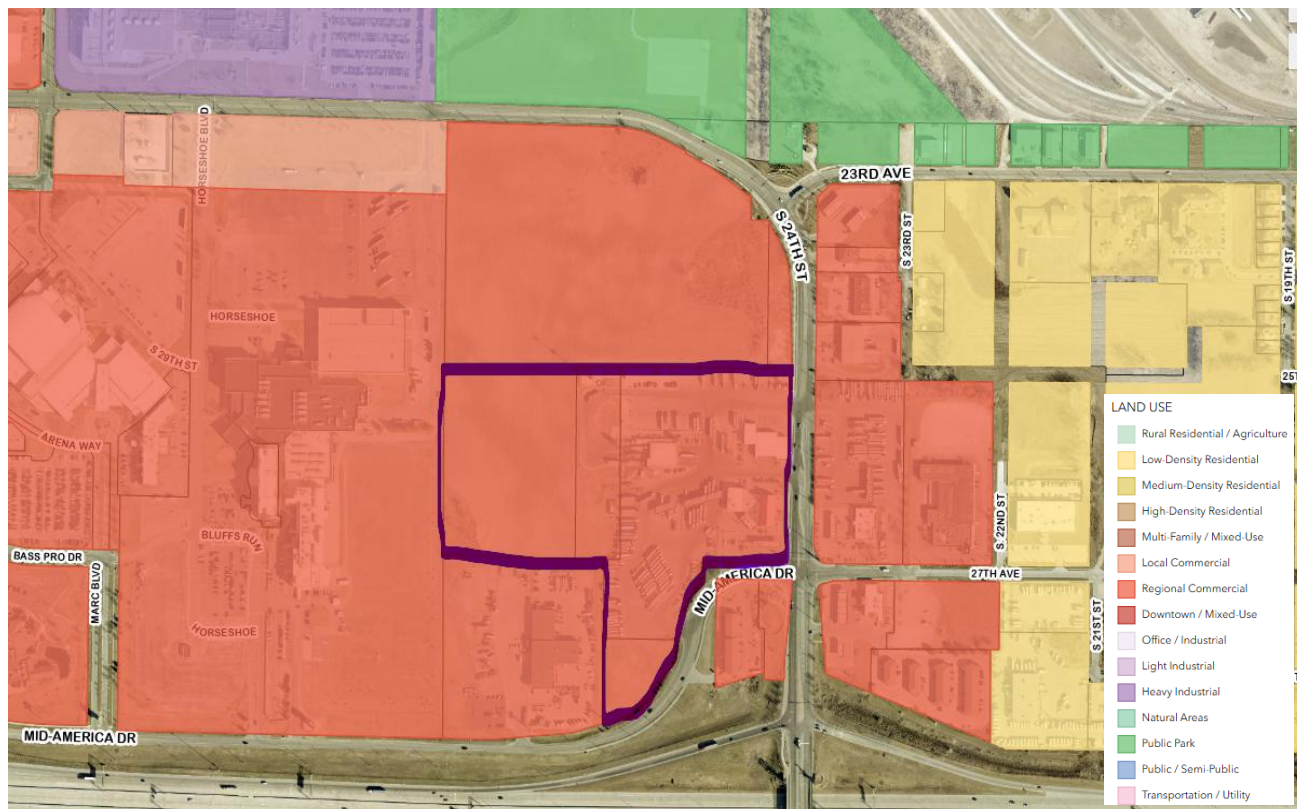
The subject properties are zoned a mixture of C-2/Commercial District, I-2/General Industrial District, and/or PC/Planned Commercial District and are surrounded by the following zoning districts and existing land uses:

Direction	Existing Zoning Districts	Existing Land Uses
North	I-2/General Industrial District and A-2/Parks, Estate, and Agricultural District	Manufacturing (Tyson Foods) and Open Space (City Park)
South	C-2/Commercial District and P-C/Planned Commercial District	Interstate 29/80, Equipment sales and service (Peterbuilt), and Automobile service establishment/equipment sales and service (Sapp Bros. Travel Center)
East	I-2/General Industrial District and P-C/Planned Commercial District	Automobile service establishment (Speedee Mart) and a restaurant (The Porch)
West	P-C/Planned Commercial District	Horseshoe Casino

A location/zoning map is included with this report as Attachment ‘A.’

Public notices were mailed to all property owners within 200 feet of the subject property. No comments were received as of the date of this report.

The future land use plan of the Bluffs Tomorrow: 2030 Plan (Comprehensive Plan) designates the subject property as ‘Regional Commercial’ (see map below).



## Discussion



1. On January 27, 2025, the City Council granted final plat approval for a four-lot subdivision to be known as Sapp Bros Truck Center (see Resolution No. 25-14). The applicant's surveyor is in the process of addressing all comments and technical corrections that were identified on the plat, so that it can be signed by the owners and all applicable personnel with the City of Council Bluffs and Pottawattamie County within the 90-day timeframe outlined in Section 14.13.050, *Recording of the final plat*, of the Council Bluffs Subdivision Ordinance.
2. The legal descriptions used in the proposed rezoning case are specific to the lots that will be created once the Sapp Bros. Truck Center final plat is recorded with Pottawattamie County. As such, the proposed rezoning requests shall not become effective until the Sapp Bros. Truck Center final plat is signed by the City and recorded with the Pottawattamie County Recorder's office.
3. Lot 1, Sapp Bros. Truck Center contains 24.50 acres of land and is zoned a mixture of P-C/Planned Commercial District and I-2/General Industrial District. The property is home to Sapp Bros. Travel Center, Blue Beacon Truck Wash, and an existing 149 foot-tall wireless monopole telecommunication tower. The applicant has requested to rezone the property from a mixture of P-C/Planned District and I-2/General Industrial District to I-2/General Industrial District for zoning consistency purposes and to relocate truck parking from Lot 2, Sapp Bros. Truck Center to the westerly 10 acres of said Lot 1. If successfully rezoned, any future development on the property shall fully comply with the land uses and site development standards stated in Chapter 15.21, *I-2/General Industrial District*, of the Council Bluffs Municipal Code (Zoning Ordinance).
4. Lot 2, Sapp Bros. Truck Center contains 4.06 acres of land and is zoned a mixture of P-C/Planned Commercial District and C-2/Commercial District. The property is currently being used for truck parking, but Sapp Bros. plans to relocate said truck parking to the westerly 10 acres of Lot 1, Sapp Bros. Truck Center, once the final plat is approved and new pavement is installed. If the request to rezone the entire parcel to P-C District is approved by City Council, the applicant plans to market the site for commercial development. The applicant has submitted a conceptual plan that demonstrates the property can be developed with a commercial use(s) and off-street parking that integrates well with the existing Sapp Bros. Travel Center and surrounding area.
5. The minimum lot size for property zoned P-C District is 10 acres, as per Section 15.18.050, *Site Development Regulations*, of the Council Bluffs Zoning Ordinance. The Community Development Department finds the request to rezone Lot 2, Sapp Bros. Truck Center from a mixture of P-C District and C-2 District to P-C District to be acceptable, for the following reasons:
  - a. Rezoning the property to P-C District provides consistent zoning for the parcel; and
  - b. The subject property is highly visible from Interstates 29/80 and is located near the intersection of South 24<sup>th</sup> Street and Mid-America Drive; which serves as an entrance to M.A.C. Entertainment Area. Rezoning the property to P-C District ensures all development will be designed in a manner that is compatible with existing businesses in the M.A.C. Entertainment Area; and
  - c. Any future development on the parcel will require the adoption of a P-C/Planned Commercial Development Plan, which must be reviewed by the City's Planning Commission and approved by City Council. The development plan will establish standards for architecture, landscaping, off-street parking, signage, stormwater management, grading, utilities, etc. to ensure the development is high-quality and integrates harmoniously with other surrounding businesses.
6. The Bluffs Tomorrow: 2030 Plan (Comprehensive Plan) designates the subject property and surrounding areas as 'Regional Commercial', as it is within close proximity to the M.A.C Entertainment Area. The proposed rezoning is generally consistent with the 'Regional Commercial' designation. Furthermore, the proposed rezoning provides additional development opportunities that help strengthen the M.A.C.

Entertainment Area, as well as, allows Sapp Bros. to relocate truck parking from a highly visible area on their travel center site and to an area that is less visible from S. 24<sup>th</sup> Street and Interstates 29/80.

7. The applicant has provided conceptual renderings that show how Lots 2, 3, and 4, Sapp Bros. Truck Center can be developed with a mixture of multi-family residential dwellings and/or commercial/retail uses (see Attachments C and D). The applicant plans to sell said lots to private developers and is aware a separate P-C/Planned Commercial development plan must be approved for each lot by the Council Bluffs City Council, prior to issuance of any building permits.
8. Council Bluffs Fire Department stated they have no comments for the rezoning request.
9. Council Bluffs Police Department stated they have no comments/objections for the rezoning request.
10. Council Bluffs Public Works stated they have no comments about the rezoning request.
11. Cox Communications stated they have no objections to the rezoning request.
12. Council Bluffs Water Works stated they have no comments about the rezoning request.
13. MidAmerican Energy stated they have no conflicts or concerns about the proposed rezoning and that the developer and/or their agent shall contact them to discuss electrical needs for any existing and/or new development on the parcels contained in this request.

#### **Recommendation**

The Community Development Department recommends approval of the request of Sapp Bros. Inc., Andrew Richard, to rezone properties legally described as Lot 1, Sapp Bros. Truck Center from a mixture of I-2/General Industrial District and P-C/Planned Commercial District to I-2/General Industrial District; and Lot 2, Sapp Bros. Truck Center from a mixture of P-C/Planned Commercial District and C-2/Commercial District to PC District. subject to the following conditions:

1. The proposed rezoning shall not become effective until such time the Sapp Bros. Truck Center Final Plat is signed by the City and recorded with the Pottawattamie County Recorder's Office.

#### **Attachments**

Attachment A: Location/zoning map  
Attachment B: Sapp Bros. Truck Center Final Plat  
Attachment C: Conceptual development plan for Lots 3 and 4, Sapp Bros. Truck Center  
Attachment D: Conceptual development plan for Lot 2, Sapp Bros. Truck Center




Prepared by: Christopher Gibbons, Planning and Code Compliance Manager, Community Development Dept.

# CITY OF COUNCIL BLUFFS

## CASE #ZC-25-001 LOCATION/ZONING MAP

### ATTACHMENT A

#### Legend

-  Area proposed to be rezoned to P-C
-  Area proposed to be rezoned to I-2
-  Parcels

0 165 330  
1 Inch = 333 Feet

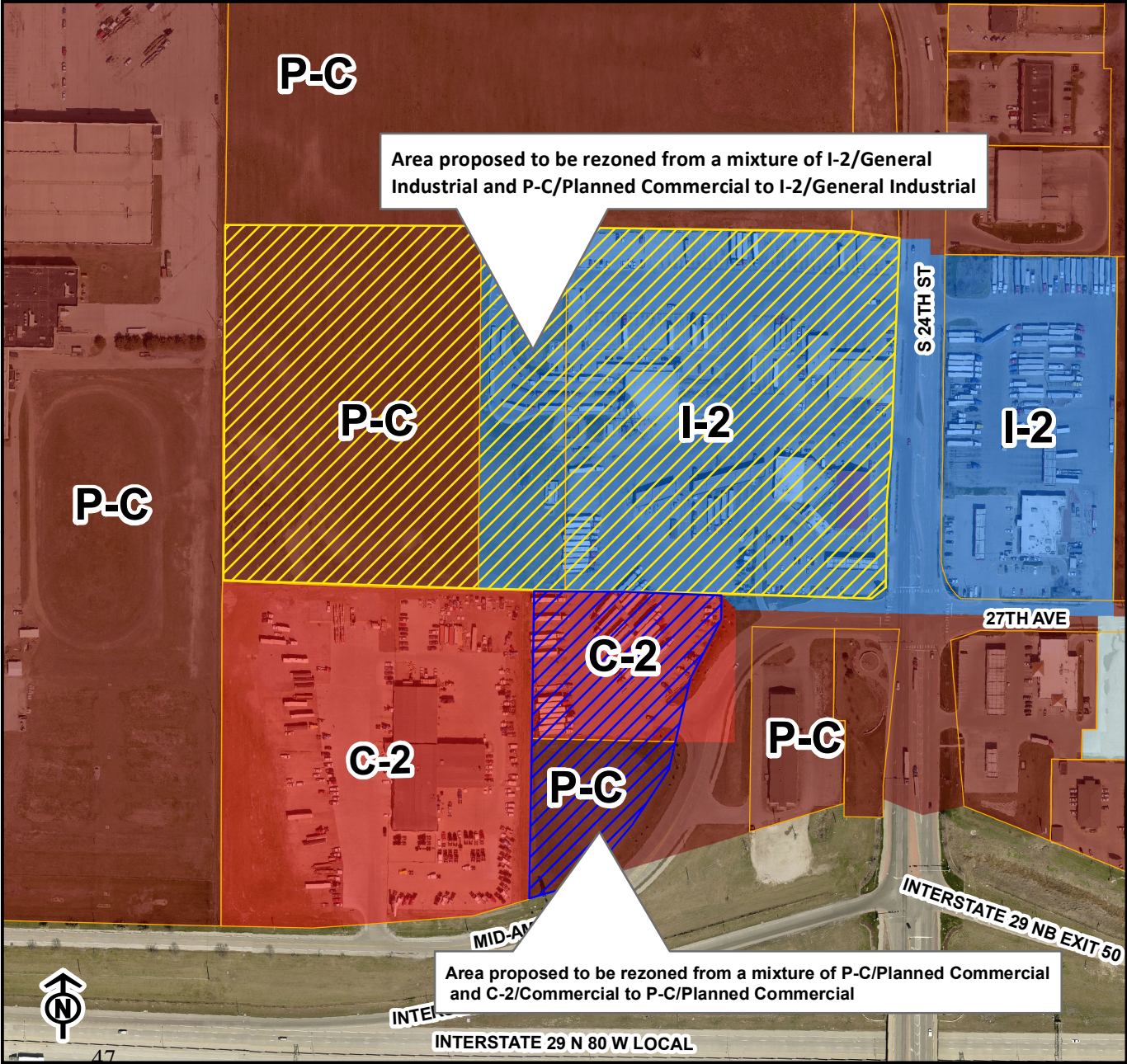


Last Amended: 2/12/25



Council Bluffs Community  
Development Department  
209 Pearl Street  
Council Bluffs, IA 51503  
Telephone: (712) 890-5350

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ATTACHMENT B

SAPP BROS TRUCK CENTER  
LOTS 1 THRU 4

BEING A REPLAT OF LOTS 1 AND 2, SAPP BROS TRAVEL CENTER, TOGETHER WITH A PART OF THE EAST HALF OF THE SOUTHEAST QUARTER, ALL IN SECTION 3, AND A PART OF LOTS 6 THRU 10, BLOCK 15, AND PART OF LOTS 1 THRU 10, BLOCK 42, RAILROAD ADDITION, TOGETHER WITH THE NORTH HALF OF VACATED 25TH AVENUE LYING SOUTH OF BLOCK 42 AND ALL OF THE VACATED 24TH AVENUE LYING BETWEEN BLOCKS 15 AND 42, IN SECTION 2, ALL IN TOWNSHIP 74 NORTH, RANGE 44 WEST OF THE 5TH P.M., POTTAWATTAMIE COUNTY, IOWA

CERTIFICATE OF COUNTY TREASURER

I, PENNY RAYLIN, HEREBY CERTIFY THAT ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 2025, A COPY OF THIS PLAT WAS FILED IN THE COUNTY ASSESSOR'S OFFICE.

DATED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2025.

LEAVOSS  
COUNTY ASSESSOR

AUDITOR'S APPROVAL OF SUBDIVISION NAME OR TITLE

THE COUNTY AUDITOR HEREBY ACCEPTS AND APPROVES THE NAME OR TITLE OF SAID SUBDIVISION PLAT AS REQUIRED BY IOWA CODE SECTION 354.8(2).

DATED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2025.

MELVYN HOSNER  
POTTAWATTAMIE COUNTY AUDITOR

TREASURER'S CERTIFICATE OF TAXES AND SPECIAL ASSESMENTS

I, LEA VOSS, TREASURER OF POTTAWATTAMIE COUNTY, IOWA, DO HEREBY CERTIFY THAT THE LAND DESCRIBED IN THE ATTACHED AND FOREGOING LEGAL DESCRIPTION IS FREE FROM CERTIFIED TAXES AND CERTIFIED SPECIAL ASSESMENTS.

DATED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2025.

LEA VOSS  
TREASURER, POTTAWATTAMIE COUNTY, IOWA

AUDITOR CERTIFICATE OF RECORDING

STATE OF IOWA } SS DOCKET NO: \_\_\_\_\_ FILED FOR  
POTTAWATTAMIE COUNTY

RECORDED, THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2025, AT \_\_\_\_\_ O'CLOCK \_\_\_\_\_ M., RECORDED IN PLAT ENVELOPE INDEXED AND DELIVERED TO THE COUNTY AUDITOR OF POTTAWATTAMIE COUNTY, IOWA.

DATED \_\_\_\_\_, 2025.

ANDREW MOATS  
POTTAWATTAMIE COUNTY AUDITOR

APPROVAL OF COUNCIL BLUFFS COMMUNITY DEVELOPMENT DEPARTMENT

I, THE UNDERSIGNED, COUNCIL BLUFFS COMMUNITY DEVELOPMENT DIRECTOR, APPROVE THE FINAL PLAT OF SAPP BROS TRUCK CENTER.

DATED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2025.

COURTNEY HARTER  
COUNCIL BLUFFS COMMUNITY DEVELOPMENT DIRECTOR

APPROVAL BY COUNCIL BLUFFS CITY COUNCIL

CITY COUNCIL RESOLUTION NO. \_\_\_\_\_

RESOLUTION ACCEPTING AND APPROVING THE PLAT OF SAPP BROS TRUCK CENTER, AN ADDITION TO COUNCIL BLUFFS, POTTAWATTAMIE COUNTY, IOWA.

NOW THEREFORE BE, AND IT IS RESOLVED BY THE CITY COUNCIL OF THE CITY OF COUNCIL BLUFFS, IOWA, THAT SAID PLAT OF SAPP BROS TRUCK CENTER, AN ADDITION TO COUNCIL BLUFFS, POTTAWATTAMIE COUNTY, IOWA AS HERETO ATTACHED AND FORMING PART OF THIS RESOLUTION BE, AND THE SAME HEREBY IS, ACCEPTED AND APPROVED.

DATE \_\_\_\_\_ THE HONORABLE MATTHEW J. WALSH, MAYOR

DATE \_\_\_\_\_ ATTEST: JODI QUAKENBUSH, CITY CLERK

NOTES

1. ALL INTERNAL LINES ARE RADIAL/PERPENDICULAR UNLESS OTHERWISE NOTED AS NON-RADIAL (NR).
2. ALL INTERNAL ANGLES ARE 90° UNLESS OTHERWISE NOTED.
3. ANGLES MEASURED ADJACENT TO CURVES ARE MEASURED TO THE CHORD OF SAID CURVE.
4. THERE ARE NO PRIVATE RESTRICTIONS AND/OR COVENANTS THAT WILL BE RECORDED WITH THE PLAT.

LEGAL DESCRIPTION

BEING A REPLAT OF LOTS 1 AND 2, SAPP BROS TRAVEL CENTER, TOGETHER WITH A PART OF THE EAST HALF OF THE SOUTHEAST QUARTER, ALL IN SECTION 3, AND A PART OF LOTS 6 THRU 10, BLOCK 15, AND PART OF LOTS 1 THRU 10, BLOCK 42, RAILROAD ADDITION, TOGETHER WITH THE NORTH HALF OF VACATED 25TH AVENUE LYING SOUTH OF BLOCK 42 AND ALL OF THE VACATED 24TH AVENUE LYING BETWEEN BLOCKS 15 AND 42, IN TOWNSHIP 74 NORTH, RANGE 44 WEST OF THE 5TH P.M., POTTAWATTAMIE COUNTY, IOWA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE NORTHEAST CORNER OF SAID LOT 1, SAPP BROS TRAVEL CENTER, SAID CORNER ALSO BEING ON THE WEST RIGHT-OF-WAY LINE OF S 24TH STREET; THENCE ON SAID WEST RIGHT-OF-WAY LINE OF S 24TH STREET FOR THE FOLLOWING THREE (3) DESCRIBED COURSES: (1) ON AN ASSUMED BEARING OF S00°45'22"W, 14.90 FEET; (2) S02°23'55"W, 560.20 FEET; (3) S00°45'56"W, 165.69 FEET TO A POINT INTERSECTING SAID WEST RIGHT-OF-WAY LINE OF S 24TH STREET AND THE NORTH RIGHT-OF-WAY LINE OF MID-AMERICA DRIVE; THENCE ON SAID NORTH AND WEST RIGHT-OF-WAY LINE OF MID-AMERICA DRIVE FOR THE FOLLOWING EIGHT (8) DESCRIBED COURSES: (1) S62°23'42"W, 33.90 FEET; (2) N88°52'57"W, 318.44 FEET; (3) S01°15'04"W, 48.22 FEET; (4) S27°13'08"W, 140.46 FEET; (5) S13°57'32"W, 139.52 FEET; (6) S13°57'32"W, 42.44 FEET; (7) S33°29'57"W, 130.39 FEET; (8) S39°13'22"W, 165.88 FEET; (9) S71°09'18"W, 118.24 FEET TO A CORNER OF SAID LOT 2, SAPP BROS TRAVEL CENTER; THENCE ON THE WEST LINE OF SAID LOTS 1 AND 2, SAPP BROS TRAVEL CENTER N00°41'47"E, 648.13 FEET TO A CORNER OF SAID LOT 1, SAPP BROS TRAVEL CENTER; THENCE ON CONTINUING ON SAID WEST LINE OF LOT 1, SAPP BROS TRAVEL CENTER N88°50'00"W, 111.97 FEET TO A CORNER OF SAID LOT 1, SAPP BROS TRAVEL CENTER; THENCE N88°39'34"W, 546.40 FEET TO A POINT ON THE WEST LINE OF SAID EAST HALF OF THE SOUTHEAST QUARTER OF SECTION 3; THENCE ON SAID WEST LINE OF THE EAST HALF OF THE SOUTHEAST QUARTER OF SECTION 3, N00°41'47"E, 171.68 FEET TO A POINT ON THE SOUTH RIGHT-OF-WAY LINE OF 23RD AVENUE; THENCE ON SAID SOUTH RIGHT-OF-WAY LINE OF 23RD AVENUE FOR THE FOLLOWING NINE (9) DESCRIBED COURSES: (1) S88°48'27"E, 685.94 FEET TO A POINT OF CURVATURE; (2) ON A 480.91 FOOT RADIUS CURVE TO THE RIGHT, AN ARC LENGTH OF 210.09 FEET (LONG CHORD BEARS S72°30'00"E, 208.42 FEET); (3) S61°10'29"E, 100.87 FEET; (4) S29°13'08"W, 96.00 FEET; (5) S61°14'13"E, 114.09 FEET; (6) S63°27'13"E, 8.90 FEET TO A POINT OF CURVATURE; (7) ON A 598.50 FOOT RADIUS CURVE TO THE RIGHT, AN ARC LENGTH OF 197.25 FEET (LONG CHORD BEARS S53°47'56"E, 196.35 FEET); (8) S00°46'02"W, 91.10 FEET; (9) S89°13'58"E, 75.00 FEET TO A POINT ON THE EAST LINE OF SAID SOUTHEAST QUARTER OF SECTION 3, SAID POINT ALSO BEING A POINT INTERSECTING SAID SOUTH RIGHT-OF-WAY LINE OF 23RD AVENUE AND SAID WEST RIGHT-OF-WAY LINE OF S 24TH STREET; SAID POINT ALSO BEING A POINT OF NON-TANGENT CURVATURE; THENCE ON SAID WEST RIGHT-OF-WAY LINE OF S 24TH STREET FOR THE FOLLOWING TWO DESCRIBED COURSES: (1) ON A 598.50 FOOT RADIUS CURVE TO THE RIGHT, AN ARC LENGTH OF 353.35 FEET (LONG CHORD BEARS S16°07'29"E, 348.24 FEET); (2) S00°51'14"W, 261.64 FEET TO THE POINT OF BEGINNING.

SAID TRACT OF LAND CONTAINS A CALCULATED AREA OF 2.468,904.12 OR 56.678 ACRES MORE OR LESS.

DEDICATION

SAPP BROS TRAVEL CENTER, INC. AND SAPP BROS, INC., AS THE OWNERS OF THE REAL ESTATE DESCRIBED IN THE ATTACHED LEGAL DESCRIPTION, HAVE IN THE PURSUANCE OF THE LAWS, CAUSED SAID DESCRIBED REAL ESTATE TO BE SURVEYED, STAKED AND PLATTED INTO LOTS AND STREETS, A FIFTEEN FOOT-WIDE STRIP OF LAND ALONG THE FRONTAGE OF PROPOSED LOT 3 AND A NORTHERLY PORTION OF PROPOSED LOT 4 TO THE CITY OF COUNCIL BLUFFS AS IS PARTICULARLY SHOWN AND SET FORTH IN THE ATTACHED PLAT AND SAID CERTIFICATE OF TERRY L. ROTHANZL, A LICENSED SURVEYOR WHO SURVEYED AND PLATTED THE REAL ESTATE TO BE KNOWN AS SAPP BROS TRUCK CENTER LOTS 1 THRU 4, AN ADDITION TO COUNCIL BLUFFS, POTTAWATTAMIE COUNTY, IOWA, AND THAT THE SAME IS PREPARED WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRE AS OWNER AND PROPRIETOR THEREOF.

EXECUTED AT THE CITY OF COUNCIL BLUFFS, IOWA, THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 2025.

BY: \_\_\_\_\_

NAME \_\_\_\_\_ TITLE \_\_\_\_\_

BY: \_\_\_\_\_

NAME \_\_\_\_\_ TITLE \_\_\_\_\_

STANDARD UTILITY EASEMENT NOTES

A FIVE (5) FOOT-WIDE PERMANENT EASEMENT ON EACH SIDE AND REAR PROPERTY LINE(S) AND A TEN (10) FOOT-WIDE EASEMENT ALONG ALL FRONT LOT LINES IS RESERVED FOR THE INSTALLATION AND MAINTENANCE OF UTILITIES.

- a. ERECTION OF STRUCTURES PROHIBITED: GRANTOR SHALL NOT ERECT ANY STRUCTURE OVER OR WITHIN THE EASEMENT AREA WITHOUT OBTAINING THE PRIOR WRITTEN CONSENT OF THE CITY ENGINEER WHO SHALL NOT BE UNREASONABLY WITHHELD, PROVIDED HOWEVER GRANTOR SHALL HAVE THE RIGHT TO PLACE AND MAINTAIN A SURFACED ROADWAY OVER AND WITHIN THE EASEMENT AREA.
- b. CHANGE OF GRADE PROHIBITED: GRANTOR SHALL NOT CHANGE THE GRADE, ELEVATION OR CONTOUR OF ANY PART OF THE EASEMENT AREA WITHOUT OBTAINING THE PRIOR WRITTEN CONSENT OF THE CITY ENGINEER WHO SHALL NOT BE UNREASONABLY WITHHELD.
- c. RIGHT OF ACCESS: CITY SHALL HAVE THE RIGHT OF ACCESS TO THE EASEMENT AREA AND HAVE ALL RIGHT OF INGRESS AND EGRESS REASONABLY NECESSARY FOR THE USE AND ENJOYMENT OF THE EASEMENT AREA AS HEREIN DESCRIBED.
- d. REMOVAL AND REPLACEMENT: WITH THE EXCEPTION OF EXISTING STRUCTURES, THE COST OF REMOVAL AND REPLACEMENT OF ANY UNAUTHORIZED IMPROVEMENT OR STRUCTURES WITHIN THE EASEMENT AREA, NECESSITATED BY THE EXERCISE OF THE RIGHTS UNDER THIS EASEMENT, SHALL BE BORNE BY THE GRANTOR OR THEIR SUCCESSORS OR ASSIGNS.
- e. SURFACE RESTORATION: CITY'S LIABILITY TO RESTORE THE SURFACE WITHIN THE EASEMENT AREA SHALL BE LIMITED ONLY TO GRADING AND SEEDING.
- f. DUTY TO REPAIR: CITY AGREES THAT ANY DRAIN TILE, DRIVE OR ACCESS WAY, FENCE, OR YARD OR OTHER IMPROVEMENTS OUTSIDE OF THE EASEMENT AREA WHICH MAY BE DAMAGED AS A RESULT OF ANY ENTRY MADE THROUGH AN EXERCISE OF THE CITY'S RIGHT OF ACCESS SHALL BE REPAIRED AT NO EXPENSE TO GRANTOR AND TO GRANTOR'S SATISFACTION.
- g. EASEMENT RUNS WITH LAND: THIS EASEMENT SHALL BE DEEMED TO RUN WITH THE LAND AND SHALL BE BINDING ON GRANTOR AND ON GRANTOR'S SUCCESSORS AND ASSIGNS.

ACKNOWLEDGEMENT OF NOTARIES

STATE OF \_\_\_\_\_ ) SS  
COUNTY OF \_\_\_\_\_ )

ON THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2025, BEFORE ME, A NOTARY PUBLIC, DULY COMMISSIONED AND QUALIFIED FOR SAID COUNTY AND STATE, PERSONALLY APPEARED

\_\_\_\_\_, WHO IS PERSONALLY KNOWN TO ME TO BE THE IDENTICAL PERSON WHOSE NAME IS AFFRICKED TO THE ABOVE INSTRUMENT AS INDIVIDUALS, AND HE ACKNOWLEDGED THE SIGNING OF THE SAME TO BE HIS VOLUNTARY ACT AND DEED AND THE VOLUNTARY ACT AND DEED OF SAID CORPORATION.

WITNESS MY HAND AND OFFICIAL SEAL THE DATE LAST AFORESAID.

NOTARY PUBLIC

ACKNOWLEDGEMENT OF NOTARIES

STATE OF \_\_\_\_\_ ) SS  
COUNTY OF \_\_\_\_\_ )

ON THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2025, BEFORE ME, A NOTARY PUBLIC, DULY COMMISSIONED AND QUALIFIED FOR SAID COUNTY AND STATE, PERSONALLY APPEARED

\_\_\_\_\_, WHO IS PERSONALLY KNOWN TO ME TO BE THE IDENTICAL PERSON WHOSE NAME IS AFFRICKED TO THE ABOVE INSTRUMENT AS INDIVIDUALS, AND HE ACKNOWLEDGED THE SIGNING OF THE SAME TO BE HIS VOLUNTARY ACT AND DEED AND THE VOLUNTARY ACT AND DEED OF SAID CORPORATION.

WITNESS MY HAND AND OFFICIAL SEAL THE DATE LAST AFORESAID.

NOTARY PUBLIC

SURVEYOR'S CERTIFICATION

I, TERRY L. ROTHANZL, DO HEREBY CERTIFY THAT I HAVE MADE A BOUNDARY SURVEY OF THE SUBDIVISION HEREIN AND THAT PERMANENT MONUMENTS AS NOTED HEREON HAVE BEEN PLACED ON THE BOUNDARY OF THE PLAT AND AT ALL CORNERS, ANGLE POINTS, AND ENDS OF ALL CURVES ON THE BOUNDARY AND ON THE LOTS AND BLOCKS AND PARTS OF LOTS AND BLOCKS AND PARTS OF LOTS 1 THRU 4, BEING A REPLAT OF LOTS 1 AND 2, SAPP BROS TRAVEL CENTER, TOGETHER WITH A PART OF THE EAST HALF OF THE SOUTHEAST QUARTER, ALL IN SECTION 3, TOWNSHIP 74 NORTH, RANGE 44 WEST, AND A PART OF LOTS 6 THRU 10, BLOCK 15, AND PART OF LOTS 1 THRU 10, BLOCK 42, RAILROAD ADDITION, IN SECTION 2, TOWNSHIP 74 NORTH, RANGE 44 WEST, TOGETHER WITH THE NORTH HALF OF VACATED 25TH AVENUE LYING SOUTH OF BLOCK 42 AND ALL OF THE VACATED 24TH AVENUE LYING BETWEEN BLOCKS 15 AND 42, IN THE 5TH P.M., POTTAWATTAMIE COUNTY, IOWA.

TERRY L. ROTHANZL  
IOWA L.S. 17413

2-5-2025  
DATE



drawn by: \_\_\_\_\_  
designed by: \_\_\_\_\_  
project no.: 023-0604  
date: 2-5-2025

SHEET  
1 of 1

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FAX 402.341.5955

BY

DESCRIPTION

DATE

REV.

NO.

REVISIONS

2025

FINAL PLAT

SAPP BROS TRUCK CENTER  
LOTS 1 THRU 4

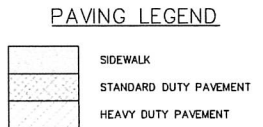
COUNCIL BLUFFS, IOWA

- LEGEND
- SET 5/8" REBAR W/ CAP L.S. #17413
  - FOUND 5/8" REBAR (UNLESS NOTED OTHER WISE)
  - INDICATES A POINT OF CURVATURE
  - MEASURED DISTANCE
  - (D) DEEDED DISTANCE
  - (P) PLATTED DISTANCE
  - (R) RECORDED MEASUREMENT
  - BOUNDARY LINE
  - PROPERTY LINE
  - STANDARD UTILITY EASEMENT LINE
  - EXISTING PROPERTY LINE
  - EXISTING RIGHT-OF-WAY LINE
  - EXISTING EASEMENT LINE
  - DEDICATED RIGHT-OF-WAY



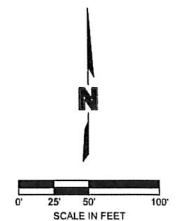


## Attachment C

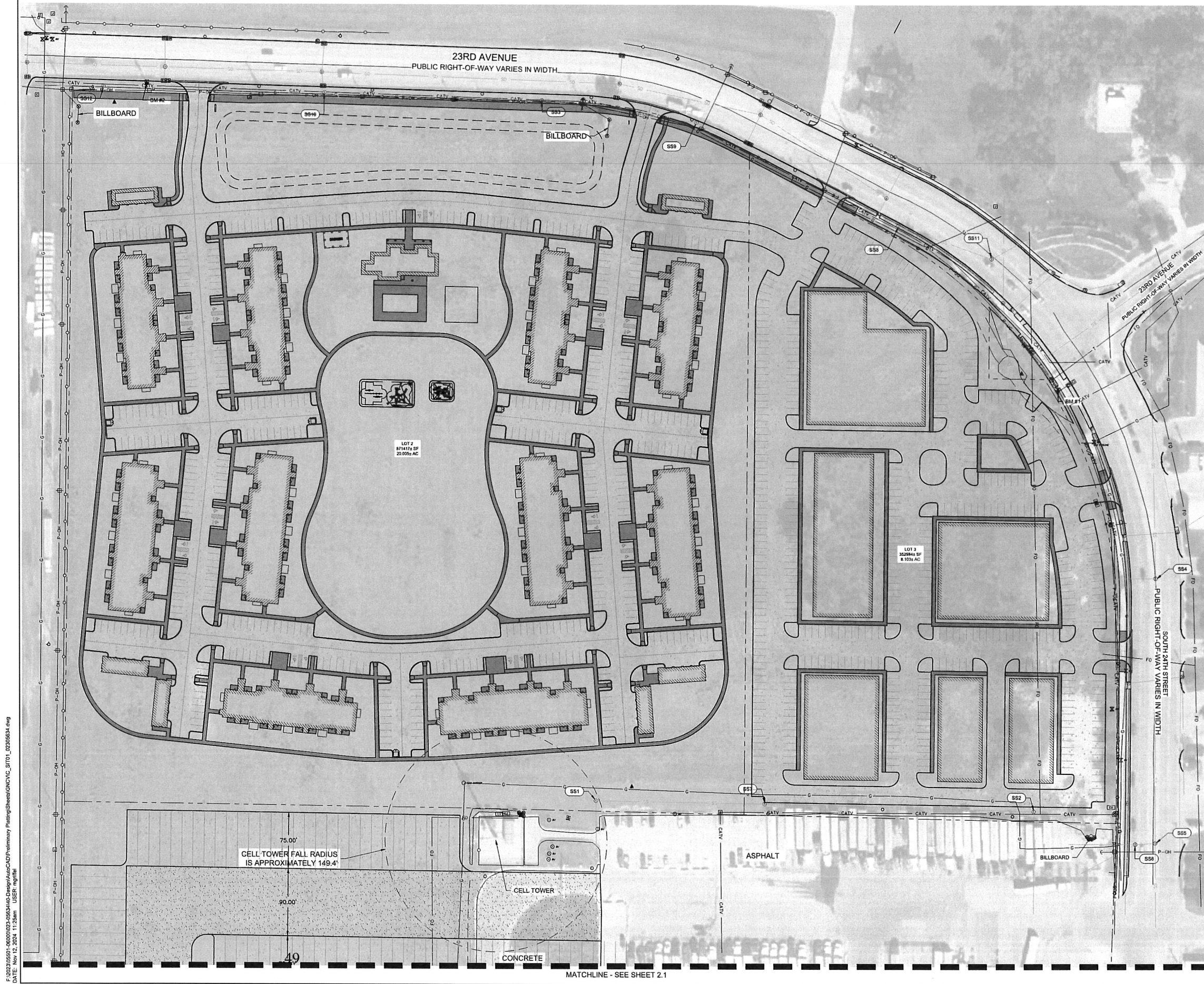


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<div>drawn by: _____ designed by: _____ project no.: 073-05631 date: 07-18-2024</div> <div>SHEET C2.0</div>	SITE LAYOUT - NORTH PLANNED COMMERCIAL DEVELOPMENT PLAN		REV. NO.	DATE	DESCRIPTION	BY
	SAPP BROS. - TRUCK CENTER NW CORNER OF S. 24TH ST. AND INTERSTATE 80					
	COUNCIL BLUFFS, IA		2024	REVISIONS		





## Attachment D



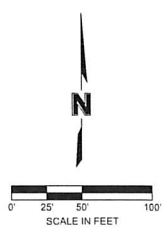
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	REV / NO.	DATE	DESCRIPTION	DY
SITE LAYOUT - SOUTH PLANNED COMMERCIAL DEVELOPMENT PLAN				
SAPP BROS. - TRUCK CENTER NW CORNER OF S. 24TH ST. AND INTERSTATE 80				
COUNCIL BLUFFS, IA	2024		REVISIONS	

drawn by: \_\_\_\_\_  
 designed by: \_\_\_\_\_  
 project no.: 023-05634  
 date: 07.16.2024

SHEET  
 C2.1



**Planning Commission Communication**

Department: Community  
Development  
Case/Project No.: AN-25-001  
Submitted by: Christopher  
Gibbons, AICP, Planning and  
Code Compliance Manager

CASE #AN-25-001

Council Action: 3/11/2025

**Description**

Public hearing on the request of Oak Valley LLC, Cattleman Heritage Beef Co. LLC, BNSF Railroad, QRS Investments, LLC, and the City of Council Bluffs for voluntarily annexation of approximately 473 acres (m/l) of land, legally described as being part of Sections 29-74-43 and 32-74-43, Pottawattamie County, Iowa and part of Sections 5-73-43 and 6-73-43, Mills County, Iowa and being more particularly described in Attachment 'B' of the case staff report.

**Background/Discussion**

See attached staff report.

**Recommendation**

**ATTACHMENTS:**

Description	Type	Upload Date
Staff Report & Attachments	Other	3/6/2025

### City Planning Commission Communication

<p>Department: Community Development</p> <p>CASE #AN-25-001</p> <p>Applicants: City of Council Bluffs 209 Pearl Street Council Bluffs, Iowa</p> <p>BNSF Railway Company P.O. Box 961051 Fort Worth, TX 76161</p> <p>Cattlemen’s Heritage Beef Company 666 Walnut Street, Suite 203 Des Moines, IA 50309</p> <p>QRS Investments, LLC P.O. Box 336 Council Bluffs, IA 51502</p> <p>Oak Valley, LLC 1673 200<sup>th</sup> Street Red Oak, IA 51566</p>	<p>Resolution No. _____</p>	<p>Planning Commission: 3/11/2025</p>
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#### Subject/Title

**Request:** Public hearing on the request of Oak Valley LLC, Cattleman Heritage Beef Co. LLC, BNSF Railroad, QRS Investments, LLC, and the City of Council Bluffs for voluntarily annexation of approximately 473 acres (m/l) of land, legally described as being part of Sections 29-74-43 and 32-74-43, Pottawattamie County, Iowa and part of Sections 5-73-43 and 6-73-43, Mills County, Iowa and being more particularly described in Attachment 'B' of the case staff report.

#### Background

The Community Development Department has received requests from Oak Valley, LLC, Cattleman Heritage Beef Co. LLC, BNSF Railroad, and QRS Investments, LLC for voluntarily annexation of approximately 473 acres (m/l) of land, lying south of the existing Council Bluffs municipal boundary, as shown on Attachment ‘A’ and legally described on Attachment ‘B’. The purpose of this annexation is to provide City utilities and services for new industrial developments on parcels identified as 7, 7A, 7B, 7C and 10, 10A, 10B, and 10C, as shown on Attachment ‘A’. Included with this request is the involuntary annexation of seven parcels, identified as #1, #2, #5, #6, #11, #11A, and #12 on Attachment ‘A’. These parcels were included in the request so the City of Council Bluffs maintains a relatively uniform-shaped boundary and to not create an “island” of unincorporated area that is surrounded by property located within the City of Council Bluffs. The combined total acreage of these seven parcels is less than 20% of the land area proposed to be voluntarily annexed into the City, which complies with the regulations stated in Chapter 368.7, *Voluntary Annexation of Territory*, of the Iowa Code.

The table below summarizes all properties included the request and notates whether they are being voluntarily or involuntarily annexed into the City of Council Bluffs.

Property Owner	Acres	County	Parcel Id #	Current Land Use	County Zoning Designation	Voluntarily Annexed	Involuntarily Annexed
Scott Glen	12.15	Pottawattamie	744329300011	Farming operation (cattle)	A-3		X
Kinze Melvin Williams	8	Pottawattamie	744329300008	Residential	A-3		X
BNSF Railroad	23.54	Pottawattamie	N/A	Railroad right-of-Way	A-3 & I-2	X	
City of Council Bluffs	54.86	Pottawattamie	744332300007	Firing range	I-2	X	
Jimmie David Leggett	7	Pottawattamie	744332300003	Residential w/farming operation	I-2		X
Lyman-Richey Corporation	4.89	Pottawattamie	744332300008	Concrete manufacturing	I-1		X
Oak Valley, LLC	121.34	Mills	34220010000000, 34220020000000, 34330000000000, and 34340000000000	Undeveloped	Industrial	X	
QRS Investments, LLC	38.39	Mills	34350010100000	Distribution/warehousing	Industrial	X	
State of Iowa*	57.38	Mills	N/A	Interstate 29 right-of-way	Industrial	N/A	N/A
Cattleman's Heritage Beef Company, LLC	131.99	Mills	35710000000000, 35720000000000, 35700010000000, and 35690000000000	Undeveloped	Industrial	X	
Beverly Realty, LLC	4	Mills	35720010000000 and 35730040000000	Adult Entertainment (Romantix)	Industrial		X
BNSF Railroad	8.92	Mills	N/A	Railroad right-of-Way	Industrial	x	
Kinze Melvin Williams	1	Mills	35730040000000	Retail (K&B Saddlery)	Industrial		X
<b>Totals</b>	<b>473.46</b>					<b>379.04</b>	<b>37.04</b>

\*State of Iowa right-of-way was not used to determine numbers of acres to be involuntarily annexed

Chapter 368.7, *Voluntary Annexation of Territory*, of the Iowa Code allows cities to involuntarily annex up to 20% of the total area being voluntarily annex for the purpose of providing a uniform boundary and to eliminate the creation of an “island” of territory that is surrounded by city jurisdiction. The total amount of land to be annexed into the City of Council Bluffs is 473.66 acres, of which, 379.04 acres are being voluntarily annexed and 37.04 are being involuntarily annexed. When applying the 80/20 annexation rule to this request, the City of Council Bluffs is eligible to annex up to 75.80 acres of land. City staff reviewed all properties in the immediate area of the annexation and determined 37.04 acres for involuntary annexation were sufficient, as the selected properties either provided a linkage to the City’s existing municipal boundary or assisted with creating a uniform boundary. An additional 38.76 acres of land were eligible for involuntary annexation but the City chose not to pursue it because the other eligible properties were too large in size and would have led to partial annexations with inconsistent zoning jurisdictions between the City of Council Bluffs and Mills/Pottawattamie Counties.

It should be noted the annexation area includes portions of Interstate 29 rights-of-way. This land was included so that the City of Council Bluffs maintains a relatively uniform shaped boundary once the annexation is finalized, and to allow annexed properties on both sides of the interstate access to City services and utilities, if needed. The City did not use the interstate rights-of-way acreage for calculating the number of acres that can be involuntarily annexed, as that would have required pre-approval from the Iowa Attorney General Office.

### Zoning and Land Use

The properties being annexed are zoned a mixture of industrial and/or agricultural, as per Pottawattamie and Mills County GIS databases (see Attachment G). Existing land uses within the annexation area include: undeveloped land, distribution/warehousing, residential dwellings, farming operations, concrete manufacturing, firing range, retail commercial, and an adult entertainment establishment. Section 15.27.030 *Annexed Territory* of the Council Bluffs Municipal Code (Zoning Ordinance) states “*annexed land shall retain the same zoning classification after annexation that it had prior to annexation. Those*

*regulations shall remain in place until the City completes the legislative action to rezone the property".* Once the annexation process is finalized, the City of Council Bluffs will initiate discussions with each annexed property owner to determine their future land use classification and an appropriate zoning designation. Amendments to the City's future land use plan and zoning map will occur once those discussions are completed.

All properties included in the annexation are located within the City of Council Bluffs' two-mile extraterritorial jurisdiction and are subject to the Joint City-County Land Use Plan (JLUS) Policies that were adopted between the City and Pottawattamie County (August 28, 2023, Resolution No. 23-234) and Mills County (September 23, 2024, Resolution No. 24-267). Per the adopted JLUS, the annexation area is designated as a City Growth Area 1B (see Attachment H) and is described on Page 70 of the JLUS as *"land located within the three-mile study area that is a priority for growth in an urban development pattern. The land is identified as an area having access, or planned access, for services including water, sanitary sewer, storm sewer, emergency services, power, natural gas, communications, and roadways. Areas should be developed to City standards. The area is projected to have access to a roadway network. In many cases this area can be serviced from existing infrastructure with extensions and does not require installation of new main service trunk lines. Areas will be annexed and reclassified into the appropriate City zoning district as subdivision or development of individual sites occur".* Furthermore, the future land use plan in JLUS designates the annexation area as mostly industrial, with the Bunge Avenue/Interstate 29 Interchange classified as commercial. Therefore, the purpose and intent of the proposed annexation is generally consistent with the City's adopted future land use and growth area plans.

#### Annexation Procedure

Chapter 368 of the Iowa Code sets out the procedure for municipal annexation of territory and the required notifications needed before City Council takes any action on the annexation. The public hearing is scheduled for the April 7, 2025 City Council meeting.

1. A consultation hearing with the Pottawattamie County Board of Supervisors, Mills County Board of Supervisors, and Trustees of Lewis Township, Oak Township, and St. Mary's Township was held on February 19, 2025 at 10:00 a.m. in Meeting Room 'B' of the Council Bluffs Public Library. The following people attended the consultation hearing:
  - a. Jeff Jorgenson, Pottawattamie County Board of Supervisors
  - b. Susan Miller, Pottawattamie County Board of Supervisors
  - c. John Rasmussen, Engineer, Pottawattamie County
  - d. Jack Sayers, Mills County Board of Supervisors
  - e. Jacob Ferro, Engineer, Mills County
  - f. Mark Norman, Mills County Economic Development Foundation
  - g. Paula Hazelwood, Advance Southwest Iowa Corporation
  - h. Keith Johnson, Oak Township Trustee
  - i. Mark Schoening, Oak Township Trustee
  - j. Paul Thieschafer, St. Mary's Township Trustee
  - k. Sharyn Poore, St. Mary's Township Trustee
  - l. Matthew and Laura Schultz, residents of Mills County
  - m. Mike Jaussen, Southwest Iowa Renewable Energy (SIRE)
  - n. Jonathan Bladt, Representative of Senator Grassley's office
  - o. Courtney Harter, City of Council Bluffs, Director of Community Development
  - p. Christopher Gibbons, City of Council Bluffs, Planning and Code Compliance Manager



Comments and questions related to the following topics were received from the meeting participants: extension and serviceability of utilities; inclusion of additional land along South 192<sup>nd</sup> Street and Bunge Avenue in the annexation; maintenance of S. 192<sup>nd</sup> Street and Bunge Avenue (within and adjacent to the annexation area); and timeframe for completing the annexation. Written recommendations for modification to the annexation are required by Iowa Code to be submitted to the City no later than seven days after the consultation. The City received written comments from the following individuals following the consultation hearing:

- A. Scott Belt, Chair of the Pottawattamie County Board of Supervisors (see Attachment I)
- B. Lonnie Mayberry, Richard Crouch, and Jack Sayers, Mills County Board of Supervisors (see Attachment J); and
- C. Lori Green, St. Mary's Township Trustee (see Attachment K).

All letters are included with this staff report and will be forwarded to the Council Bluffs City Council for consideration.

2. No later than 30-days after the consultation hearing, the board of supervisors of each county that contains all or a portion of the territory to be annexed shall, by resolution, state whether or not it supports the application or whether it takes no position in support of or against the application, as per Chapter 368 of the Iowa Code. Failure of a board of supervisors to adopt a resolution shall not delay the proceedings of annexation application nor shall such failure be considered a deficiency either in the application or in the annexing city's proceedings. Resolutions from Mills County and Pottawattamie County are due by March 19, 2025.
3. At least 14 business days before the April 7, 2025 City Council public hearing, notice will be published in the Daily Nonpareil (Pottawattamie County) and the Opinion Tribune (Mills County) newspapers. A copy of said notice will also be mailed to the Chair of the Mills County and Pottawattamie County Board of Supervisors, all effected utilities and each adjoining property owner not already inside the City. Additionally, a copy of said notice will be mailed to the Iowa Attorney General since the annexation includes portions of Interstate 29 right-of-way.
4. On February 20, 2025, the Council Bluffs Community Development Department mailed notifications to all property owners included in the annexation area; all property owners that abut the proposed annexation area; and all City Departments and local utility providers of the Council Bluffs City Planning Commission hearing to be held on March 11, 2025 and the City Council public hearing to be held on April 7, 2025.
5. Following public hearing by the City Council, the resolution taking action on the annexation is filed with the Secretary of State. The annexation is not final until acknowledged by the Secretary of State.

#### **Comments**

1. The purpose of this annexation is to provide City utilities and services for new industrial developments that are proposed to locate on parcels identified as 7, 7A, 7B, 7C and 10, 10A, 10B, and 10C, as shown on Attachment 'A'. Both developments will require an industrial zoning designation and development plan submittals, which will be reviewed by the City prior to the commencement of any construction.
2. The annexation boundary aligns with the legal descriptions of all properties involved. On the east side of Interstate 29, the proposed annexation includes portions of South 192<sup>nd</sup> Street, which is gravel roadway. On the west side of Interstate 29, the proposed annexation includes portions of 189<sup>th</sup> Street, which is a seal-coat/asphalt roadway. Neither of these streets meet current Council Bluffs roadway standards and their design will be evaluated in coordination with development review for proposed two new industrial developments. The annexation does not include Bunge Avenue. The City recognizes Bunge Avenue is not built to City current standards and that further evaluation of the roadway must occur as part of the development review for the two proposed industrial projects. The City has made the developer of each industrial project aware that a traffic study is required and the recommendations

from said studies will help determine what improvements to Bunge Avenue, South 192<sup>nd</sup> Street, and 189<sup>th</sup> Street are needed. The City will then coordinate with the developers, Iowa Department of Transportation, Mills County, and Pottawattamie County on any necessary road improvements and possible cost-sharing.

3. All abutting property owners were notified of the proposed annexation request. No public comments have been received as of the date of this report.
4. All landowners who are being involuntarily annexed were notified of the request. The City received comments in opposition of the annexation from Scott Glenn, owner of 11225 192<sup>nd</sup> Street, due to concerns associated with increased taxes caused by being part of the City of Council Bluffs and land use incompatibility due to their existing farming operation. Additionally, Mr. Glen sent an email to the City (see Attachment L) stating the annexation of their property is unnecessary since other large tracts of land adjacent to the annexation area and his property are being omitted. The City responded to Mr. Glenn's email and clarified his taxes should not increase as a result of the annexation as his land is assessed at an agricultural levy rate (District 49, Mills County). Additionally, the City explained his property had to be included in the annexation to provide a uniform-shaped boundary for the City and to avoid a possible "island" of unincorporated area, since his property it will be surrounded on three sides by City jurisdiction, if the annexation is approved.

The City also received a phone call from Mr. Robert DePiano, who is the attorney for Beverly Realty, LLC, which own the adult entertainment establishment (Romantix) at 50662 189<sup>th</sup> Street. Mr. DePiano stated the estate is indifferent to the annexation at this time but wanted to confirm the proposed annexation will not negatively impact his client's adult entertainment establishment. The City acknowledged the existing adult entertainment establishment and clarified the property is being annexed "as-is" and that we will work with his client to on appropriate zoning designation for their use.

The City also received a letter of opposition from Mr. Sam Irwin (Council Bluffs resident) regarding the proposed annexation (see Attachment M).

5. The City received a letter for support from Omaha-Council Bluffs Metropolitan Area Planning Agency (MAPA) for the proposed annexation (see Attachment N).
6. All City Departments and local utilities were notified of the proposed annexation. No adverse comments have been received from any City Department or local utility regarding the proposed annexation request.

### **Recommendation**

The Community Development Department recommends approval of the request for voluntary annexation of the property as shown in Attachment 'A' and legally described in Attachment 'B' and finds the following:

1. This annexation is consistent with the voluntary annexation procedure set forth in the Chapter 368 of the Iowa Code.
2. The area proposed for annexation adjoins the City's corporate boundary.
3. The proposed annexation will not create an island of County land surrounded by the City or restrict potential future annexation in any direction.
4. The proposed annexation creates a uniform boundary.
5. City services will not be adversely affected if the land is annexed.
6. The proposed annexation is consistent with the future land use map of the *Joint City Council Land Use Plan*.
7. The proposed annexation is in the best interest of the City.

### **Attachments**

Attachment A: Annexation boundary map and property owners list  
Attachment B: Annexation legal description  
Attachment C: Letter from BNSF requesting voluntary annexation  
Attachment D: Letter from Cattleman's Heritage Beef Company requesting voluntary annexation  
Attachment E: Letter from Oak Valley, LLC requesting voluntary annexation  
Attachment F: Letter from QRS Investments, LLC requesting voluntary annexation  
Attachment G: Mills and Pottawattamie County Zoning Map (Annexation Areas)  
Attachment H: City Growth Area Map  
Attachment I: Scott Belt, Chair of the Pottawattamie County Board of Supervisors  
Attachment J: Lonnie Mayberry, Richard Crouch, and Jack Sayers, Mills County Board of Supervisors  
Attachment K: Lori Green, St. Mary's Township Trustee  
Attachment L: Letter of opposition from Scott Glenn  
Attachment M: Letter of opposition from Sam Irwin  
Attachment N: Letter of support from MAPA

Prepared by: Christopher N. Gibbons, AICP, Planning and Code Compliance Manager



# Attachment "A"





# Attachment A - Property owner list

SOUTHLANDS ANNEXATION					
NUMBER	NAME	MAILING ADDRESS	ACRES	BRIEF LEGAL DESCRIPTION	PARCEL #
1	Scott Glenn	206 Timber Dr. Council Bluffs, IA 51503	12.15	LEWIS TWP 29-74-43 LT 2 SUB OF G/L 2 EXC COMM 183.77'W CENTER SECTION 29 TH S355.13' W242.84' N355.01' E248.03' TO POB & LT 3 SUB OF G/L 1 POTTAWATTAMIE COUNTY, IOWA	7443 29 300 011
2	Kinze Melvin Williams	11003 192nd St. Council Bluffs, IA 51503	8.00	LEWIS TWP 29-74-43 LT 4 AUD SUB G/L LT 1 SE SW POTTAWATTAMIE COUNTY, IOWA	7443 29 300 008
3	BNSF Railroad		11.47	S 1/2 SEC. 27-74-43 RAILROAD RIGHT OF WAY POTTAWATTAMIE COUNTY, IOWA	
3A	BNSF Railroad		6.00	NW 1/4 SEC. 32-74-43 RAILROAD RIGHT OF WAY POTTAWATTAMIE COUNTY, IOWA	
3B	BNSF Railroad		6.07	SW 1/4 SEC. 32-74-43 RAILROAD RIGHT OF WAY POTTAWATTAMIE COUNTY, IOWA	
4	City of Council Bluffs, Iowa	209 Pearl St. Council Bluffs, IA 51503	54.86	LEWIS TWP 32-74-43 S1/2 SW LYING W OF RR EXC N552.28' W552.28' & EXC COMM SW COR N378' E454.5'SE152.8' S290.6'W578.09' TO POB POTTAWATTAMIE COUNTY, IOWA	7443 32 300 007
5	Jimmie David Leggett	10265 192nd St. Council Bluffs, IA 51503	7.00	LEWIS TWP 32-74-43 N552.28' W552.28' SW SW POTTAWATTAMIE COUNTY, IOWA	7443 32 300 003
6	Lyman-Richey Corporation	2625 S 158th Plaza Omaha, NE 68130	4.89	LEWIS TWP 32-74-43 PT SW SW COMM SW COR TH N378' E454.5' SE152.8' S290.6' W578' TO POB (PARCELS C & D OF A) POTTAWATTAMIE COUNTY, IOWA	7443 32 300 008
7	Oak Valley, LLC	1673 200th St. Red Oak, IA 51566	37.88	SEC. 5-73-43 FRL NW1/4 NW1/4 MILLS COUNTY, IOWA	34220010000000
7A	Oak Valley, LLC	1673 200th St. Red Oak, IA 51566	25.13	SEC. 5-73-43 FRL NE1/4 NW1/4 W OF CB&Q RR R.O.W. MILLS COUNTY, IOWA	34220020000000
7B	Oak Valley, LLC	1673 200th St. Red Oak, IA 51566	32.90	SEC. 5-73-43 SW1/4 NW1/4 MILLS COUNTY, IOWA	34330000000000
7C	Oak Valley, LLC	1673 200th St. Red Oak, IA 51566	25.43	SEC. 5-73-43 SE1/4 NW1/4 W OF RR MILLS COUNTY, IOWA	34340000000000
8	QRS Investments, LLC	PO Box 336 Council Bluffs, IA 51502	38.39	SEC. 5-73-43 PCL A N1/2 SW1/4 MILLS COUNTY, IOWA	34350010100000
9	State of Iowa		36.43	SEC. 5-73-43 RIGHT OF WAY MILLS COUNTY, IOWA	
9A	State of Iowa		20.95	SEC 6-73-43 RIGHT OF WAY MILLS COUNTY, IOWA	
10	Cattlemen's Heritage Beef Company LLC	666 Walnut St. Suite 203 Dews Moines, IA 50309	40.00	SEC. 6-73-43 SW1/4 NE1/4 MILLS COUNTY, IOWA	35710000000000
10A	Cattlemen's Heritage Beef Company LLC	666 Walnut St. Suite 203 Dews Moines, IA 50309	33.91	SEC. 6-73-43 SE1/4 NE1/4 MILLS COUNTY, IOWA	35720000000000
10B	Cattlemen's Heritage Beef Company LLC	666 Walnut St. Suite 203 Dews Moines, IA 50309	40.00	SEC. 6-73-43 NW1/4 SE1/4 MILLS COUNTY, IOWA	35700010000000
10C	Cattlemen's Heritage Beef Company LLC	666 Walnut St. Suite 203 Dews Moines, IA 50309	18.08	SEC. 6-73-43 NE1/4 SE1/4 EXC 5 AC MILLS COUNTY, IOWA	35690000000000
11	Beverly Realty, LLC	4655 N Colorado Blvd. Denver, CO 80216	0.89	SEC. 6-73-43 0.89 AC SE COR NE1/4 SE1/4 W OF CO RD & N OF HWY 370 (PARCEL B) MILLS COUNTY, IOWA	35730020000000
11A	Beverly Realty, LLC	4655 N Colorado Blvd. Denver, CO 80216	3.11	SEC. 6-73-43 3.11 AC S PT NE1/4 SE1/4 W OF CO RD R.O.W (PARCEL B) MILLS COUNTY, IOWA	35720010000000
12	Kinze Melvin Williams	11003 192nd St. Council Bluffs, IA 51503	1.00	SEC. 6-73-43 IRREG PCL S PT NE1/4 SE1/4 W OF CO RD R.O.W & N OF HWY 370 R.O.W. (PARCEL A) MILLS COUNTY, IOWA	35730040000000
13	BNSF Railroad		8.92	SEC. 5-73-43 RAILROAD RIGHT OF WAY MILLS COUNTY, IOWA	
TOTAL			473.46		

CITY OF COUNCIL BLUFFS – SOUTHLANDS ANNEXATION DESCRIPTION

A PART OF SECTIONS 29 AND 32, TOWNSHIP 74 NORTH, RANGE 43 WEST OF THE 5<sup>TH</sup> P.M., POTTAWATTAMIE COUNTY, IOWA, AND A PART OF SECTIONS 5 AND 6, TOWNSHIP 73 NORTH, RANGE 43 WEST OF THE 5<sup>TH</sup> P.M., MILLS COUNTY, IOWA AND DESCRIBED AS FOLLOWS:

BEGINNING AT THE SOUTHWEST CORNER OF SAID SECTION 32; THENCE NORTHERLY ALONG THE WEST LINE OF THE SOUTH HALF OF THE SOUTHWEST QUARTER OF SAID SECTION 32 TO THE NORTHWEST CORNER OF SAID SOUTH HALF OF THE SOUTHWEST QUARTER; THENCE EASTERLY ALONG THE NORTH LINE OF SAID SOUTH HALF OF THE SOUTHWEST QUARTER TO THE WEST RIGHT OF WAY LINE OF THE BURLINGTON NORTHERN SANTE FE RAILROAD (A.K.A. KANSAS CITY ST JOSEPH AND COUNCIL BLUFFS RAILROAD AND A.K.A. BURLINGTON NORTHERN RAILROAD); THENCE NORTHERLY ALONG SAID WEST RIGHT OF WAY LINE TO THE SOUTH LINE OF SAID SECTION 29; THENCE WESTERLY ALONG SAID SOUTH LINE TO THE CENTERLINE OF 192<sup>ND</sup> STREET; THENCE NORTHEASTERLY ALONG SAID CENTERLINE TO THE SOUTHWEST CORNER OF PARCEL "A" OF LOT 2 IN THE AUDITOR'S SUBDIVISION OF GOVERNMENT LOT 2 OF SAID SECTION 29; THENCE EASTERLY ALONG THE SOUTH LINE OF SAID PARCEL "A" TO THE SOUTHEAST CORNER OF SAID PARCEL "A"; THENCE CONTINUING EASTERLY ALONG A LINE PARRALLEL TO THE NORTH LINE OF THE SOUTHWEST QUARTER OF SAID SECTION 29 TO THE EAST RIGHT OF WAY LINE OF SAID BURLINGTON NORTHERN SANTE FE RAILROAD; THENCE SOUTHERLY ALONG SAID EAST RIGHT OF WAY LINE TO THE SOUTH LINE OF THE NORTH HALF OF THE SOUTHWEST QUARTER OF SAID SECTION 5; THENCE WESTERLY ALONG SAID SOUTH LINE TO THE SOUTHWEST CORNER OF SAID NORTH HALF OF THE SOUTHWEST QUARTER; THENCE CONTINUING WESTERLY ALONG THE SOUTH LINE OF THE NORTH HALF OF THE SOUTHEAST QUARTER OF SAID SECTION 6 TO THE WEST LINE OF THE EAST HALF OF SAID SECTION 6; THENCE NORTHERLY ALONG SAID WEST LINE TO THE NORTHWEST CORNER OF THE SOUTH HALF OF THE NORTHEAST QUARTER OF SAID SECTION 6; THENCE EASTERLY ALONG THE NORTH LINE OF SAID SOUTH HALF OF THE NORTHEAST QUARTER TO THE NORTHEAST CORNER OF SAID SOUTH HALF OF THE NORTHEAST QUARTER; THENCE NORTHERLY ALONG THE EAST LINE OF SAID NORTHEAST QUARTER TO THE POINT OF BEGINNING.



Cary Hutchings  
Director  
Corporate Real Estate

BNSF Railway Company  
P.O. Box 961051  
Fort Worth, TX 76161-0051  
2650 Lou Menk Dr, MOB2  
Fort Worth, TX 76131-2830  
817-593-6917  
Email:cary.hutchings@bnsf.com

November 13, 2024

Mayor Matt Walsh  
209 Pearl St.  
Suite 104  
Council Bluffs, IA 51503

**Subject: Request for Voluntary Annexation of BNSF Property**

Dear Mayor Walsh,

Pursuant to the attached map, BNSF Railway respectfully requests to voluntarily annex our property, identified in the enclosed documentation, into the City of Council Bluffs. We believe that annexation will enhance the services and infrastructure available to our property and further contribute to the city's growth and development. However, by making this request, BNSF is not waiving any federal preemption or submitting to the state or local government's jurisdiction.

Please find attached the relevant maps and documentation to facilitate your review. Should you require any additional information to proceed, please do not hesitate to contact me directly at 817-593-6917 or Cary.Hutchings@BNSF.com.

Thank you for considering our request. We look forward to working with the City of Council Bluffs on this annexation process.

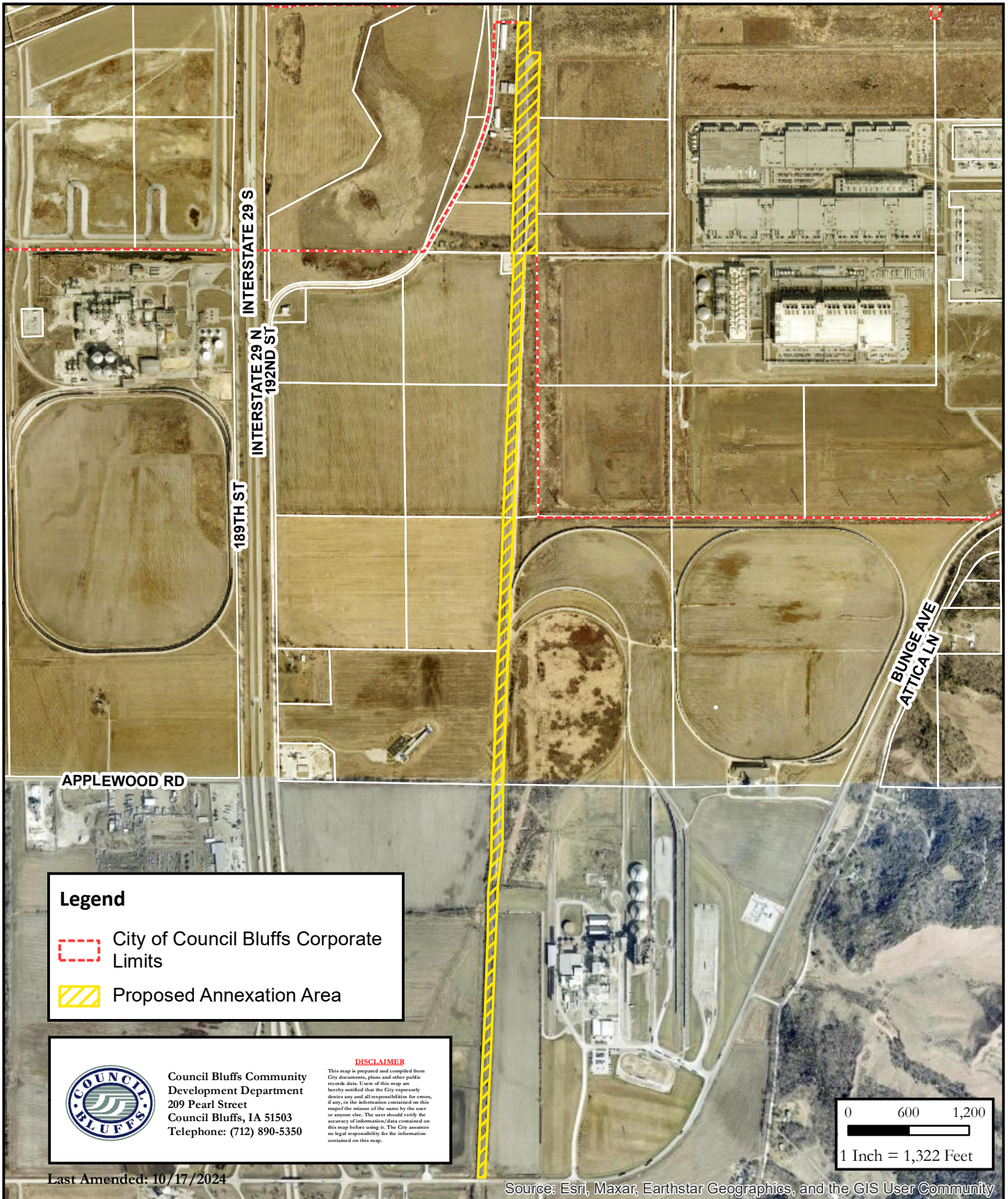
Sincerely,

A handwritten signature in black ink, appearing to be "Cary Hutchings", with a long horizontal line extending to the right.

Cary Hutchings  
Director Corporate Real Estate  
BNSF RAILWAY COMPANY



# CITY OF COUNCIL BLUFFS PROPOSED ANNEXATION AREA







November 26, 2024

Courtney Harter  
Director of Community Development  
City of Council Bluffs  
209 Pearl Street, Council Bluffs, IA 51503

Re: Formal Request for Voluntary Annexation – Cattlemen's Heritage Beef Company

Dear Ms. Harter –

On behalf of Cattlemen's Heritage Beef Company ("CHBC"), we are formally requesting voluntary annexation of our property by the City of Council Bluffs.

CHBC is developing a state of the art, sustainable cattle processing facility on 132 acres located at the northwest quadrant of Interstate 29 and Bunge Road in unincorporated Mills County, Iowa (and described as Mills County parcels – 035710000000000, 03700010000000, 035720000000000, 035690000000000.).

I have legal authority as the CEO and Chairman of the Board of Cattlemen's Heritage Beef Company, LLC to enter into this voluntary annexation.

If you have any questions or require additional information, please contact Jon Kallen, Esq. CHBC Corporate Counsel at 515-343-6492 or [jon@cattlemensheritage.com](mailto:jon@cattlemensheritage.com).

Regards,

  
Chad Tentinger

## Attachment E

**November 18, 2024**

The Honorable Mayor Matt Walsh  
City of Council Bluffs  
209 Pearl Street  
Council Bluffs, IA 51503

**Subject:** Request for Voluntary Annexation of BNSF Property

Dear Mayor Walsh,

On behalf of Oak Valley, LLC, I am writing to formally request the voluntary annexation of our property, as specified by the parcel numbers below, into the City of Council Bluffs. We believe that this annexation will yield mutual benefits, enhancing both our access to city services and infrastructure and contributing to the overall growth of our region.

Should you require any additional information to facilitate this process, please feel free to reach out to my agent, Sandi Winton at 712-520-8548 or sandi@jimhughesrealestate.com

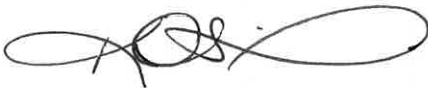
Thank you for your consideration of our request. We look forward to collaborating with the City of Council Bluffs on this annexation and are committed to making it a smooth and beneficial transition for all parties involved.

**Property Information:**

192nd Street, Council Bluffs, Iowa (Mills County)

- Parcel #1: 0342200100000000 - 40.78 Acres
- Parcel #2: 0342200200000000 - 25.13 Acres
- Parcel #3: 0343300000000000 - 40.00 Acres
- Parcel #4: 0343400000000000 - 26.94 Acres

Sincerely,



Kelly Osheim  
Member  
Oak Valley, LLC

**Attachment F**

February 6, 2025

Mayor Matt Walsh  
City of Council Bluffs  
209 Pearl Street  
Council Bluffs, Iowa 51503

RE: Request for Voluntary Annexation

On behalf of QRS Investments, LLC, I am writing to formally request the voluntary annexation of our property, as specified by the parcel numbers below, into the City of Council Bluffs.

19262 Bunge Avenue  
Council Bluffs, Iowa 51503

Parcel ID: 034350010100000

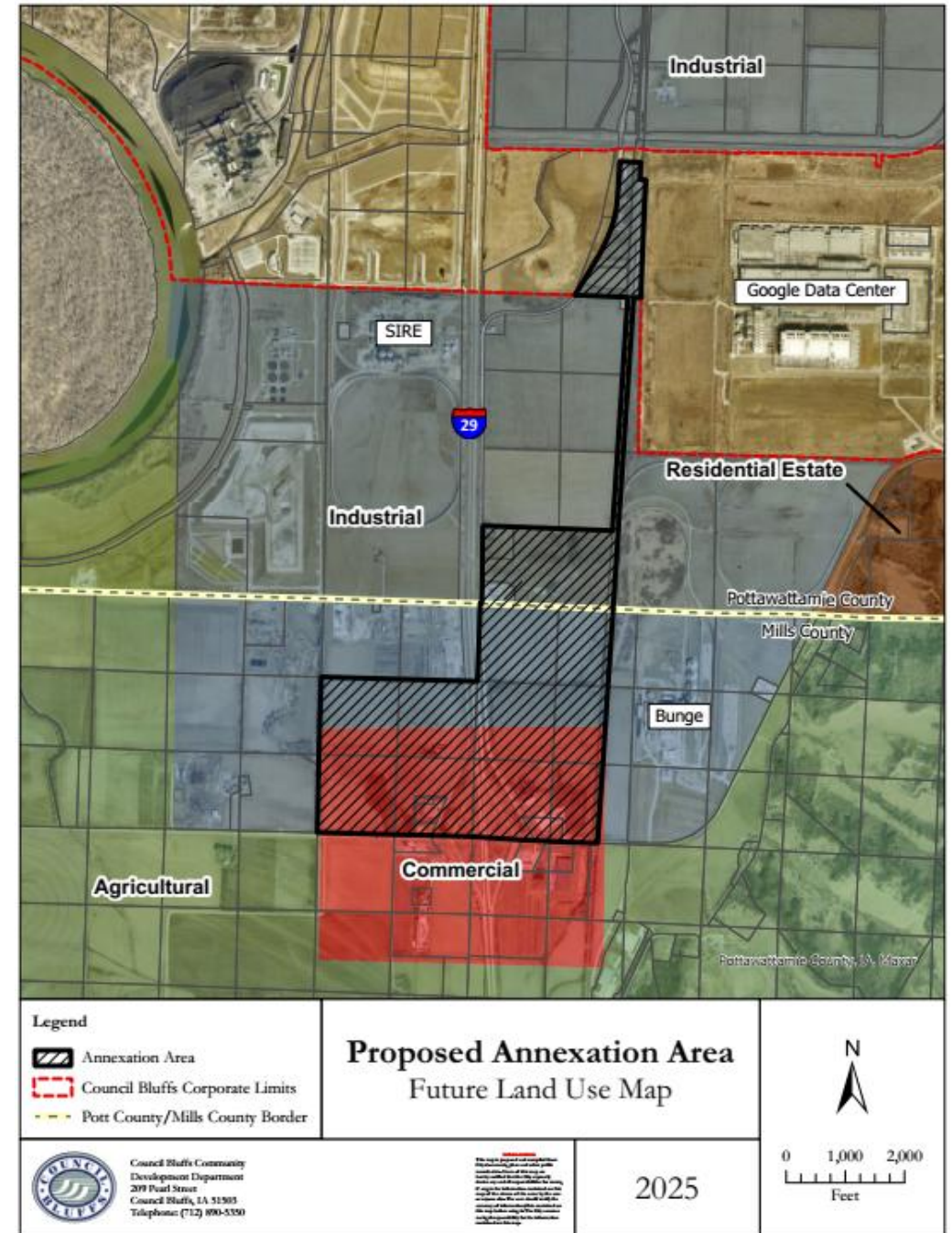
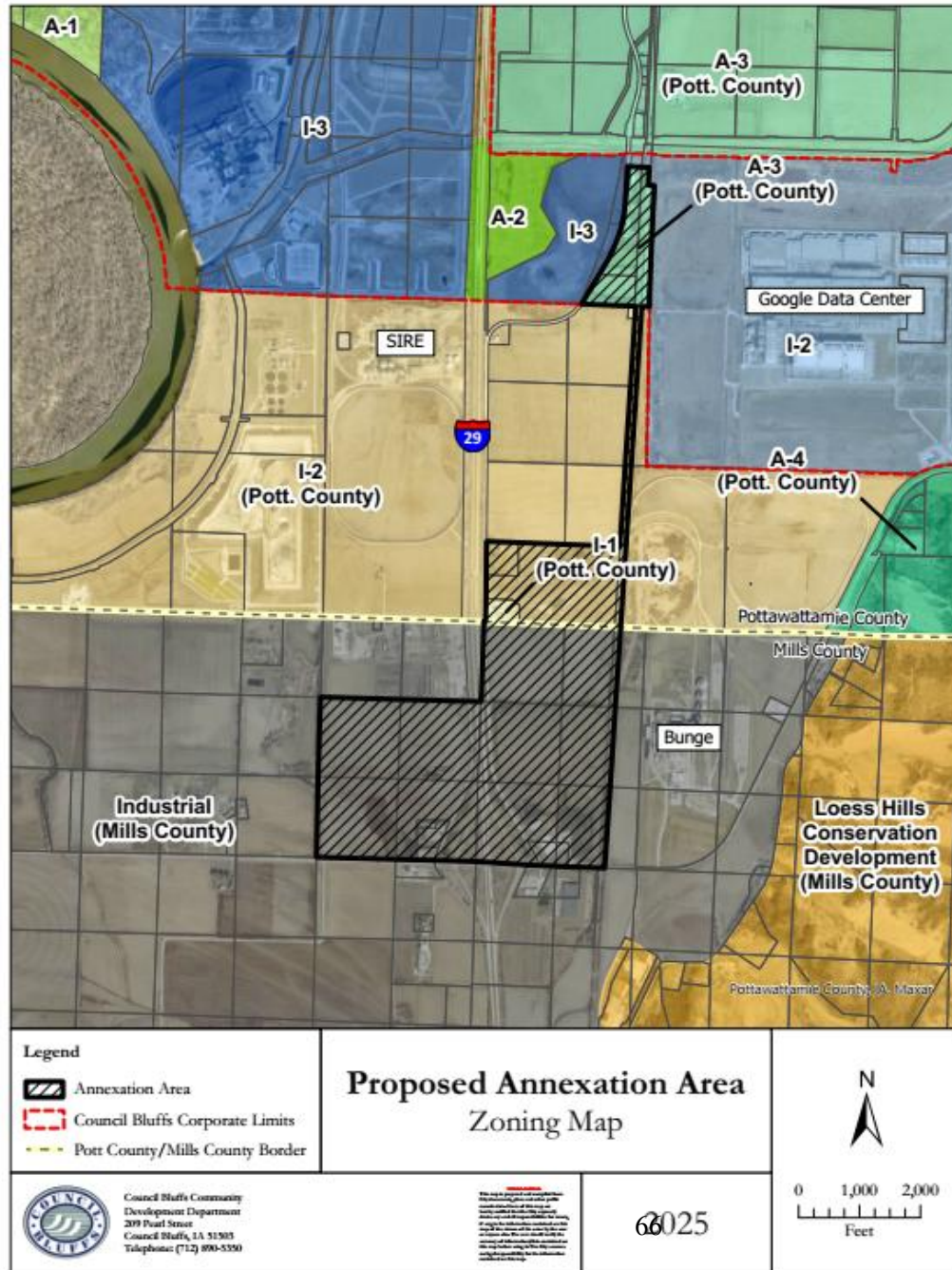
Sincerely,



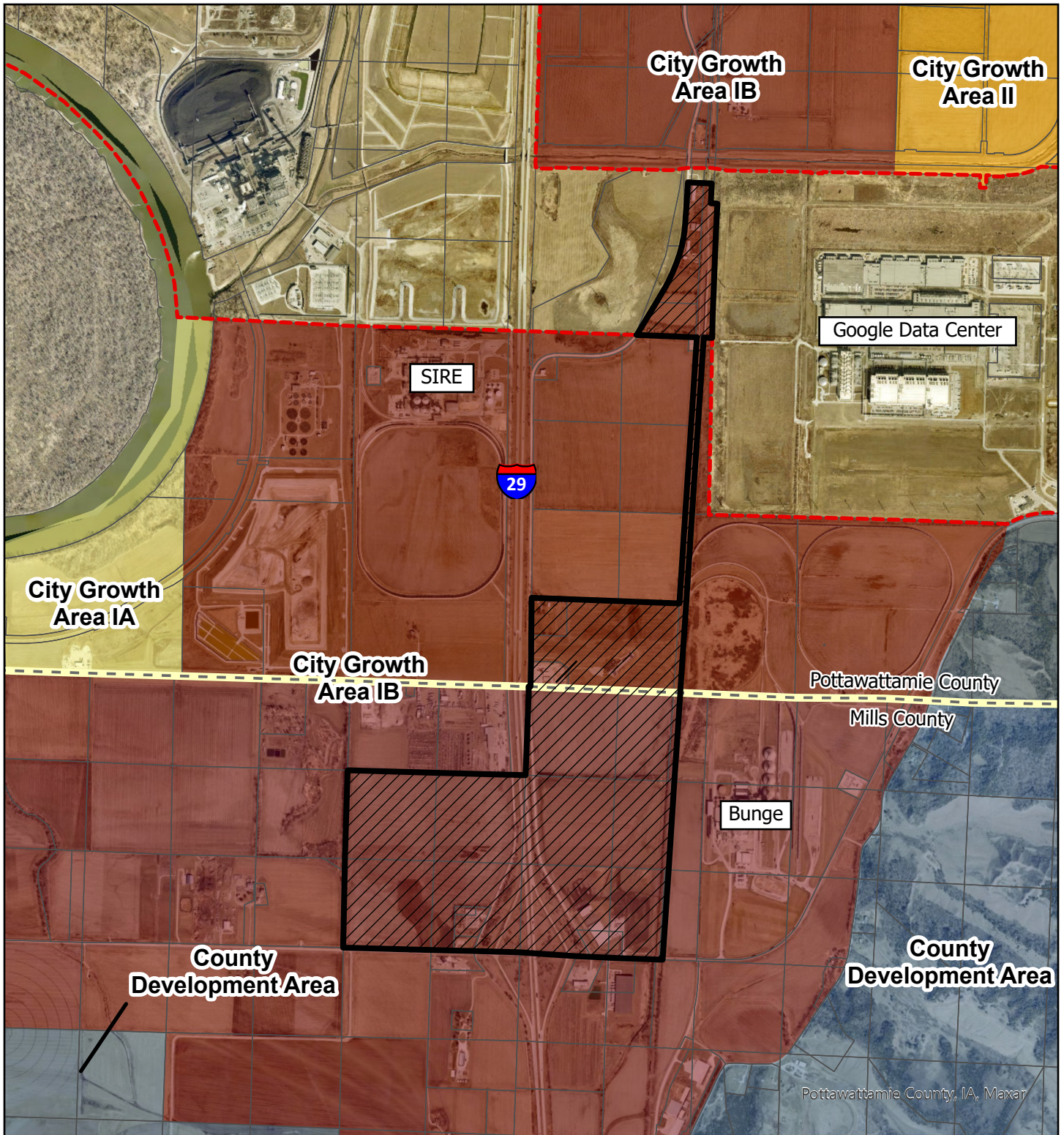
Greg Johnson






# Attachment G







**Legend**

-  Annexation Area
-  Council Bluffs Corporate Limits
-  Pott County/Mills County Border

## Proposed Annexation Area Growth Area Map



0 1,000 2,000  
Feet

2025



Council Bluffs Community  
Development Department  
209 Pearl Street  
Council Bluffs, IA 51503  
Telephone: (712) 890-5350

**DISCLAIMER**  
This map is prepared and compiled from City documents, plans and other public records data. Users of this map are hereby notified that the City expressly disclaims any and all responsibilities for errors, if any, in the information contained on this map or the misuse of the same by the user or anyone else. The user should verify the accuracy of information/data contained on this map before using it. The City assumes no legal responsibility for the information contained on this map.





227 South 6<sup>th</sup> Street  
Council Bluffs, IA 51501  
Ph: 712-328-5644 | Fax: 712-328-5770  
PottCounty-ia.gov

Chair Scott Belt  
Susan Miller  
Tim Wichman  
Brian Shea  
Jeff Jorgensen

February 25, 2025

Christopher Gibbons, Planning and Code Compliance Manager  
Council Bluffs Community Development Department  
209 Pearl St.  
Council Bluffs, IA 51503

**Re: Response to Iowa Annexation Consultation Meeting**

Dear Mr. Gibbons,

On behalf of the Pottawattamie County Board of Supervisors we are writing to formally respond to the consultation meeting held on February 19, 2025, regarding the proposed annexation of Southern Pottawattamie County adjacent to 192<sup>nd</sup> Street. As a stakeholder in the affected area, we would like to express our thoughts, concerns, and/or support regarding the proposed annexation.

**1. Acknowledgment of Meeting and Process**

We appreciate the opportunity to participate in the annexation consultation process. It is valuable to have a forum in which residents and property owners can provide input, and we are grateful for the transparency of the process.

**2. Support/Concerns about the Annexation**

Pottawattamie County fully supports the annexation as it appears to align with the long-term growth plans for our community. The proposed expansion will enhance access to municipal services and ensure more sustainable development in the area. However, we have concerns about the boundaries of the annexation creating road maintenance and construction responsibilities for Pottawattamie County without any potential for growth or development in the unincorporated area.

**3. Specific Requests for Modifications/Agreements**

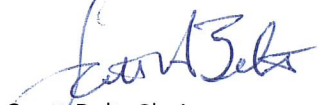
We would like the following modifications to the proposed annexation.

- Adjust the western boundary to the West ROW line of Interstate 29 instead of the 192nd Street Centerline. The intent is to remove Pottawattamie County's responsibility from construction or maintenance on 192<sup>nd</sup> Street in that area which wouldn't serve any unincorporated property due the Interstate ROW.
- Adjust the Southern Boundary to the Centerline of Bunge Avenue to accept maintenance and construction responsibility for the increased traffic demands of the development and intersections.
- Take those properties between the existing corporate limit to the North and proposed corporate limits to the South, West of proposed parcel 3B.
- The City and County's involved should update maintenance sharing agreements for all the annexation that have taken place since the last approved agreement.

#### 4. Conclusion

Once again, Pottawattamie County appreciates the opportunity to voice our thoughts and concerns during this consultation process. It is our hope that the annexation, if approved, will proceed in a manner that ensures the best interests of all residents are considered and that adequate provisions are made for infrastructure and services.

Sincerely,



Scott Belt, Chairman  
Pottawattamie County Board of Supervisors



# Mills County Board of Supervisors

Lonnie Mayberry • Jack Sayers • Richard Crouch

Attachment J

To the City of Council Bluffs,

February 26, 2025

This letter addresses the proposed annexation of Mills County in the vicinity of Bunge Avenue. The Board of Supervisors expresses its general support for the annexation but wishes to highlight specific concerns that require attention.

The Board is particularly concerned about:

1. The boundaries of the annexation, specifically the ownership and maintenance responsibilities for Bunge Avenue, particularly as they relate to the centerline of the road.
2. The potential creation of “islands” around existing properties within the annexation area.
3. Increased traffic flow, which may heighten the risk of traffic collisions in the area.

Mills County remains committed to collaboration throughout the annexation process and encourages open dialogue among the City of Council Bluffs, Pottawattamie County, and Mills County. The Board welcomes any actions to address these concerns and looks forward to your response. If you have any questions or need for clarification please do not hesitate to contact us.

Sincerely,

  
\_\_\_\_\_  
Lonnie Mayberry, Chair  
\_\_\_\_\_  
Jack Sayers, Vice Chair  
\_\_\_\_\_  
Richard Crouch, Chair



**From:** Lori Green <lorigreen43@gmail.com>  
**Sent:** Thursday, February 20, 2025 10:04 PM  
**To:** Christopher Gibbons  
**Subject:** Proposed annexation of land into the city of Council Bluffs

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Lori Green  
St Mary Township Trustee  
17889 Allis Rd, Council Bluffs, IA 51503

Christopher Gibbon  
Planning and Code Compliance Manager  
Community Development Department

Dear Mr. Gibbons,

I am writing to express my concerns regarding the potential annexation of a portion of Mills County by Council Bluffs to facilitate the construction of the Cattleman's Heritage beef processing facility. While I understand the economic opportunities such a development may bring, I am deeply concerned about the infrastructure implications and financial burden this annexation could place on Mills County.

As I understand it, the meatpacking plant cannot proceed with construction until it secures a means to handle its waste products, which has led to a request for Council Bluffs to extend its wastewater services to the proposed site. However, the map outlining the proposed annexation stops short of the interchange at I-29 and Highway 370, despite the significant increase in traffic and weather on the roadway system that this project will generate.

With an estimated daily processing of 2,000 head of cattle a day and 800 employees working across three shifts, there will be a substantial impact on traffic flow at this interchange. Increased traffic control measures, maintenance, and improvements to the highway system will be necessary, and as it stands, Mills County would bear the financial responsibility for these expenses. It is my belief that if Council Bluffs proceeds with annexation to support Cattleman's Heritage facility, the annexation should be adjusted to extend to include the interchange. This would ensure that Council Bluffs takes responsibility for the associated costs rather than shifting the burden to Mills County taxpayers.

I appreciate your attention to this matter and would welcome any updates as decisions are made.

Thank you for your time and consideration.

Sincerely,  
Lori Green

March 2, 2025

Christopher Gibbons

Planning and Code Compliance Manager

City of Council Bluffs – Community Development Department

To Whom It May Concern,

In regard to the proposed annexation of our property at 11225 192<sup>nd</sup> Street, we have some areas of major concern regarding this. This will cause great hardship in the operation of our business. It seems to be completely unnecessary to annex our property at this time, when a large tract to the south of us, between our property and the proposed annexation area, is not being annexed. We feel this is a malicious act of the city to collect revenue, when no doubt there will be large tax abatement to those asking for voluntary annexation. It seems a bit suspicious that you would have to include a long narrow track of railroad just to make our property adjacent to the proposed annexation area. We feel that we were singled out because of having multiple buildings on our property and the land to the south of us was overlooked because it is bare ground.

We would very much appreciate if we could be left out of this annexation. We understand your position as to expanding city boundaries for city growth, but please don't over exercise your authority just to collect tax revenue.

Sincerely,

Scott Glenn  
4G Cattle LLC  
11225 192<sup>nd</sup> Street  
Council Bluffs, IA 51503

**Christopher Gibbons**

---

**From:** Courtney Harter  
**Sent:** Tuesday, February 25, 2025 6:33 AM  
**To:** 'Sam Irwin'  
**Cc:** Christopher Gibbons  
**Subject:** RE: Planning committee meeting 03/11/2025

Thank you, Mr. Irwin. We will have your comments logged in the record.

Courtney Harter  
Director of Community Development  
City of Council Bluffs  
209 Pearl Street, Council Bluffs, IA 51503  
D: (712) 890-5354 / O: (712) 890-5350  
[Visit Council Bluffs Online](#)



---

**From:** Sam Irwin <sfirwin@aol.com>  
**Sent:** Tuesday, February 25, 2025 6:20 AM  
**To:** Courtney Harter <charter@councilbluffs-ia.gov>  
**Subject:** Planning committee meeting 03/11/2025

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Planning committee and City Council:

I have the following response to the public notice regarding the annexation of 473 Acre development in Mills County into, the Council Bluffs city limits:.

I am against extending city services to this project for some of these reasons as a start:

We have property and people who do not have these services inside the city. That was annexed back in 1969.

We have vacant land available already.

The annexation of the Airport has and is costing the taxpayers money each Year.

The public notice does not give specific's on the who what when and etc; how this will actually decrease our 4 th highest mill levy in the state of Iowa.

This notice does not spell out how it will decrease the poverty level or reduce the homeless.

This notice does not discuss what all the taxes and fee's that will be assessed to this property. Or will it lower our costs.

What will the cost be for actually extending the services.

How many new city function's/jobs will be needed to serve it. Fire Police etc"

Will or have the water works discussed the extension and will it be a high user with what rates. They just raised our residential rates.

What will be the needs for sewer extension and costs.

Will there be new housing in this area for the new Jobs.

To be entered into the records thank you.

Sam Irwin  
321 Perrin Place  
Council Bluffs Iowa 51503





DATE: February 20, 2025

TO: Christopher Gibbons, Planning and Code Compliance Manager  
Community Development Department  
209 Pearl Street  
Council Bluffs, IA 51503

RE: CASE #AN-25-001 VOLUNTARY ANNEXATION REQUEST

MAPA is in support of the City of Council Bluffs' proposed voluntary annexation of approximately 473 acres (m/l) of land as outlined in CASE #AN-25-001.

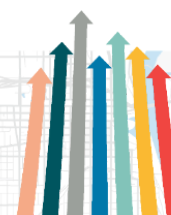
Should you have any questions, please contact me at 402-444-6866 x 3220.

Sincerely,

A handwritten signature in black ink, appearing to read "Carlos Morales".

Carlos Morales  
Transportation and Data Manager

CC:  
Scott Belt, Pottawattamie County Supervisor  
John Rasmussen, Pottawattamie County Engineer  
Lonnie Mayberry, Mills County Chair  
Scott Suhr, Iowa DOT



**Planning Commission Communication**

Department: Community Development

Case/Project No.: URN-25-001

Submitted by: Marianne Collins,  
Housing & Economic Development  
Planner

CASE #URN-25-001

Council Action: 3/11/2025

Description

Public hearing on the request of the City of Council Bluffs Community Development Department to create and adopt the Power Drive Housing Urban Renewal Area and Plan, for property legally described in the case staff report.

Background/Discussion

See attached staff report.

Recommendation

**ATTACHMENTS:**

Description	Type	Upload Date
Staff Report & Attachments	Other	3/6/2025

## Planning Commission Communication

Department: Community Development  Case/Project No.: URN-25-001	Ordinance No.:  Resolution No.: 25-	City Council: 2-24-2025 Planning Commission: 3-11-2025 P.H. and First Reading: 3-24-2025
<b>Subject/Title</b>		
Proposed creation of the Power Drive Housing Urban Renewal Plan		
<b>Location</b>		
Generally located south of 35 <sup>th</sup> Avenue and north of Veterans Memorial Highway and east of South Expressway and west of Interstate-29		
<b>Background/Discussion</b>		
<p><u>Background</u></p> <p>In 2024 Cornerstone Housing Group approached the City about developing a parcel of land included in the proposed Power Drive Housing Urban Renewal Area. Cornerstone is proposing to construct a 280-unit multi-family project. It has been determined the proposed area meets the definition of “economic development area.” This determination is based on Chapter 403.17 of the Iowa Code.</p> <p>In order to invoke its urban renewal powers, the City Council must agree to designate the subject property an Urban Renewal Area, adopt an Urban Renewal Plan and negotiate a development agreement with the Developer. Assistance in the form of an urban renewal project area, conforming to the Section 403 of Iowa Code, is necessary to acquire land; improve regulatory control; improve public infrastructure and facilities; and to allow for private development of vacant land.</p> <p><u>Discussion</u></p> <p>On February 24, 2025, the City Council passed a resolution of necessity, which directed staff to initiate the process of creating the Power Drive Housing Urban Renewal Plan and Area. On March 5, 2025, the Consultation Meeting was held with other taxing jurisdictions. This resolution establishes the following timeframe:</p> <p style="text-align: center;">3-24-2025    City Council public hearing on the proposed urban renewal plan</p> <p>Iowa statutes require the City Planning Commission to review the plan for conformity to the comprehensive plan and to forward a recommendation to City Council prior to the public hearing. An urban renewal plan conforming to the requirements of Chapter 403 of the Iowa Code has been prepared and is attached for your review.</p> <p>The Power Drive Housing Urban Renewal Area is being designated as an economic development area that is appropriate for the development of new low and moderate income (LMI) housing and the provision of public improvements related to housing and residential development conforming to Chapter 403.17 of the Iowa Code. Designation is necessary to assist and promote local commercial enterprises to strengthen and revitalize the economy. Tax Increment Financing (TIF) will be utilized to provide assistance to the City for the infrastructure costs that will be incurred.</p>		
<b>Staff Recommendation</b>		
The Community Development Department recommends concurrence that the Power Drive Housing Urban Renewal Plan and Area is in conformity with the <i>Bluffs Tomorrow: 2030 Comprehensive Plan</i> .		
<b>Attachments</b>		
Attachment 1 – Power Drive Housing Residential Urban Renewal Area Plan Attachment 2 - Legal Description		

Prepared by: Marianne Collins, Housing & Economic Development Planner  
 Submitted by: Courtney Harter, Director of Community Development

**POWER DRIVE HOUSING  
URBAN RENEWAL PLAN**

**for the**

**POWER DRIVE HOUSING  
URBAN RENEWAL AREA**

**CITY OF COUNCIL BLUFFS, IOWA**

**March 2025**



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- A. LEGAL DESCRIPTION OF POWER DRIVE HOUSING URBAN RENEWAL AREA
- B. POWER DRIVE HOUSING URBAN RENEWAL AREA MAP

**Power Drive Housing Urban Renewal Plan  
for the  
Power Drive Housing Urban Renewal Area**

**City of Council Bluffs, Iowa**

**A. INTRODUCTION**

The Power Drive Housing Urban Renewal Plan (“Plan” or “Urban Renewal Plan”) for the Power Drive Housing Urban Renewal Area (“Area” or “Urban Renewal Area”) has been developed to help local officials respond to and promote economic development in the City of Council Bluffs, Iowa (the “City”). The primary goal of the Plan is to stimulate, through public involvement and commitment, private investment in new low to moderate income (LMI) housing and residential development as defined in Iowa Code Section 403.17(12).

In order to achieve this objective, the City intends to undertake urban renewal activities pursuant to the powers granted to it under Chapter 403 and Chapter 15A of the *Code of Iowa*, as amended.

**B. DESCRIPTION OF THE URBAN RENEWAL AREA**

The Urban Renewal Area is described in Exhibit A. A map of the Urban Renewal Area is included in Exhibit B. The City reserves the right to modify the boundaries of the Area at some future date.

**C. AREA DESIGNATION**

With the adoption of this Plan, the City designates this Urban Renewal Area as an economic development area that is appropriate for the development of new LMI residential housing units.

**D. BASE VALUE**

If the Urban Renewal Area is legally established, a Tax Increment Financing (TIF) ordinance is adopted, and debt is certified prior to December 1, 2025, the taxable valuation as of January 1, 2024, will be considered the frozen “base valuation” for purposes of TIF for the portion of the Urban Renewal Area identified in the TIF ordinance. If a TIF ordinance is not adopted until a later date, or debt is not first certified prior to December 1, 2025, then the frozen “base value” will be the assessed value of the taxable property within that area covered by the TIF ordinance as of January 1 of the calendar year preceding the calendar year in which the City first certifies the amount of any debt for urban renewal projects within the Area.

**E. DEVELOPMENT PLAN**

The City has a general plan for the physical development of the City as a whole outlined in the Bluffs Tomorrow: 2030 Comprehensive Plan, adopted in 2014 and amended in 2015. The goals

and objectives of the Urban Renewal Plan, including the urban renewal projects identified herein, are in conformity with the City's Bluffs Tomorrow: 2030 Comprehensive Plan.

This Urban Renewal Plan does not in any way replace the City's current land use planning or zoning regulation process.

The need, if any, for improved traffic, public transportation, public utilities, recreational and community facilities, or other public improvements within the Urban Renewal Area is set forth in this Plan. As the Area continues to develop, the need for public infrastructure extensions and upgrades will be evaluated and planned for by the City.

## **F. RESIDENTIAL DEVELOPMENT**

The City's objective in this Urban Renewal Area is to promote new LMI housing and residential development. The City realizes that the availability of affordable housing is an important component of attracting new business and industry and retaining existing businesses. In order to help stimulate the development of new affordable housing opportunities, one of the City's overall priorities is to investigate and pursue funding options to provide financial support for new residential development.

## **G. PLAN OBJECTIVES**

Renewal activities are designed to provide opportunities, incentives, and sites for new LMI residential development within the Area. More specific objectives for development within the Urban Renewal Area are as follows:

1. To increase the availability of housing opportunities, which may, in turn, attract and retain local industries and commercial enterprises that will strengthen and revitalize the economy of the State of Iowa and the City of Council Bluffs.
2. To stimulate, through public action and commitment, private investment in new housing and residential development. The City realizes that the availability of affordable, decent, safe, and sanitary housing is important to the overall economic viability of the community.
3. To plan for and provide sufficient land for LMI residential development in a manner that is efficient from the standpoint of providing municipal services.
4. To improve housing conditions and increase housing opportunities, particularly for workers, elderly individuals, and/or LMI individuals and families.
5. To provide for the installation and upgrade of public works, infrastructure, and related facilities in support of new LMI housing development.
6. To provide a more marketable and attractive investment climate.

7. To preserve the health, safety, living environment, general character, and general welfare of Council Bluffs, Iowa.
8. To promote development utilizing any other objectives allowed by Chapter 403 of the *Code of Iowa*.

#### **H. TYPES OF RENEWAL ACTIVITIES**

To meet the objectives of this Urban Renewal Plan and to encourage the development of the Area, the City intends to utilize the powers conferred under Chapter 403 and Chapter 15A, *Code of Iowa* including, but not limited to, tax increment financing. Activities may include:

1. To undertake and carry out urban renewal projects through the execution of contracts and other instruments.
2. To acquire property and to hold, clear, or prepare the property for development.
3. To dispose of property so acquired.
4. To provide for the construction of site-specific improvements, such as grading and site preparation activities, access roads and parking, fencing, utility connections, and related activities.
5. To arrange for, or cause to be provided, the construction or repair of public infrastructure, including, but not limited to, streets and sidewalks, traffic lights, pedestrian safety measures, water mains, sanitary sewers, storm sewers, public utilities, or other facilities in connection with urban renewal projects.
6. To make loans, forgivable loans, tax rebate payments, or other types of economic development grants or incentives to private persons or businesses to promote housing projects on such terms as may be determined by the City Council.
7. To use tax increment revenues to help leverage grants, loans, or other assistance from the state and federal governments (such as providing the local match for such assistance) in support of projects or businesses that advance the objectives of this Plan.
8. To use tax increment financing to facilitate urban renewal projects, including, but not limited to, financing to achieve a more marketable and competitive land offering price and to provide for necessary physical improvements and infrastructure.
9. To use tax increment for LMI housing assistance.
10. To borrow money and to provide security therefor.
11. To finance programs that will directly benefit housing conditions and promote the availability of housing affordable to LMI persons in the community.



12. To make or have made surveys and plans necessary for the implementation of the Urban Renewal Program or specific urban renewal projects.
13. To use any or all other powers granted by the Urban Renewal Act to develop and provide for improved economic conditions for the City of Council Bluffs and the State of Iowa.

Nothing herein shall be construed as a limitation on the power of the City to exercise any lawful power granted to the City under Chapter 15, Chapter 15A, Chapter 403, Chapter 427B, or any other provision of the *Code of Iowa* in furtherance of the objectives of this Urban Renewal Plan.

## **I. ELIGIBLE URBAN RENEWAL PROJECTS**

Although certain project activities may occur over a period of years, the eligible urban renewal projects under this Urban Renewal Plan include:

- 1. Development Agreement with Cornerstone Housing Group, LLC (or a related entity):** The City anticipates entering into a new development agreement with Cornerstone Housing Group, LLC (or a related entity) to provide incentives to assist with the cost of constructing a new LMI residential development project within the Urban Renewal Area. The development is expected to include approximately 280 multi-family residential housing units. The residential housing units will be affordable for LMI individuals or families according to the rules set forth under Chapter 403 of the Code of Iowa as families, including single person households, who earn no more than 80% of the higher of the median family income of Pottawattamie County or the State-wide non-metropolitan area as determined by the latest United States Department of Housing and Urban Development, Section 8 income guidelines. All 280 residential housing units are expected to be affordable to LMI individuals. No incentives will be given for residential housing units that are not affordable to LMI individuals. Additionally, the developer will construct all infrastructure necessary to serve the residential housing units.

The City intends to provide assistance in the form of property tax rebates of potential incremental taxes. Under the proposal, a percentage of the incremental property taxes generated by LMI units within the project (from incremental taxes created by the new buildings in the area covered by the development agreement and collected pursuant to Iowa Code Section 403.19) would be used to fund grants to the developer for up to 20 years. The cumulative amount of the grants provided to the developer shall not exceed \$9,000,000. These rebates will not be general obligations of the City, but will be payable solely from incremental property taxes generated by the project.

- 2. Improvements to 35<sup>th</sup> Avenue:** The City plans to complete improvements to 35<sup>th</sup> Avenue within the Urban Renewal Area. The improvements are necessary to promote commercial and industrial development within the Area. The City expects the costs of this project will not exceed \$2,300,000.

- 3. Power Drive Road Extension Project:** The Power Drive project will construct approximately 2,200 lineal feet of new concrete roadway, with curb and gutter and storm sewer. The road is expected to be 39 feet wide, allowing for two 12-foot lanes and a 14-foot two way left turn lane in the middle. A right turn lane will be provided on Power Drive at the intersection of Veterans Memorial Highway. A 10-foot concrete trail will be constructed on the east side of the roadway for the entire length of the project. A concrete box culvert and circular concrete culvert will be constructed to accommodate the existing drainage patterns through the project area. The roadway will cross an existing BNSF railroad track. The intersection of Power Drive and 35th Avenue will include a new traffic signal. This project will increase access to the properties located within the Urban Renewal Area, which will support the development of LMI housing within the Area. The costs of this project are expected not to exceed \$4,500,000.
- 4. Planning, engineering fees (for urban renewal plans), attorney fees, other related costs to support urban renewal projects and planning:**

<b>Project</b>	<b>Date</b>	<b>Estimated Cost to be funded by TIF Funds</b>
Fees and costs	Undetermined	Not to exceed \$50,000

#### **J. FINANCIAL INFORMATION**

1.	July 1, 2024 Constitutional Debt Limit	\$354,283,045
2.	Current Outstanding General Obligation Debt	\$71,190,000
3.	Proposed amount of indebtedness to be incurred: A specific amount of debt to be incurred for the Eligible Urban Renewal Projects has not yet been determined. This document is for planning purposes only. The estimated project costs in this Plan are estimates only and will be incurred and spent over a number of years. In no event will the City's constitutional debt limit be exceeded. The City Council will consider each project proposal on a case-by-case basis to determine if it is in the City's best interest to participate before approving an urban renewal project or expense. It is further expected that such indebtedness, including interest on the same, may be financed in whole or in part with tax increment revenues from the Urban Renewal Area. Subject to the foregoing, it is estimated that the cost of the Eligible Urban Renewal Projects as described above will be approximately as stated in the next column:	\$15,850,000  (This amount does not include costs related to financing.)

## **K. URBAN RENEWAL FINANCING**

The City intends to utilize various financing tools, such as those described below to successfully undertake the proposed urban renewal actions. The City has the statutory authority to use a variety of tools to finance physical improvements within the Area. These include:

A. **Tax Increment Financing.**

Under Section 403.19 of the *Code of Iowa*, urban renewal areas may utilize the tax increment financing mechanism to finance the costs of public improvements, economic development incentives or other urban renewal projects. Upon creation of a tax increment district within the Area, by ordinance, the assessment base is frozen and the amount of tax revenue available from taxes paid on the difference between the frozen base and the increased value, if any, is segregated into a separate fund for the use by the City to pay costs of the eligible urban renewal projects. Certain increased taxes generated by any new development, above the base value, are distributed to the taxing entities, if not requested by the City, and in any event upon the expiration of the tax increment district.

B. **General Obligation Bonds.**

Under Division III of Chapter 384 and Chapter 403 of the *Code of Iowa*, the City has the authority to issue and sell general obligation bonds for specified essential and general corporate purposes, including the acquisition and construction of certain public improvements within the Area and for other urban renewal projects or incentives for development consistent with this Plan, as may be amended. Such bonds are payable from the levy of unlimited ad valorem taxes on all the taxable property within the City. It may be the City will elect to abate some or all of the debt service on these bonds with incremental taxes from this Area, as may be amended.

The City may also determine to use tax increment financing to provide incentives such as cash grants, loans, tax rebates or other incentives to developers or private entities in connection with the urban renewal projects identified in the Plan, as amended. In addition, the City may determine to issue general obligation bonds, tax increment revenue bonds or such other obligations, or loan agreements for the purpose of making loans or grants of public funds to private businesses located in the Area for urban renewal projects. Alternatively, the City may determine to use available funds for making such loans or grants or other incentives related to urban renewal projects. In any event, the City may determine to use tax increment financing to reimburse the City for any obligations or advances.

Nothing herein shall be construed as a limitation on the power of the City to exercise any lawful power granted to the City under Chapter 15, Chapter 15A, Chapter 403, Chapter 427B, or any other provision of the *Code of Iowa* in furtherance of the objectives of the Plan.

## **L. PROPERTY ACQUISITION/DISPOSITION**

The City will follow any applicable requirements for the acquisition and the disposition of property within the Urban Renewal Area.

### **M. RELOCATION**

The City does not expect there to be any relocation required of residents or businesses as part of the eligible urban renewal project; however, if any relocation is necessary, the City will follow all applicable relocation requirements.

### **N. STATE AND LOCAL REQUIREMENTS**

All provisions necessary to conform to State and local laws will be complied with by the City in implementing this Urban Renewal Plan and its supporting documents.

### **O. PROPERTY WITHIN AN URBAN REVITALIZATION AREA**

The Urban Renewal Area is, or may be in the future, located within an established Urban Revitalization Area. No tax abatement incentives under the Urban Revitalization Plan or any other plan, policy, or ordinance will be allowed for development that occurs in this Urban Renewal Area absent express written permission of the City Council.

### **P. SEVERABILITY**

In the event one or more provisions contained in the Urban Renewal Plan shall be held for any reason to be invalid, illegal, unauthorized, or unenforceable in any respect, such invalidity, illegality, un-authorization, or unenforceability shall not affect any other provision of this Urban Renewal Plan, and this Urban Renewal Plan shall be construed and implemented as if such provisions had never been contained herein.

### **Q. URBAN RENEWAL PLAN AMENDMENTS**

This Urban Renewal Plan may be amended from time to time for a number of reasons including, but not limited to, adding or deleting land, adding or amending urban renewal projects, or modifying goals or types of renewal activities.

The City Council may amend this Plan in accordance with applicable State law.

### **R. EFFECTIVE PERIOD**

This Urban Renewal Plan will become effective upon its adoption by the City Council and shall remain in effect until terminated by the City Council.

With respect to property included within the Urban Renewal Area, which is also included in an ordinance providing for the division of revenue as set forth in Section 403.19 of the *Code of Iowa* (a “TIF ordinance”), the collection of incremental property tax revenues or the “division of revenue,” as those words are used in Iowa Code Chapter 403 is limited to twenty (20) fiscal years, beginning with the first fiscal year following the calendar year in which the City first certifies to the County Auditor the amount of any loans, advances, indebtedness, or bonds which qualify for payment from the incremental property tax revenues in the Urban Renewal Area.



At all times, the use of tax increment financing revenues (including the amount of loans, advances, indebtedness, or bonds which qualify for payment from the division of revenue provided in Section 403.19 of the *Code of Iowa*) by the City for activities carried out under the Urban Renewal Plan shall be limited as deemed appropriate by the City Council and consistent with all applicable provisions of law.

**EXHIBIT A**  
**LEGAL DESCRIPTION OF**  
**POWER DRIVE HOUSING URBAN RENEWAL AREA**

Lake Manawa Centre Subdivision Lot B

And

Lake Manawa Centre Subdivision, Lot 10 EXCEPT a tract of land located in part of Lot 10, Lake Manawa Centre Subdivision as platted and recorded in Pottawattamie County, Iowa, more particularly described as follows: Beginning at the Northwesterly corner of said Lot 10, said point being on the South Right-of-Way line of 35<sup>th</sup> Avenue; thence along said South Right-of-Way line on a curve to the right having a radius of 217.00 feet, an arc length of 85.91 feet and a long chord bearing of South 77°19'31" East for 85.35 feet; thence along a nontangent curve to the left having a radius of 525.00 feet, an arc distance of 248.15 feet and a long chord bearing of South 19°34'49" West for 245.85 feet; thence North 83°57'39" West for 2.11 feet to a point on the West line of said Lot 10; thence North 00°16'49" East for 250.14 feet along the West line of said Lot 10 to the Point of Beginning.

And

A PORTION OF UNPLATTED LANDS IN THE SOUTHEAST QUARTER OF SECTION 12 OF T74N, R44W OF THE 5TH P.M., A PORTION OF BURLINGTON NORTHERN RAIL ROAD RIGHT-OF-WAY, A PORTION OF LOT B OF LAKE MANAWA CENTER SUBDIVISION, A PORTION OF LOTS 1 AND 3 OF POWER CENTER SUBDIVISION, AND A PORTION OF LOT 10 OF LAKE MANAWA CENTER SUBDIVISION, ALL IN POTTAWATTAMIE COUNTY, IOWA, AND BEING MORE PARTICULARLY DESCRIBED AS:

BEGIN AT THE NORTHWEST CORNER OF SAID LOT 10. THENCE SOUTHEASTERLY ON THE NORTH LINE OF SAID LOT 10 BEING CURVED THE RIGHT HAVING A RADIUS OF 217.00 FEET AND A CENTRAL ANGLE OF 20° 47' 47", AN ARC DISTANCE OF 78.76 FEET (CHORD=78.33', CHORD BEARING=S 53° 42' 44"E) TO THE POINT OF COMPOUND CURVATURE; THENCE SOUTHEASTERLY ON THE NORTH LINE OF SAID LOT 10 BEING CURVED THE LEFT HAVING A RADIUS OF 283.00 FEET AND A CENTRAL ANGLE OF 04° 18' 56", AN ARC DISTANCE OF 21.32 FEET (CHORD=21.31', CHORD BEARING=S 45° 28' 19"E); THENCE SOUTH 87° 53' 54" WEST, A DISTANCE OF 44.92 FEET; THENCE SOUTHERLY ON A CURVE THE LEFT HAVING A RADIUS OF 33.00 FEET AND A CENTRAL ANGLE OF 9° 55' 59", AN ARC DISTANCE OF 5.72 FEET (CHORD=5.71', CHORD BEARING=S 31° 33' 00"W) TO THE POINT OF COMPOUND CURVATURE; THENCE SOUTHERLY ON A CURVE THE LEFT HAVING A RADIUS OF 563.50 FEET AND A CENTRAL ANGLE OF 24° 26' 35", AN ARC DISTANCE OF 240.40 FEET (CHORD=238.58', CHORD BEARING=S 14° 21' 42"W) TO THE POINT OF TANGENCY; THENCE SOUTH 02° 08' 25" WEST, A DISTANCE OF 141.56 FEET TO A POINT OF CURVATURE; THENCE SOUTHERLY ON A CURVE THE RIGHT HAVING A RADIUS OF 546.50 FEET AND A CENTRAL ANGLE OF 28° 27' 01", AN ARC DISTANCE OF 271.36 FEET (CHORD=268.59', CHORD BEARING=S 16° 21' 55"W) TO A POINT ON

THE WEST LINE OF SAID LOT 3; THENCE SOUTH 02° 08' 25" WEST ON THE EAST LINE OF SAID LOT 3, A DISTANCE OF 21.94 FEET TO THE SOUTH CORNER OF SAID LOT 3; THENCE NORTH 46° 47' 59" WEST ON THE SOUTH LINE OF SAID LOT 3, A DISTANCE OF 10.94 FEET; THENCE SOUTH 33° 02' 29" WEST, A DISTANCE OF 69.71 FEET TO A POINT ON THE NORTH RIGHT-OF-WAY LINE OF SAID RAIL ROAD RIGHT-OF-WAY; THENCE SOUTH 33° 02' 29" WEST A DISTANCE OF 101.57 FEET TO SOUTH RAIL ROAD RIGHT-OF-WAY OF BURLINGTON NORTHERN RAIL ROAD; THENCE SOUTH 33° 02' 29" WEST, A DISTANCE OF 61.88 FEET TO A POINT OF CURVATURE; THENCE SOUTHERLY ON A CURVE THE LEFT HAVING A RADIUS OF 473.50 AND A CENTRAL ANGLE OF 32° 50' 16", AN ARC DISTANCE OF 271.38 FEET (CHORD=267.68', CHORD BEARING=S 16° 37' 21" W) TO A POINT ON A CURVE; THENCE SOUTHERLY ON A CURVE THE LEFT HAVING A RADIUS OF 473.50 AND A CENTRAL ANGLE OF 7° 32' 37", AN ARC DISTANCE OF 62.34 FEET (CHORD=62.30', CHORD BEARING=S 3° 34' 05" W) TO A POINT ON A CURVE; THENCE SOUTHERLY ON A CURVE THE LEFT HAVING A RADIUS OF 473.50 AND A CENTRAL ANGLE OF 13° 18' 25", AN ARC DISTANCE OF 109.97 FEET (CHORD=109.72', CHORD BEARING=S 13° 59' 36" E) TO THE POINT OF COMPLEX CURVATURE; THENCE SOUTHERLY ON A CURVE THE RIGHT HAVING A RADIUS OF 1036.50 AND A CENTRAL ANGLE OF 37° 10' 38", AN ARC DISTANCE OF 672.55 FEET (CHORD=660.81', CHORD BEARING=S 02° 03' 30" E) TO A POINT OF TANGENCY; THENCE SOUTH 16° 31' 49" WEST, A DISTANCE OF 38.95 FEET TO A POINT ON THE NORTH RIGHT-OF-WAY LINE OF VETERANS MEMORIAL HIGHWAY; THENCE NORTH 87° 19' 57" WEST ON SAID NORTH RIGHT-OF-WAY LINE, A DISTANCE OF 128.97 FEET; THENCE NORTH 02° 05' 19" EAST, A DISTANCE OF 765.83 FEET; THENCE NORTHERLY ON A CURVE THE RIGHT HAVING A RADIUS OF 539.50 AND A CENTRAL ANGLE OF 04° 10' 15", AN ARC DISTANCE OF 39.27 FEET (CHORD=39.26', CHORD BEARING=N 07° 52' 46" W) TO A POINT ON A CURVE; THENCE NORTHERLY ON A CURVE THE RIGHT HAVING A RADIUS OF 539.50 AND A CENTRAL ANGLE OF 03° 58' 40", AN ARC DISTANCE OF 37.45 FEET (CHORD=37.45', CHORD BEARING=N 03° 48' 19" W) TO A POINT ON A CURVE; THENCE NORTHERLY ON A CURVE THE RIGHT HAVING A RADIUS OF 539.50 AND A CENTRAL ANGLE OF 28° 51' 36", AN ARC DISTANCE OF 271.75 FEET (CHORD=268.88', CHORD BEARING=N 18° 36' 41" E); THENCE NORTH 33° 02' 29" EAST, A DISTANCE OF 73.62 FEET TO A POINT ON THE SOUTH RAIL ROAD RIGHT-OF-WAY OF BURLINGTON NORTHERN RAIL ROAD; THENCE NORTH 33° 02' 29" EAST, A DISTANCE OF 101.57 FEET TO A POINT ON THE NORTH RIGHT-OF-WAY LINE OF SAID RAIL ROAD RIGHT-OF-WAY; THENCE NORTH 33° 02' 29" EAST, A DISTANCE OF 51.50 FEET TO A POINT OF CURVATURE; THENCE NORTHEASTERLY ON A CURVE THE LEFT HAVING A RADIUS OF 480.50 FEET AND A CENTRAL ANGLE OF 02° 11' 25", AN ARC DISTANCE OF 18.37 FEET (CHORD=18.37', CHORD BEARING=N 31° 56' 47"E) TO A POINT ON SAID SOUTH LINE OF LOT 3; THENCE NORTHERLY ON A CURVE THE LEFT HAVING A RADIUS OF 480.50 FEET AND A CENTRAL ANGLE OF 28° 42' 39", AN ARC DISTANCE OF 240.78 FEET (CHORD=238.27', CHORD BEARING=N 16° 29' 44"E) TO A POINT ON THE EAST LINE OF SAID LOT 3; THENCE NORTH 02° 08' 25" EAST ON SAID WEST LINE, A DISTANCE OF 469.80 FEET; THENCE SOUTH 84° 17' 56" EAST ON SAID WEST LINE, A DISTANCE OF 2.20 FEET TO A POINT ON A CURVE; THENCE NORTHERLY ON SAID WEST LINE BEING CURVED

THE RIGHT AND HAVING A RADIUS OF 525.00 FEET AND A CENTRAL ANGLE OF 12° 59' 27", AN ARC DISTANCE OF 119.03 FEET (CHORD=118.78', CHORD BEARING=N 14° 24' 40"E) TO A POINT ON A CURVE; THENCE NORTHERLY ON A CURVE THE RIGHT HAVING A RADIUS OF 629.50 FEET AND A CENTRAL ANGLE OF 08° 09' 53", AN ARC DISTANCE OF 89.70 FEET (CHORD=89.63', CHORD BEARING=N 23° 12' 05"E); THENCE NORTHERLY ON A CURVE THE LEFT HAVING A RADIUS OF 40.00 FEET AND A CENTRAL ANGLE OF 12° 54' 18", AN ARC DISTANCE OF 9.01 FEET (CHORD=8.99', CHORD BEARING=N 20° 49' 52"E); THENCE NORTH 27° 00' 59" WEST, A DISTANCE OF 42.79 FEET TO A POINT ON THE NORTH LINE OF SAID LOT 1; THENCE SOUTHEASTERLY ON SAID NORTH LINE BEING CURVED THE RIGHT AND HAVING A RADIUS OF 217.00 FEET AND A CENTRAL ANGLE OF 11° 38' 13", AN ARC DISTANCE OF 44.07 FEET (CHORD=44.00', CHORD BEARING=S 69° 55' 45"E) TO THE NORTHWEST CORNER OF SAID LOT 10 AND THE POINT OF BEGINNING. CONTAINING 199,542 SQUARE FEET (4.5809 ACRES) MORE OR LESS.

And

All adjacent Rights-of-Way



**EXHIBIT B**  
**MAP OF POWER DRIVE HOUSING URBAN RENEWAL AREA**



Last Amended: 2/10/2025

## Attachment 2

Legal Description for Power Drive Housing:

Lake Manawa Centre Subdivision Lot B

And

Lake Manawa Centre Subdivision, Lot 10 EXCEPT a tract of land located in part of Lot 10, Lake Manawa Centre Subdivision as platted and recorded in Pottawattamie County, Iowa, more particularly described as follows: Beginning at the Northwestern corner of said Lot 10, said point being on the South Right-of-Way line of 35<sup>th</sup> Avenue; thence along said South Right-of-Way line on a curve to the right having a radius of 217.00 feet, an arc length of 85.91 feet and a long chord bearing of South 77°19'31" East for 85.35 feet; thence along a nontangent curve to the left having a radius of 525.00 feet, an arc distance of 248.15 feet and a long chord bearing of South 19°34'49" West for 245.85 feet; thence North 83°57'39" West for 2.11 feet to a point on the West line of said Lot 10; thence North 00°16'49" East for 250.14 feet along the West line of said Lot 10 to the Point of Beginning.

And

A PORTION OF UNPLATTED LANDS IN THE SOUTHEAST QUARTER OF SECTION 12 OF T74N, R44W OF THE 5TH P.M., A PORTION OF BURLINGTON NORTHERN RAIL ROAD RIGHT-OF-WAY, A PORTION OF LOT B OF LAKE MANAWA CENTER SUBDIVISION, A PORTION OF LOTS 1 AND 3 OF POWER CENTER SUBDIVISION, AND A PORTION OF LOT 10 OF LAKE MANAWA CENTER SUBDIVISION, ALL IN POTTAWATTAMIE COUNTY, IOWA, AND BEING MORE PARTICULARLY DESCRIBED AS:

BEGIN AT THE NORTHWEST CORNER OF SAID LOT 10. THENCE SOUTHEASTERLY ON THE NORTH LINE OF SAID LOT 10 BEING CURVED THE RIGHT HAVING A RADIUS OF 217.00 FEET AND A CENTRAL ANGLE OF 20° 47' 47", AN ARC DISTANCE OF 78.76 FEET (CHORD=78.33', CHORD BEARING=S 53° 42' 44"E) TO THE POINT OF COMPOUND CURVATURE; THENCE SOUTHEASTERLY ON THE NORTH LINE OF SAID LOT 10 BEING CURVED THE LEFT HAVING A RADIUS OF 283.00 FEET AND A CENTRAL ANGLE OF 04° 18' 56", AN ARC DISTANCE OF 21.32 FEET (CHORD=21.31', CHORD BEARING=S 45° 28' 19"E); THENCE SOUTH 87° 53' 54" WEST, A DISTANCE OF 44.92 FEET; THENCE SOUTHERLY ON A CURVE THE LEFT HAVING A RADIUS OF 33.00 FEET AND A CENTRAL ANGLE OF 9° 55' 59", AN ARC DISTANCE OF 5.72 FEET (CHORD=5.71', CHORD BEARING=S 31° 33' 00"W) TO THE POINT OF COMPOUND CURVATURE; THENCE SOUTHERLY ON A CURVE THE LEFT HAVING A RADIUS OF 563.50 FEET AND A CENTRAL ANGLE OF 24° 26' 35", AN ARC DISTANCE OF 240.40 FEET (CHORD=238.58', CHORD BEARING=S 14° 21' 42"W) TO THE POINT OF TANGENCY; THENCE SOUTH 02° 08' 25" WEST, A DISTANCE OF 141.56 FEET TO A POINT OF CURVATURE; THENCE SOUTHERLY ON A CURVE THE RIGHT HAVING A RADIUS OF 546.50 FEET AND A CENTRAL ANGLE OF 28° 27' 01", AN ARC DISTANCE OF 271.36 FEET (CHORD=268.59', CHORD BEARING=S 16° 21' 55"W) TO A POINT ON THE WEST LINE OF SAID LOT 3; THENCE SOUTH 02° 08' 25" WEST ON THE EAST LINE OF SAID LOT 3, A DISTANCE OF 21.94 FEET TO THE SOUTH CORNER OF SAID LOT 3; THENCE NORTH 46° 47' 59" WEST ON THE

SOUTH LINE OF SAID LOT 3, A DISTANCE OF 10.94 FEET; THENCE SOUTH 33° 02' 29" WEST, A DISTANCE OF 69.71 FEET TO A POINT ON THE NORTH RIGHT-OF-WAY LINE OF SAID RAIL ROAD RIGHT-OF-WAY; THENCE SOUTH 33° 02' 29" WEST A DISTANCE OF 101.57 FEET TO SOUTH RAIL ROAD RIGHT-OF-WAY OF BURLINGTON NORTHERN RAIL ROAD; THENCE SOUTH 33° 02' 29" WEST, A DISTANCE OF 61.88 FEET TO A POINT OF CURVATURE; THENCE SOUTHERLY ON A CURVE THE LEFT HAVING A RADIUS OF 473.50 AND A CENTRAL ANGLE OF 32° 50' 16", AN ARC DISTANCE OF 271.38 FEET (CHORD=267.68', CHORD BEARING=S 16° 37' 21" W) TO A POINT ON A CURVE; THENCE SOUTHERLY ON A CURVE THE LEFT HAVING A RADIUS OF 473.50 AND A CENTRAL ANGLE OF 7° 32' 37", AN ARC DISTANCE OF 62.34 FEET (CHORD=62.30', CHORD BEARING=S 3° 34' 05" W) TO A POINT ON A CURVE; THENCE SOUTHERLY ON A CURVE THE LEFT HAVING A RADIUS OF 473.50 AND A CENTRAL ANGLE OF 13° 18' 25", AN ARC DISTANCE OF 109.97 FEET (CHORD=109.72', CHORD BEARING=S 13° 59' 36" E) TO THE POINT OF COMPLEX CURVATURE; THENCE SOUTHERLY ON A CURVE THE RIGHT HAVING A RADIUS OF 1036.50 AND A CENTRAL ANGLE OF 37° 10' 38", AN ARC DISTANCE OF 672.55 FEET (CHORD=660.81', CHORD BEARING=S 02° 03' 30" E) TO A POINT OF TANGENCY; THENCE SOUTH 16° 31' 49" WEST, A DISTANCE OF 38.95 FEET TO A POINT ON THE NORTH RIGHT-OF-WAY LINE OF VETERANS MEMORIAL HIGHWAY; THENCE NORTH 87° 19' 57" WEST ON SAID NORTH RIGHT-OF-WAY LINE, A DISTANCE OF 128.97 FEET; THENCE NORTH 02° 05' 19" EAST, A DISTANCE OF 765.83 FEET; THENCE NORTHERLY ON A CURVE THE RIGHT HAVING A RADIUS OF 539.50 AND A CENTRAL ANGLE OF 04° 10' 15", AN ARC DISTANCE OF 39.27 FEET (CHORD=39.26', CHORD BEARING=N 07° 52' 46" W) TO A POINT ON A CURVE; THENCE NORTHERLY ON A CURVE THE RIGHT HAVING A RADIUS OF 539.50 AND A CENTRAL ANGLE OF 03° 58' 40", AN ARC DISTANCE OF 37.45 FEET (CHORD=37.45', CHORD BEARING=N 03° 48' 19" W) TO A POINT ON A CURVE; THENCE NORTHERLY ON A CURVE THE RIGHT HAVING A RADIUS OF 539.50 AND A CENTRAL ANGLE OF 28° 51' 36", AN ARC DISTANCE OF 271.75 FEET (CHORD=268.88', CHORD BEARING=N 18° 36' 41" E); THENCE NORTH 33° 02' 29" EAST, A DISTANCE OF 73.62 FEET TO A POINT ON THE SOUTH RAIL ROAD RIGHT-OF-WAY OF BURLINGTON NORTHERN RAIL ROAD; THENCE NORTH 33° 02' 29" EAST, A DISTANCE OF 101.57 FEET TO A POINT ON THE NORTH RIGHT-OF-WAY LINE OF SAID RAIL ROAD RIGHT-OF-WAY; THENCE NORTH 33° 02' 29" EAST, A DISTANCE OF 51.50 FEET TO A POINT OF CURVATURE; THENCE NORTHEASTERLY ON A CURVE THE LEFT HAVING A RADIUS OF 480.50 FEET AND A CENTRAL ANGLE OF 02° 11' 25", AN ARC DISTANCE OF 18.37 FEET (CHORD=18.37', CHORD BEARING=N 31° 56' 47"E) TO A POINT ON SAID SOUTH LINE OF LOT 3; THENCE NORTHERLY ON A CURVE THE LEFT HAVING A RADIUS OF 480.50 FEET AND A CENTRAL ANGLE OF 28° 42' 39", AN ARC DISTANCE OF 240.78 FEET (CHORD=238.27', CHORD BEARING=N 16° 29' 44"E) TO A POINT ON THE EAST LINE OF SAID LOT 3; THENCE NORTH 02° 08' 25" EAST ON SAID WEST LINE, A DISTANCE OF 469.80 FEET; THENCE SOUTH 84° 17' 56" EAST ON SAID WEST LINE, A DISTANCE OF 2.20 FEET TO A POINT ON A CURVE; THENCE NORTHERLY ON SAID WEST LINE BEING CURVED THE RIGHT AND HAVING A RADIUS OF 525.00 FEET AND A CENTRAL ANGLE OF 12° 59' 27", AN ARC DISTANCE OF 119.03 FEET (CHORD=118.78', CHORD BEARING=N 14° 24' 40"E) TO A POINT ON A CURVE; THENCE NORTHERLY ON A CURVE THE RIGHT HAVING A RADIUS OF 629.50 FEET AND A CENTRAL ANGLE OF 08° 09' 53", AN ARC

DISTANCE OF 89.70 FEET (CHORD=89.63', CHORD BEARING=N 23° 12' 05"E); THENCE NORTHERLY ON A CURVE THE LEFT HAVING A RADIUS OF 40.00 FEET AND A CENTRAL ANGLE OF 12° 54' 18", AN ARC DISTANCE OF 9.01 FEET (CHORD=8.99', CHORD BEARING=N 20° 49' 52"E); THENCE NORTH 27° 00' 59" WEST, A DISTANCE OF 42.79 FEET TO A POINT ON THE NORTH LINE OF SAID LOT 1; THENCE SOUTHEASTERLY ON SAID NORTH LINE BEING CURVED THE RIGHT AND HAVING A RADIUS OF 217.00 FEET AND A CENTRAL ANGLE OF 11° 38' 13", AN ARC DISTANCE OF 44.07 FEET (CHORD=44.00', CHORD BEARING=S 69° 55' 45"E) TO THE NORTHWEST CORNER OF SAID LOT 10 AND THE POINT OF BEGINNING. CONTAINING 199,542 SQUARE FEET (4.5809 ACRES) MORE OR LESS.

And

All adjacent Rights-of-Way



**Planning Commission Communication**

Department: Community Development

Case/Project No.: URN-25-002

Submitted by: Marianne Collins,  
Housing & Economic Development  
Planner

CASE #URN-25-002

Council Action: 3/11/2025

Description

Public hearing on the request of the City of Council Bluffs Community Development Department to create and adopt the Kanesville Urban Renewal Area and Plan, for property legally described in the case staff report.

Background/Discussion

See attached staff report.

Recommendation

**ATTACHMENTS:**

Description	Type	Upload Date
Staff Report & Attachments	Other	3/6/2025

## Planning Commission Communication

Department: Community Development  Case/Project No.: URN-25-002	Ordinance No.:  Resolution No.: 25-	City Council: 2-24-2025 Planning Commission: 3-11-2025 P.H. and First Reading: 3-24-2025
<b>Subject/Title</b>		
Proposed creation of the Kanesville Urban Renewal Plan		
<b>Location</b>		
Generally located south of Yellow Pole Road and north of College Road and east of College Road/Washboard Road and west of Hampton Lane		
<b>Background/Discussion</b>		
<p><u>Background</u></p> <p>Several developers have approached the City about developing parcels of land included in the proposed Kanesville Urban Renewal Area for commercial uses. It has been determined the proposed area meets the definition of “economic development area.” This determination is based on Chapter 403.19 of the Iowa Code.</p> <p>In order to invoke its urban renewal powers, the City Council must agree to designate the subject property an Urban Renewal Area, adopt an Urban Renewal Plan and negotiate a development agreement with the Developer. Assistance in the form of an urban renewal project area, conforming to the Section 403 of Iowa Code, is necessary to acquire land; improve regulatory control; improve public infrastructure and facilities; and to allow for private development of vacant land.</p> <p><u>Discussion</u></p> <p>On February 24, 2025, the City Council passed a resolution of necessity, which directed staff to initiate the process of creating the Kanesville Urban Renewal Plan and Area. On March 5, 2025, the Consultation Meeting was held with other taxing jurisdictions. This resolution establishes the following timeframe:</p> <p style="padding-left: 40px;">3-24-2025    City Council public hearing on the proposed urban renewal plan</p> <p>Iowa statutes require the City Planning Commission to review the plan for conformity to the comprehensive plan and to forward a recommendation to City Council prior to the public hearing. An urban renewal plan conforming to the requirements of Chapter 403 of the Iowa Code has been prepared and is attached for your review.</p> <p>The Kanesville Urban Renewal Area is being designated as an economic development area that is appropriate for the promotion of economic development, commercial and industrial development, conforming to Chapter 403.19 of the Iowa Code. Designation is necessary to assist and promote local commercial enterprises to strengthen and revitalize the economy. Tax Increment Financing (TIF) will be utilized to provide assistance to the City for the infrastructure costs that will be incurred.</p>		
<b>Staff Recommendation</b>		
The Community Development Department recommends concurrence that the Kanesville Urban Renewal Plan and Area is in conformity with the <i>Bluffs Tomorrow: 2030 Comprehensive Plan</i> .		
<b>Attachments</b>		
Attachment 1 – Kanesville Urban Renewal Area Plan Attachment 2 - Legal Description		

Prepared by: Marianne Collins, Housing & Economic Development Planner  
 Submitted by: Courtney Harter, Director of Community Development

**KANESVILLE  
URBAN RENEWAL PLAN**

**for the**

**KANESVILLE  
URBAN RENEWAL AREA**

**CITY OF COUNCIL BLUFFS, IOWA**

**March 2025**

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## ***EXHIBITS***

- A. LEGAL DESCRIPTION OF KANESVILLE URBAN RENEWAL AREA
- B. KANESVILLE URBAN RENEWAL AREA MAP
- C. AGRICULTURAL LAND CONSENT



**Kanesville Urban Renewal Plan  
for the  
Kanesville Urban Renewal Area  
City of Council Bluffs, Iowa**

**A. INTRODUCTION**

The Kanesville Urban Renewal Plan (“Plan” or “Urban Renewal Plan”) for the Kanesville Urban Renewal Area (“Area” or “Urban Renewal Area”) has been developed to help local officials promote commercial and industrial economic development in the City of Council Bluffs, Iowa (the “City”). In order to achieve this objective, the City intends to undertake urban renewal activities pursuant to the powers granted to it under Chapter 403 of the *Code of Iowa*, as amended.

**B. DESCRIPTION OF THE URBAN RENEWAL AREA**

The Urban Renewal Area is described in Exhibit A and illustrated in Exhibit B. The City reserves the right to modify the boundaries of the Area at some future date.

**C. AREA DESIGNATION**

With the adoption of this Plan, the City designates this Urban Renewal Area as an area appropriate for the promotion of economic development (commercial and industrial development).

**D. BASE VALUE**

If the Urban Renewal Area is legally established, a Tax Increment Financing (TIF) Ordinance is adopted, and debt is certified prior to December 1, 2025, the taxable valuation as of January 1, 2024, will be considered the frozen “base valuation” of the taxable property within that area covered by the TIF ordinance. If a TIF Ordinance is not adopted until a later date, or debt is not first certified prior to December 1, 2025, the frozen “base value” will be the assessed value of the taxable property within that area covered by the TIF Ordinance as of January 1 of the calendar year preceding the calendar year in which the City first certifies the amount of any debt on the Area.

**E. DEVELOPMENT PLAN/ZONING**

Council Bluffs has a general plan for the physical development of the City as a whole, outlined in the Bluffs Tomorrow: 2030 Comprehensive Plan, adopted in 2014 and updated in 2015. The goals and objectives identified in this Plan, and the urban renewal projects described herein, are in conformance with the goals and land use policies identified in the Comprehensive Plan.

This Urban Renewal Plan does not in any way replace the City’s current land use planning or zoning regulation process.

The need, if any, for improved traffic, public transportation, public utilities, recreational and community facilities, or other public improvements within the Urban Renewal Area, is set forth in this Plan. As the Area develops, the need for public infrastructure extensions and upgrades will be evaluated and planned for by the City.

#### **F. PLAN OBJECTIVES**

Renewal activities are designed to provide opportunities, incentives, and sites to promote economic development (commercial and industrial development). More specific objectives for the development, redevelopment, and rehabilitation within the Urban Renewal Area are as follows:

1. To achieve a diversified, well-balanced economy providing a desirable standard of living, creating job opportunities, and strengthening the tax base.
2. To plan for and provide sufficient land for commercial and industrial development in a manner that is efficient from the standpoint of providing municipal services.
3. To provide for the installation of public works and facilities including, but not limited to, water, sanitary sewer, roadways, and other public improvements, which contribute to the revitalization of the area and to the sound development of the entire City.
4. To encourage commercial growth and expansion through governmental policies which make it economically feasible to do business.
5. To provide a more marketable and attractive investment climate through the use of various federal, state and local incentives.
6. To stimulate, through public action and commitment, private investment in new and expanded commercial and industrial development.
7. To improve the conditions and opportunities for commercial and industrial economic development.
8. To help develop a sound economic base that will serve as the foundation for future growth and development.
9. To enhance the City by fostering an entrepreneurial climate, diversifying the local economy, encouraging opportunities for new businesses, and supporting retention of existing businesses.
10. To enhance the health, safety, living environment, general character, and general welfare of Council Bluffs, Iowa.

11. To promote development utilizing any other objectives allowed by Chapter 403 of the *Code of Iowa*.

### **G. TYPES OF RENEWAL ACTIVITIES**

To meet the objectives of this Urban Renewal Plan and to encourage the development of the Area, the City intends to utilize the powers conferred under Chapter 403 and Chapter 15A, *Code of Iowa* including, but not limited to, tax increment financing. Activities may include:

1. To undertake and carry out urban renewal projects through the execution of contracts and other instruments.
2. To arrange for or cause to be provided the construction or repair of public infrastructure including but not limited to streets, curb and gutter, street lighting, water, sanitary sewer, public utilities or other facilities in connection with urban renewal projects.
3. To make loans, forgivable loans, grants, tax rebate payments or other types of economic development grants or incentives to private persons, local development organizations, or businesses for economic development purposes on such terms as may be determined by the City Council.
4. To borrow money and to provide security therefor.
5. To acquire or dispose of property.
6. To provide for the construction of specific site improvements such as grading and site preparation activities, access roads and parking, fencing, utility connections, and related activities.
7. To acquire property through a variety of means (purchase, lease, option, etc.) and to hold, clear, or prepare the property for redevelopment.
8. To make or have made surveys and plans necessary for the implementation of the Urban Renewal Plan or specific urban renewal projects.
9. To use any or all other powers granted by the Urban Renewal Act to develop and provide for improved economic conditions for the City of Council Bluffs and the State of Iowa.

Nothing herein shall be construed as a limitation on the power of the City to exercise any lawful power granted to the City under Chapter 15, Chapter 15A, Chapter 403, Chapter 427B, or any other provision of the *Code of Iowa* in furtherance of the objectives of this Urban Renewal Plan.

## **H. ELIGIBLE URBAN RENEWAL PROJECTS**

Although certain project activities may occur over a period of years, the eligible urban renewal projects under this Urban Renewal Plan include:

### **1. Public Improvements**

<b>Project</b>	<b>Estimated Project Date</b>	<b>Estimated Cost</b>	<b>How Project Advances Objectives of Plan</b>
Kanesville Sanitary Sewer Extension PH I – PW 24-21	2025	\$2,500,000	Constructing sewer from west of railroad tracks south of Kanesville to the east, just west of the westbound interstate on-ramp to help facilitate commercial and industrial development in the Area
Kanesville Sanitary Sewer Extension PH II	2025-2026	\$1,500,000	Continues the extension of the sewer line to the east, ending at the east side of the interstate interchange to help facilitate commercial and industrial development in the Area
Roadway and utility improvements to that portion of Hunt Avenue from Kanesville north to the City limits	2026	\$3,000,000	Road and utility improvements will help facilitate commercial and industrial development in the Area
	<b>Total:</b>	<b>\$7,000,000</b>	

### **2. Development Agreements**

A. *Development Agreement with KCI Council Bluffs Land, LLC (or a related entity):*  
The proposed urban renewal project anticipates the City entering into a development agreement with KCI Council Bluffs Land, LLC (or a related entity) to provide for the construction of a warehouse distribution park. Construction is expected to be completed in 2028 and the project will result in the creation and/or retention of jobs in the Urban Renewal Area. The City expects to make annual grants to KCI Council Bluffs Land, LLC (or a related entity) in the form of rebates of incremental taxes generated by the increased



assessed value created by the project. The cost of such grants are not expected to exceed \$2,000,000 and will be subject to the terms and conditions of a detailed development agreement between the parties.

B. *Development Agreement with EDC Omaha Hold Co, LLC (or a related entity):* The proposed urban renewal project anticipates the City entering into a development agreement with EDC Omaha Hold Co, LLC (or a related entity) to provide for the construction of a data center. Construction is expected to be completed in 2032, and the project will result in the creation and/or retention of jobs in the Urban Renewal Area. The City expects to make annual grants to EDC Omaha Hold Co, LLC (or a related entity) in the form of rebates of incremental taxes generated by the increased assessed value created by the project. The cost of such grants are not expected to exceed \$65,000,000 and will be subject to the terms and conditions of a detailed development agreement between the parties.

C. *Future Development Agreements:* The City expects to consider requests for development agreements for projects that are consistent with this Plan, in the City's sole discretion. Such agreements are unknown at this time, but based on past history, and dependent on development opportunities and climate, the City expects to consider a broad range of incentives as authorized by this Plan, including but not limited to land, loans, grants, tax rebates, infrastructure assistance and other incentives. The costs of such development agreements will not exceed \$5,000,000.

**2. Planning, engineering fees (for urban renewal plans), attorney fees, other related costs to support urban renewal projects and planning**

Project	Date	Estimated cost
Fees and costs	Undetermined	<b>Not to exceed \$50,000</b>

## **I. FINANCIAL DATA**

1.	Current constitutional debt limit:	\$354,283,045
2.	Current outstanding general obligation debt:	\$71,190,000
3.	Proposed amount of indebtedness to be incurred: A specific amount of debt to be incurred for the Eligible Urban Renewal Projects has not yet been determined. This document is for planning purposes only. The estimated project costs in this Plan are estimates only and will be incurred and spent over a number of years. In no event will the City's constitutional debt limit be exceeded. The City Council will consider each project proposal on a case-by-case basis to determine if it is in the City's best interest to participate before approving an urban renewal project or expense. It is further expected that such indebtedness, including interest on the same, may be financed in whole or in part with tax increment revenues from the Urban Renewal Area. Subject to the foregoing, it is estimated that the cost of the Eligible Urban Renewal Projects as described above to be funded by TIF Funds will be approximately as stated in the next column:	<p>\$79,050,000</p> <p>This total does not include financing costs related to debt issuance, which will be incurred over the life of the Area.</p>

## **J. URBAN RENEWAL FINANCING**

The City intends to utilize various financing tools such as those described below to successfully undertake the proposed urban renewal actions. The City has the statutory authority to use a variety of tools to finance physical improvements within the Area. These include:

### **A. Tax Increment Financing.**

Under Section 403.19 of the *Code of Iowa*, urban renewal areas may utilize the tax increment financing mechanism to finance the costs of public improvements, economic development incentives, or other urban renewal projects. Upon creation of a tax increment district within the Area, by ordinance, the assessment base is frozen and the amount of tax revenue available from taxes paid on the difference between the frozen base and the increased value, if any, is segregated into a separate fund for the use by the City to pay costs of the eligible urban renewal projects. Certain increased taxes generated by any new development, above the base value, are distributed to the taxing entities, if not requested by the City, and in any event upon the expiration of the tax increment district.

### **B. General Obligation Bonds.**

Under Division III of Chapter 384 and Chapter 403 of the *Code of Iowa*, the City has the authority to issue and sell general obligation bonds for specified essential and general corporate purposes, including the acquisition and construction of certain public

improvements within the Area and for other urban renewal projects or incentives for development consistent with this Plan. Such bonds are payable from the levy of unlimited ad valorem taxes on all the taxable property within the City. It may be, the City will elect to abate some or all of the debt service on these bonds with incremental taxes from this Area.

The City may also determine to use tax increment financing to provide incentives such as cash grants, loans, tax rebates, or other incentives to developers or private entities in connection with the urban renewal projects identified in this Plan. In addition, the City may determine to issue general obligation bonds, tax increment revenue bonds or such other obligations, or loan agreements for the purpose of making loans or grants of public funds to private businesses located in the Area for urban renewal projects. Alternatively, the City may determine to use available funds for making such loans or grants or other incentives related to urban renewal projects. In any event, the City may determine to use tax increment financing to reimburse the City for any obligations or advances.

Nothing herein shall be construed as a limitation on the power of the City to exercise any lawful power granted to the City under Chapter 15, Chapter 15A, Chapter 403, Chapter 427B, or any other provision of the *Code of Iowa* in furtherance of the objectives of this Urban Renewal Plan.

#### **K. PROPERTY ACQUISITION/DISPOSITION**

The City will follow any applicable requirements for the acquisition and disposition of property within the Urban Renewal Area.

#### **L. RELOCATION**

The City does not expect there to be any relocation required of residents or businesses as part of the eligible urban renewal projects; however, if any relocation is necessary, the City will follow all applicable relocation requirements.

#### **M. PROPERTY WITHIN AN URBAN REVITALIZATION AREA**

The Urban Renewal Area may (now or in the future) also be located within an established Urban Revitalization Area. Properties within the Urban Renewal Area shall not be eligible for tax abatement under an Urban Revitalization Plan without the City Council's specific approval. The City Council, at its sole discretion, shall determine which incentives, if any, are available through either: (a) this Plan for urban renewal incentives, if any urban renewal incentives are offered by the City, at the City Council's sole discretion; or (b) tax abatement incentives through the City's Urban Revitalization Plan; or (c) a combination of urban renewal incentives and tax abatement incentives.

#### **N. STATE AND LOCAL REQUIREMENTS**

All provisions necessary to conform to State and local laws will be complied with by the City in implementing this Urban Renewal Plan and its supporting documents.

### **O. SEVERABILITY**

In the event one or more provisions contained in the Urban Renewal Plan shall be held for any reason to be invalid, illegal, unauthorized, or unenforceable in any respect, such invalidity, illegality, un-authorization, or unenforceability shall not affect any other provision of this Urban Renewal Plan, and this Urban Renewal Plan shall be construed and implemented as if such provisions had never been contained herein.

### **P. URBAN RENEWAL PLAN AMENDMENTS**

This Urban Renewal Plan may be amended from time to time for a number of reasons including, but not limited to, adding or deleting land, adding or amending urban renewal projects, or modifying objectives or types of renewal activities. The City Council may amend this Plan in accordance with applicable State law.

### **Q. EFFECTIVE PERIOD**

This Urban Renewal Plan will become effective upon its adoption by the City Council and will remain in effect as a Plan until it is repealed by the City Council.

With respect to the property included within the Urban Renewal Area, which is also included in a TIF Ordinance that provides for the “division of revenue” as those words are used in Chapter 403 of the Code of Iowa, the division of revenue is limited to twenty (20) years beginning with the first calendar year following the calendar year in which the City first certifies to the County Auditor the amount of any loans, advances, indebtedness, or bonds which qualify for payment from the incremental property tax revenues attributable to that property within the TIF Ordinance of the Urban Renewal Area. The division of revenues shall continue on the Urban Renewal Area, for the maximum period allowed by law.

At all times, the use of tax increment financing revenues (including the amount of loans, advances, indebtedness or bonds which qualify for payment from the division of revenue provided in Section 403.19 of the Code of Iowa) by the City for activities carried out under the Urban Renewal Area shall be limited as deemed appropriate by the City Council and consistent with all applicable provisions of law.

### **.R. AGRICULTURAL LAND**

Because the Urban Renewal Area contains land that is defined as “agricultural land” by Iowa Code Section 403.17(3), the City must acquire consent from the owner(s) of the agricultural land prior to including such land in the Urban Renewal Area. The City has requested consent from the owner(s) of agricultural land proposed to be included in the Urban Renewal Area. A copy of the agricultural landowner agreements is, or will be, attached hereto as Exhibit “C.” The original signed agreement(s) will be placed on file in the City Clerk’s office.

## **EXHIBIT A**

### **LEGAL DESCRIPTION OF KANESVILLE URBAN RENEWAL AREA**

A PARCEL OF LAND BEING A PORTION OF THE AUDITOR'S SUBDIVISION OF THE NORTHEAST QUARTER OF THE SOUTHEAST QUARTER (NE1/4SE1/4) OF SECTION 20, A PORTION OF THE AUDITOR'S SUBDIVISION OF THE NORTHWEST QUARTER OF THE SOUTHWEST QUARTER (NW1/4SW1/4) OF SECTION 21, A PORTION OF THE AUDITOR'S SUBDIVISION OF THE NORTHEAST QUARTER OF THE SOUTHWEST QUARTER (NE1/4SW1/4) OF SECTION 21, A PORTION OF THE AUDITOR'S SUBDIVISION OF THE SOUTHEAST QUARTER OF THE NORTHWEST QUARTER (SE1/4NW1/4) OF SECTION 21, A PORTION OF THE AUDITOR'S SUBDIVISION OF THE NORTHWEST QUARTER OF THE NORTHEAST QUARTER (NW1/4NE1/4) OF SECTION 21, A PORTION OF THE AUDITOR'S SUBDIVISION OF THE SOUTHWEST QUARTER OF THE NORTHEAST QUARTER (SW1/4NE1/4) OF SECTION 21, A PORTION OF THE AUDITOR'S SUBDIVISION OF THE NORTHWEST QUARTER OF THE SOUTHEAST QUARTER (NW1/4SE1/4) OF SECTION 21, A PORTION OF THE NORTH HALF OF THE SOUTHWEST QUARTER (N1/2SW1/4) OF SECTION 21, A PORTION OF THE AUDITOR'S SUBDIVISION OF THE SOUTHWEST QUARTER OF THE SOUTHEAST QUARTER (SW1/4SE1/4) OF SECTION 21, A PORTION OF THE AUDITOR'S SUBDIVISION OF THE NORTHEAST QUARTER OF THE NORTHEAST QUARTER (NE1/4NE1/4) OF SECTION 21, ALL OF THE AUDITOR'S SUBDIVISION OF THE SOUTHEAST QUARTER OF THE NORTHEAST QUARTER (SE1/4NE1/4) OF SECTION 21, A PORTION OF THE AUDITOR'S SUBDIVISION OF THE NORTHEAST QUARTER OF THE SOUTHEAST QUARTER (NE1/4SE1/4) OF SECTION 21, A PORTION OF THE AUDITOR'S SUBDIVISION OF THE SOUTHEAST QUARTER OF THE SOUTHEAST QUARTER (SE1/4SE1/4) OF SECTION 21, A PORTION OF THE NORTHWEST QUARTER OF THE NORTHWEST QUARTER (NW1/4NW1/4) OF SECTION 22, ALL OF THE AUDITOR'S SUBDIVISION OF THE SOUTHWEST QUARTER OF THE NORTHWEST QUARTER (SW1/4NW1/4) OF SECTION 22, A PORTION OF THE AUDITOR'S SUBDIVISION OF THE NORTHWEST QUARTER OF THE SOUTHWEST QUARTER (NW1/4SW1/4) OF SECTION 22, A PORTION OF THE NORTHEAST QUARTER OF THE NORTHWEST QUARTER (NE1/4NW1/4) OF SECTION 22, ALL OF THE SOUTHEAST QUARTER OF THE NORTHWEST QUARTER (SE1/4NW1/4) OF SECTION 22, A PORTION OF THE NORTHEAST QUARTER OF THE SOUTHWEST QUARTER (NE1/4SW1/4) OF SECTION 22, A PORTION OF THE AUDITOR'S SUBDIVISION OF THE NORTHWEST QUARTER OF THE NORTHEAST QUARTER (NW1/4NE1/4) OF SECTION 28 AND A PORTION OF THE NORTHEAST QUARTER OF THE NORTHEAST QUARTER (NE1/4NE1/4) OF SECTION 28, ALL IN TOWNSHIP 75 NORTH, RANGE 43 WEST OF THE



5TH PRINCIPAL MERIDIAN, CITY OF COUNCIL BLUFFS, POTTAWATTAMIE COUNTY, IOWA, BEING MORE FULLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE NORTHEAST CORNER OF SAID SOUTHEAST QUARTER OF THE NORTHWEST QUARTER (SE1/4NW1/4) OF SECTION 22;

THENCE SOUTH ON THE EAST LINE OF SAID SOUTHEAST QUARTER OF THE NORTHWEST QUARTER (SE1/4NW1/4) AND ON IT'S SOUTHERLY PROLONGATION, 2,220 FEET MORE OR LESS TO A POINT ON THE SOUTH RIGHT-OF-WAY LINE OF HIGHWAY 6;

THENCE WEST ON SAID SOUTH RIGHT-OF-WAY LINE AND ON IT'S WESTERLY PROLONGATION, 3,267 FEET MORE OR LESS TO A POINT ON THE WESTERLY RIGHT-OF-WAY LINE OF INTERSTATE 80;

THENCE SOUTHWESTERLY ON SAID WESTERLY RIGHT-OF-WAY LINE, 2,806 FEET MORE OR LESS TO THE NORTHEAST CORNER OF LOT 1, BLACK HILLS SUBDIVISION IN SAID CITY OF COUNCIL BLUFFS;

THENCE WEST ON THE NORTH LINE OF SAID LOT 1, 876 FEET MORE OR LESS TO A POINT ON THE EAST RIGHT-OF-WAY LINE OF COLLEGE ROAD;

THENCE NORTH ON SAID EAST RIGHT-OF-WAY LINE, 2,371 FEET MORE OR LESS TO A POINT ON THE EASTERLY PROLONGATION OF THE SOUTH RIGHT-OF-WAY LINE OF HIGHWAY 6;

THENCE WEST ON SAID EASTERLY PROLONGATION AND ON SAID SOUTH RIGHT-OF-WAY LINE, 4,161 FEET MORE OR LESS TO A POINT ON THE WEST LINE OF SAID AUDITOR'S SUBDIVISION OF THE NORTHEAST QUARTER OF THE SOUTHEAST QUARTER (NE1/4SE1/4) OF SECTION 20;

THENCE NORTH ON SAID WEST LINE, 286 FEET MORE OR LESS TO A POINT ON THE NORTH RIGHT-OF-WAY LINE OF SAID HIGHWAY 6;

THENCE EAST ON SAID NORTH RIGHT-OF-WAY LINE, 4,087 FEET MORE OR LESS TO A POINT ON THE WEST RIGHT-OF-WAY LINE OF WASHBOARD ROAD;

THENCE NORTH ON SAID WEST RIGHT-OF-WAY LINE, 2,100 FEET MORE OR LESS TO A POINT ON THE NORTHWESTERLY RIGHT-OF-WAY LINE OF SAID WASHBOARD ROAD;

THENCE NORTHEASTERLY ON SAID NORTHWESTERLY RIGHT-OF-WAY LINE AND ON IT'S NORTHEASTERLY PROLONGATION 1,370 FEET MORE OR LESS TO A POINT ON THE NORTHERLY RIGHT-OF-WAY LINE OF YELLOW POLE ROAD;

THENCE EASTERLY ON SAID NORTHERLY RIGHT-OF-WAY LINE AND ON IT'S EASTERLY PROLONGATION 4,467 FEET MORE OR LESS TO A POINT ON THE EAST LINE OF SAID NORTHEAST QUARTER OF THE NORTHWEST QUARTER (NE1/4NW1/4) OF SECTION 22;

THENCE SOUTH ON SAID EAST LINE, 86 FEET MORE OR LESS TO THE POINT OF BEGINNING.

SAID PARCEL CONTAINS AN AREA OF 441.7 ACRES, MORE OR LESS.

[illegible]

**EXHIBIT C**  
**AGRICULTURAL LAND CONSENT**

AGREEMENT TO INCLUDE AGRICULTURAL LAND IN  
THE KANESVILLE URBAN RENEWAL AREA

WHEREAS, the City of Council Bluffs, Iowa, (the "City") has proposed to establish an Urban Renewal Plan ("Plan") for the Kaneshville Urban Renewal Area (the "Urban Renewal Area"), pursuant to Chapter 403 of the Code of Iowa, in order to undertake activities authorized by that Chapter; and

WHEREAS, it has been proposed that the boundaries of land included in the Urban Renewal Area will contain certain property owned by the undersigned Agricultural Land Owner; and

WHEREAS, Section 403.17(10) of the Code of Iowa provides that no property may be included in an urban renewal area which meets the definition in Section 403.17(3) of "agricultural land" until the owners of such property agree to include such property in such urban renewal area; and

WHEREAS, it has been determined that a portion of the property located within the Urban Renewal Area and owned by the Agricultural Land Owner listed below meets the definition of "agricultural land" in Section 403.17(3) of the Code of Iowa.

NOW, THEREFORE, it is hereby certified and agreed by the Agricultural Land Owner as follows:

1. The Agricultural Land Owner hereby certifies that he/she is the owner of certain property within the proposed Urban Renewal Area and agrees that the City of Council Bluffs, Iowa, may include such property within the Urban Renewal Area.

2. The Agricultural Land Owner further authorizes the governing body of the City of Council Bluffs, Iowa, to pass any resolution or ordinance necessary to designate property as part of the Urban Renewal Area under Chapter 403 of the Code of Iowa, and to proceed with activities authorized under said Chapter.

DATED \_\_\_\_\_, 20\_\_\_\_

Agricultural Land Owner's Name (print): \_\_\_\_\_

Signature: \_\_\_\_\_

Print Name of Signatory: \_\_\_\_\_

**LEGAL DESCRIPTION**

A PARCEL OF LAND BEING A PORTION OF THE AUDITOR'S SUBDIVISION OF THE NORTHEAST QUARTER OF THE SOUTHEAST QUARTER (NE1/4SE1/4) OF SECTION 20, A PORTION OF THE AUDITOR'S SUBDIVISION OF THE NORTHWEST QUARTER OF THE SOUTHWEST QUARTER (NW1/4SW1/4) OF SECTION 21, A PORTION OF THE AUDITOR'S SUBDIVISION OF THE NORTHEAST QUARTER OF THE SOUTHWEST QUARTER (NE1/4SW1/4) OF SECTION 21, A PORTION OF THE AUDITOR'S SUBDIVISION OF THE SOUTHEAST QUARTER OF THE NORTHWEST QUARTER (SE1/4NW1/4) OF SECTION 21, A PORTION OF THE AUDITOR'S SUBDIVISION OF THE NORTHWEST QUARTER OF THE NORTHEAST QUARTER (NW1/4NE1/4) OF SECTION 21, A PORTION OF THE AUDITOR'S SUBDIVISION OF THE SOUTHWEST QUARTER OF THE NORTHEAST QUARTER (SW1/4NE1/4) OF SECTION 21, A PORTION OF THE AUDITOR'S SUBDIVISION OF THE NORTHWEST QUARTER OF THE SOUTHEAST QUARTER (NW1/4SE1/4) OF SECTION 21, A PORTION OF THE NORTH HALF OF THE SOUTHWEST QUARTER (N1/2SW1/4) OF SECTION 21, A PORTION OF THE AUDITOR'S SUBDIVISION OF THE SOUTHWEST QUARTER OF THE SOUTHEAST QUARTER (SW1/4SE1/4) OF SECTION 21, A PORTION OF THE AUDITOR'S SUBDIVISION OF THE NORTHEAST QUARTER OF THE NORTHEAST QUARTER (NE1/4NE1/4) OF SECTION 21, ALL OF THE AUDITOR'S SUBDIVISION OF THE SOUTHEAST QUARTER OF THE NORTHEAST QUARTER (SE1/4NE1/4) OF SECTION 21, A PORTION OF THE AUDITOR'S SUBDIVISION OF THE NORTHEAST QUARTER OF THE SOUTHEAST QUARTER (NE1/4SE1/4) OF SECTION 21, A PORTION OF THE AUDITOR'S SUBDIVISION OF THE SOUTHEAST QUARTER OF THE SOUTHEAST QUARTER (SE1/4SE1/4) OF SECTION 21, A PORTION OF THE NORTHWEST QUARTER OF THE NORTHWEST QUARTER (NW1/4NW1/4) OF SECTION 22, ALL OF THE AUDITOR'S SUBDIVISION OF THE SOUTHWEST QUARTER OF THE NORTHWEST QUARTER (SW1/4NW1/4) OF SECTION 22, A PORTION OF THE AUDITOR'S SUBDIVISION OF THE NORTHWEST QUARTER OF THE SOUTHWEST QUARTER (NW1/4SW1/4) OF SECTION 22, A PORTION OF THE NORTHEAST QUARTER OF THE NORTHWEST QUARTER (NE1/4NW1/4) OF SECTION 22, ALL OF THE SOUTHEAST QUARTER OF THE NORTHWEST QUARTER (SE1/4NW1/4) OF SECTION 22, A PORTION OF THE NORTHEAST QUARTER OF THE SOUTHWEST QUARTER (NE1/4SW1/4) OF SECTION 22, A PORTION OF THE AUDITOR'S SUBDIVISION OF THE NORTHWEST QUARTER OF THE NORTHEAST QUARTER (NW1/4NE1/4) OF SECTION 28 AND A PORTION OF THE NORTHEAST QUARTER OF THE NORTHEAST QUARTER (NE1/4NE1/4) OF SECTION 28, ALL IN TOWNSHIP 75 NORTH, RANGE 43 WEST OF THE 5TH PRINCIPAL MERIDIAN, CITY OF COUNCIL BLUFFS, POTTAWATTAMIE COUNTY, IOWA, BEING MORE FULLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE NORTHEAST CORNER OF SAID SOUTHEAST QUARTER OF THE NORTHWEST QUARTER (SE1/4NW1/4) OF SECTION 22;

THENCE SOUTH ON THE EAST LINE OF SAID SOUTHEAST QUARTER OF THE NORTHWEST QUARTER (SE1/4NW1/4) AND ON IT'S SOUTHERLY PROLONGATION,



2,220 FEET MORE OR LESS TO A POINT ON THE SOUTH RIGHT-OF-WAY LINE OF HIGHWAY 6;

THENCE WEST ON SAID SOUTH RIGHT-OF-WAY LINE AND ON IT'S WESTERLY PROLONGATION, 3,267 FEET MORE OR LESS TO A POINT ON THE WESTERLY RIGHT-OF-WAY LINE OF INTERSTATE 80;

THENCE SOUTHWESTERLY ON SAID WESTERLY RIGHT-OF-WAY LINE, 2,806 FEET MORE OR LESS TO THE NORTHEAST CORNER OF LOT 1, BLACK HILLS SUBDIVISION IN SAID CITY OF COUNCIL BLUFFS;

THENCE WEST ON THE NORTH LINE OF SAID LOT 1, 876 FEET MORE OR LESS TO A POINT ON THE EAST RIGHT-OF-WAY LINE OF COLLEGE ROAD;

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THENCE NORTH ON SAID WEST RIGHT-OF-WAY LINE, 2,100 FEET MORE OR LESS TO A POINT ON THE NORTHWESTERLY RIGHT-OF-WAY LINE OF SAID WASHBOARD ROAD;

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THENCE SOUTH ON SAID EAST LINE, 86 FEET MORE OR LESS TO THE POINT OF BEGINNING.

SAID PARCEL CONTAINS AN AREA OF 441.7 ACRES, MORE OR LESS.



**Planning Commission Communication**

Department: Community  
Development  
Case/Project No.: URN-25-003  
Submitted by: Marianne Collins,  
Housing & Economic Development  
Planner

CASE #URN-25-003

Council Action: 3/11/2025

**Description**

Public hearing on the request of the City of Council Bluffs Community Development Department to amend the Old Airport Urban Renewal Area and Plan, for property legally described in the case staff report.

**Background/Discussion**

See attached staff report.

**Recommendation**

**ATTACHMENTS:**

Description	Type	Upload Date
Staff Report & Attachments	Other	3/6/2025

## Planning Commission Communication

Department: Community Development	Ordinance No.:  Resolution No.: 25-	City Council: 2-24-2025 Planning Commission: 3-11-2025 P.H. and First Reading: 3-24-2025
Case/Project No.: URN-25-003		
<b>Subject/Title</b>		
Amendment #2 Old Airport Urban Renewal Plan		
<b>Location</b>		
Generally located south of 35 <sup>th</sup> Avenue and north of Veterans Memorial Highway and east of South Expressway and west of Interstate-29		
<b>Background/Discussion</b>		
<u>Background</u> In February of 2006, City Council adopted the Old Airport Urban Renewal Plan in order to accommodate the Metro Crossing retail project. The urban renewal originally only contained land north of Highway 275/92, from Interstate 29 to the South Expressway. In April 2008 Amendment #1 was done to add land south of Highway 275/92, from the South Expressway to E. Manawa Drive. However, this urban renewal plan now needs amended again to remove a parcel to create a new urban renewal area specific to creating new housing.		
<u>Discussion</u> On February 24, 2025, the City Council passed a resolution of necessity, which directed staff to initiate the process of amending the Old Airport Urban Renewal Plan and Area. On March 5, 2025, the Consultation Meeting was held with other taxing jurisdictions. This resolution establishes the following timeframe:  3-24-2025 City Council public hearing on the proposed urban renewal plan  Iowa statutes require the City Planning Commission to review the plan for conformity to the comprehensive plan and to forward a recommendation to City Council prior to the public hearing. An urban renewal plan conforming to the requirements of Chapter 403 of the Iowa Code has been prepared and is attached for your review.		
<b>Staff Recommendation</b>		
The Community Development Department recommends concurrence that amending the Old Airport Urban Renewal Plan and Area is in conformity with the <i>Bluffs Tomorrow: 2030 Comprehensive Plan</i> .		
<b>Attachments</b>		
Attachment 1 – Old Airport Urban Renewal Area Plan Attachment 2 - Legal Description of parcel to remove from the Old Airport Urban Renewal Area		

Prepared by: Marianne Collins, Housing & Economic Development Planner  
Submitted by: Courtney Harter, Director of Community Development

**AMENDMENT NO. 2**

**to the**

**OLD AIRPORT  
URBAN RENEWAL PLAN**

**for the**

**OLD AIRPORT  
URBAN RENEWAL AREA**

**COUNCIL BLUFFS, IOWA**

**Original Area – 2006**  
**Amendment No. 1 – 2008**  
**Amendment No. 2 – 2025**



**Amendment No. 2  
to the  
Old Airport Urban Renewal Plan  
for the  
Old Airport Urban Renewal Area**

**City of Council Bluffs, Iowa**

**INTRODUCTION AND HISTORY**

The Old Airport Urban Renewal Plan (“Plan” or “Urban Renewal Plan”) for the Old Airport Urban Renewal Area (“Area” or “Urban Renewal Area”) was adopted by the City of Council Bluffs (the “City”) in February 2006, and was previously amended by an Amendment No. 1 in 2008. The Plan is being further amended by this Amendment No. 2 to the Plan (“Amendment No. 2” or “Amendment”) to remove land from the Urban Renewal Area and to remove a voluntary termination date for the Plan and Area. This Amendment does not make any other changes to the Plan or Area.

Except as modified by this Amendment, the provisions of the original Urban Renewal Plan are hereby ratified, confirmed, and approved and shall remain in full force and effect as provided herein. In case of any conflict or uncertainty, the terms of this Amendment shall control. Any subsection of the Plan not mentioned in this Amendment shall continue to apply to the Plan.

**DESCRIPTION OF AREA**

The land being removed from the Urban Renewal Area by this Amendment may be referred to as the "Amendment No. 2 Removal Area." The legal description of the Amendment No. 2 Removal Area is attached hereto as Exhibit A.

**AREA DESIGNATION**

The Urban Renewal Area, as amended, continues to be an economic development area that is appropriate for commercial and industrial development

**DEVELOPMENT PLAN**

The Urban Renewal Plan, as amended, and this Amendment, are in conformity with the Bluffs Tomorrow: 2030 Comprehensive Plan, adopted in 2014 and amended in 2015, which is the City’s general plan for the development of the City as a whole.

This Amendment does not in any way replace or modify the City’s current land use planning or zoning regulation process. Any need for improved traffic, public transportation, public utilities, recreational and community facilities, or other public improvements within the Urban Renewal Area is set forth in the Plan.

### **FINANCIAL DATA**

1.	July 1, 2024 constitutional debt limit:	\$354,283,045
2.	Current outstanding general obligation debt:	\$71,190,000
3.	There is no proposed indebtedness to be incurred, as no urban renewal projects are proposed by this Amendment.	N/A

### **EFFECTIVE PERIOD**

This Amendment No. 2 will become effective upon its adoption by the City Council.

The original Urban Renewal Plan stated that the Plan and the Urban Renewal Area would be in effect only until December 31, 2025. This voluntary termination date/expiration date for the Plan and the Area is not required by Iowa Code Chapter 403 (the Urban Renewal Act). The City has determined that ongoing efforts for economic development within the Urban Renewal Area would benefit the City and the Area, and would further the objectives of the Plan and the Urban Renewal Act. Accordingly, the City hereby repeals the voluntary termination date stated in the original Plan. Notwithstanding anything to the contrary in the original Plan, Amendment No. 1 to the Plan, any prior resolution, or document, the Urban Renewal Plan, as amended, and the Urban Renewal Area shall remain in effect until it is repealed or otherwise terminated by the City Council.

Furthermore, notwithstanding anything to the contrary in the original Plan and Amendment No. 1, any prior resolution, or document, the use of incremental property tax revenues, or the "division of revenue," as those words are used in Chapter 403 of the Code of Iowa, will be consistent with Iowa Code Chapter 403 (2025). The division of revenues shall continue on the Area for the maximum period allowed by law.

### **REPEALER AND SEVERABILITY CLAUSE**

Any parts of the previous Plan in conflict with this Amendment are hereby repealed.

If any part of this Amendment or the Plan is determined to be invalid or unconstitutional, such invalidity or unconstitutionality shall not affect the validity of the Amendment or the Plan as a whole, or any part of the Amendment or the Plan not determined to be invalid or unconstitutional.

EXHIBIT A  
LAND TO BE **REMOVED** FROM THE OLD AIRPORT  
URBAN RENEWAL AREA BY AMENDMENT NO. 2

Lake Manawa Centre Subdivision, Lot 10 EXCEPT a tract of land located in part of Lot 10, Lake Manawa Centre Subdivision as platted and recorded in Pottawattamie County, Iowa, more particularly described as follows: Beginning at the Northwestern corner of said Lot 10, said point being on the South Right-of-Way line of 35<sup>th</sup> Avenue; thence along said South Right-of-Way line on a curve to the right having a radius of 217.00 feet, an arc length of 85.91 feet and a long chord bearing of South 77°19'31" East for 85.35 feet; thence along a nontangent curve to the left having a radius of 525.00 feet, an arc distance of 248.15 feet and a long chord bearing of South 19°34'49" West for 245.85 feet; thence North 83°57'39" West for 2.11 feet to a point on the West line of said Lot 10; thence North 00°16'49" East for 250.14 feet along the West line of said Lot 10 to the Point of Beginning.

## Attachment 2

### Legal Description to Remove from Old Airport (Cornerstone Parcel)

Lake Manawa Centre Subdivision, Lot 10 EXCEPT a tract of land located in part of Lot 10, Lake Manawa Centre Subdivision as platted and recorded in Pottawattamie County, Iowa, more particularly described as follows: Beginning at the Northwesterly corner of said Lot 10, said point being on the South Right-of-Way line of 35<sup>th</sup> Avenue; thence along said South Right-of-Way line on a curve to the right having a radius of 217.00 feet, an arc length of 85.91 feet and a long chord bearing of South 77°19'31" East for 85.35 feet; thence along a nontangent curve to the left having a radius of 525.00 feet, an arc distance of 248.15 feet and a long chord bearing of South 19°34'49" West for 245.85 feet; thence North 83°57'39" West for 2.11 feet to a point on the West line of said Lot 10; thence North 00°16'49" East for 250.14 feet along the West line of said Lot 10 to the Point of Beginning.