



**HISTORIC PRESERVATION COMMISSION
AGENDA**

**Wednesday, August 4, 2021 - 4:00 PM
Council Chambers, 2nd Floor, City Hall
209 Pearl Street**

1. CALL TO ORDER

- A. ***ALL ATTENDEES THAT ARE NOT FULLY VACCINATED
AGAINST COVID-19 ARE REQUIRED TO WEAR A FACEMASK
AND/OR FACESHIELD AT ALL TIMES***

2. ROLL CALL

3. ADOPTION OF AGENDA

4. APPROVAL OF MINUTES

5. PUBLIC HEARING

- A. CASE #HP-21-003(M)

Public hearing on the request of The 712 Initiative for historic preservation design modifications relative to exterior doors, stoops, and stairs at 530 West Broadway, a locally designated Historic Landmark. Location: 530 West Broadway.

1. OTHER BUSINESS

2. ADJOURNMENT

Any questions or concerns regarding this agenda and/or requests for special accommodations at this meeting should be directed to the Community Development Department at (712) 890-5350 or email at cgibbons@councilbluffs-ia.gov.

Council Communication

Department: Community

Development

Case/Project No.: HP-21-003(M)

CASE #HP-21-003(M)

Council Action: 8/4/2021

Submitted by: Christopher N.

Gibbons, AICP, Planning Manager

Description

Public hearing on the request of The 712 Initiative for historic preservation design modifications relative to exterior doors, stoops, and stairs at 530 West Broadway, a locally designated Historic Landmark. Location: 530 West Broadway.

Background/Discussion

See attachments.

Recommendation

ATTACHMENTS:

Description

Type

Upload Date

Staff Report & Attachments

Other

7/29/2021

TO: Historic Preservation Commission

FROM: Christopher N. Gibbons, Planning Manager
Community Development Department

RE: CASE #HP-21-003(M)

DATE: August 4, 2021

APPLICANT: The 712 Initiative, represented by Sheryl Garst, Executive Director
1228 South Main Street, Council Bluffs, IA 51503

OWNER: Pottawattamie County Development Corporation
1228 South Main Street, Council Bluffs, IA 51503

REQUEST: CASE #HP-21-003(M)
Historic preservation exterior design review of 530 West Broadway, a
locally designated historic landmark in the 500 Block of West Broadway

GENERAL INFORMATION

The Community Development has received a request from the 712 Initiative for historic preservation design review to allow the following exterior modifications to 530 West Broadway, a locally designated historic landmark (see Attachment A). These modifications are in addition to the renovation plans previously approved by the HPC on April 7, 2021 for 530 West Broadway, and were determined to be necessary after the City staff reviewed the formal architectural drawings for the project.

North elevation (see Attachment B)

1. Install two egress doors to provide emergency access to the ground level residential units on the north side of the building. One door will utilize an existing door opening on the façade wall, while the other door will enlarge a wall opening that was originally approved to be used for a window. Both doors are a requirement of the International Fire Code and must be provided in order for the two residential units to be constructed and occupied.

East/southeast elevation (see Attachment C)

1. Install steps to access the southeast corner commercial bay of the building. The modification request is comprised of a stoop and raised 6" stair, and is required by City code to address the grade change between the sidewalk and the door entrance. This modification will be completed in coordination with the previously approved plans to renovate the building's storefront back to its original design.

All City Departments and local utility providers were notified of the proposed request. The following comments were received:

1. Council Bluffs Permits & Inspections Division stated they have no comments for the request.
2. Council Bluffs Fire Department stated they have no additional comments for the request.
3. Council Bluffs Public Works Department stated they have no comments for the request.

4. Council Bluffs Water Works stated they have no comments for the request.
5. MidAmerican Energy stated they have no conflict with the request provided the design modifications do not impede access or safe operation of their existing underground electrical utilities in the 500 Block of West Broadway. Any costs associated with relocating existing facilities, if practical, will be the responsibility of the applicant/developer.

REVIEW CRITERIA – The Secretary of the Interior’s ‘Standards for Historic Preservation’ are used as the basis for reviewing historic preservation design requests for buildings located within historic districts and buildings designated as local landmarks.

1. A property will be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces, and spatial relationships. *No change to the historic use of the property is proposed with this request as the property has historically been utilized for commercial purposes. The proposed two egress doors will utilize existing and/or planned openings on the northerly building façade. The stoop and step are designed to be compatible with the storefront renovations that were previously approved by the Historic Preservation Commission on April 7, 2021. Furthermore, the proposed exterior modifications are required for compliance with City building and fire codes that are relative to life safety and safe access into the building.*
2. The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces, and spatial relationships that characterize a property will be avoided. *The proposed two egress doors will utilize existing and/or planned openings on the northerly building façade. The stoop and step are designed to be compatible with the storefront renovations that were previously approved by the Historic Preservation Commission on April 7, 2021. No distinct materials or alterations are proposed with this request that would detract from the building’s historic architectural integrity.*
3. Each property will be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, will not be undertaken. *Not applicable.*
4. Changes to a property that have acquired historic significance in their own right will be retained and preserved. *Not applicable.*
5. Distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize a property will be preserved. *Not applicable.*
6. Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture, and, where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence. *Not applicable.*
7. Chemical or physical treatments, if appropriate, will be undertaken using the gentlest means possible. Treatments that cause damage to historic materials will not be used. *Not applicable.*

8. Archeological resources will be protected and preserved in place. If such resources must be disturbed, mitigation measures will be undertaken. *Not applicable.*

9. New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment. *The proposed exterior alterations are part of the broader plan to renovate 530 West Broadway into a mixed commercial-residential structure. The two egress doors on the northerly façade will utilize wall openings that either currently exist or were planned to be provided for windows. The stoop and stair modification is being designed in a manner that is consistent with the appearance of the storefront renovation. All proposed exterior modifications are required for either life safety or safe access purposes. None of the proposed exterior modifications are anticipated to negatively affect the historic integrity of the property or its environment.*

10. New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired. *Not applicable.*

RECOMMENDATION – The Community Development Department recommends approval of the request for historic preservation exterior design review of 530 West Broadway, a locally designated historic landmark in the 500 Block of West Broadway, as shown in the Attachments A-C, and issuance of a Certificate of Appropriateness as the request is generally consistent with the spirit and intent of the Secretary of Interior’s “Standards for Rehabilitation”, subject to the following conditions:

1. The applicant shall obtain all required permits from the City of Council Bluffs for the proposed exterior modifications;



Christopher N. Gibbons, Planning Manager
Community Development Department

Attachment A: Applicant’s letter of intent

Attachment B: North building façade architectural plan

Attachment C: Front stoop and stair architecture rendering and plan

THE 712 INITIATIVE

July 6, 2021

Christopher Gibbons
Planning Manager
Community Development Department
City of Council Bluffs
209 Pearl Street
Council Bluffs, IA 51503

Subject: 530 W Broadway – HPC Review; Amendment #HP-21-003

Dear Mr. Gibbons,

In April, 2021, the Historic Preservation Commission approved a Certificate of Appropriateness for the renovation proposed for 530 W Broadway. Through the permit process, 2 changes have been made. We believe that these changes are minor and will not hurt the overall aesthetic of the building while keeping the historic integrity.

Change #1: Two egress doors have been added to the alley/north façade. Each door is required for residential units for safety per City Fire Marshall. One door will utilize an existing door opening. See Attachment A for architectural rendering.

Change #2: City code will require a step to be added for the SE corner bay due to the existing grade. See Attachment B for architectural rendering. This proposed step has been confirmed with Public Works.

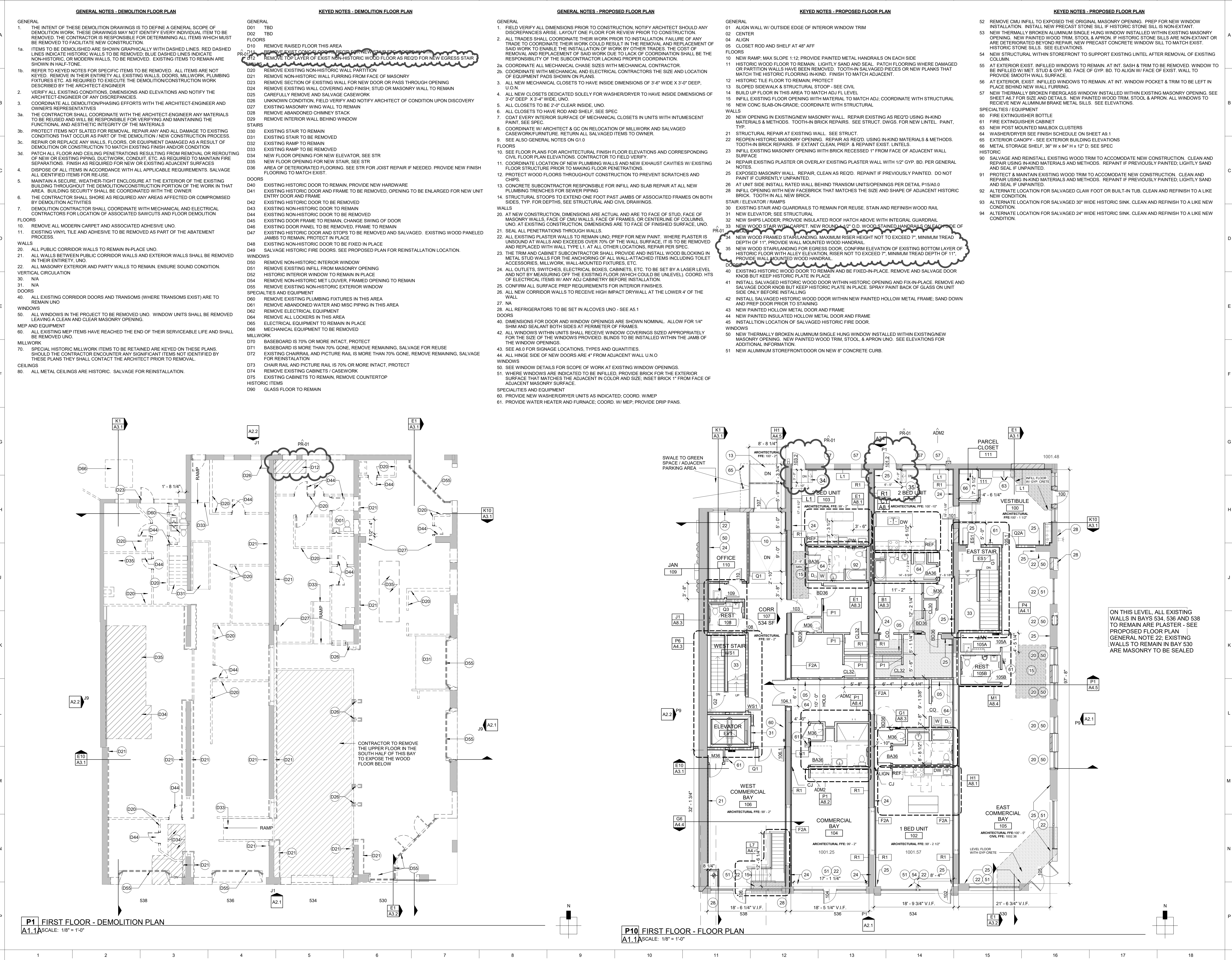
The 712 Initiative submits the attached for the Historic Preservation Commission's review.

Please let us know if you have any questions.

Sincerely,



Sheryl Garst
The 712 Initiative



530 W Broadway

530 W BROADWAY
COUNCIL BLUFFS, IA 51503

ALLEY·POYNER
MACCHIETTO
ARCHITECTURE

CONSTRUCTION
DOCUMENTS

ADM2 Addendum No. 2 04/21/2021
PR-01 Pricing Request No.1 06/29/2021

REVISION DATE
PROJECT NUMBER : 19029
DATE : March 16, 2021
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DEMOLITION & PROPOSED - FIRST
FLOOR

A1.1A

GENERAL NOTES - ELEVATION

- GENERAL
- COORDINATE ALL DEMOLITION / PHASING EFFORTS WITH THE ARCHITECT, ENGINEER AND OWNER'S REPRESENTATIVE.
 - ITEMS TO BE DEMOLISHED ARE SHOWN GRAPHICALLY WITH DASHED LINES. EXISTING ITEMS TO REMAIN ARE SHOWN IN HALF-TONE.
 - NOT ALL AREAS TO BE REPAIRED ARE ILLUSTRATED ON THESE DRAWINGS. THESE DRAWINGS ILLUSTRATE TYPICAL CONDITIONS TO BE REPAIRED. CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS, BUILDING ELEMENTS, AND PROPOSED WORK WITH EXISTING CONDITIONS; NOTIFY ARCHITECT SHOULD ANY DISCREPANCIES ARISE.
 - REMOVE ALL DEMOLITION MATERIALS FROM THE SITE UNO. THE OWNER SHALL RESERVE THE RIGHT TO SALVAGE MATERIALS.
 - PROVIDE PROTECTION FOR ALL EXISTING BUILDING MATERIALS AND EQUIPMENT FROM DAMAGE DUE TO ANY DEMOLITION OR CONSTRUCTION-RELATED INCIDENT PERFORMED UNDER THIS CONTRACT.
 - THE CONTRACTOR SHALL COORDINATE WITH THE ARCHITECT / ENGINEER ANY MATERIALS TO BE REUSED AND WILL BE RESPONSIBLE FOR VERIFYING AND MAINTAINING THE FUNCTIONAL AND AESTHETIC INTEGRITY OF THE MATERIALS. THE CONTRACTOR SHALL SHORE AS REQ'D. ANY AREAS AFFECTED OR COMPROMISED BY DEMOLITION ACTIVITIES.
 - DEMOLITION CONTRACTOR SHALL COORDINATE WITH STRUCTURAL ENGINEERS PRIOR TO DEMOLITION OF ANY STRUCTURAL COMPONENTS.

- MASONRY
- GC TO HOLD AN ALLOWANCE FOR REPOINTING AND BRICK REPLACEMENT ON THE SOUTH AND EAST FACADES.
 - GC TO HOLD ALLOWANCE FOR SPRAY FOAM REPAIR ON THE WEST ELEVATION.
 - THIS BUILDING TO HAVE MASONRY REPAIR AS OUTLINED IN THE SPECIFICATION. PRIORITIZE WORK AS FOLLOWS:
 - ENSURE WEATHERTIGHT CAP STONE
 - STRUCTURAL CRACK REPAIRS
 - UNUSED ANCHOR AND CONDUIT REMOVAL
 - REPOINTING
 - REPLACEMENT OF CRACKED AND DAMAGED BRICK, INCLUDING THOSE WITH SPALLS GREATER THAN A QUARTER IN DIAMETER OR DEEPER THAN 1/4"
 - ALL MASONRY TO BE PREPPED AND REPAINTED WITH BREATHABLE PAINT - SEE SPEC FOR PROCEDURE.
 - CLEANING OF MASONRY SHALL OCCUR AFTER ALL REPAIRS TO STONE AND BRICK ELEMENTS ARE COMPLETE.
 - BRICK AND STONE MASONRY JOINTS TO BE REPOINTED PER SPEC AND PER CONTRACT WHERE MORTAR IS DAMAGED / MISSING. NEW MORTAR SHALL MATCH HISTORIC MORTAR IN HARDNESS, COLOR AND CONSISTENCY.
 - REMOVE ANY MISC ANCHORAGES, UNUSED CONDUIT, DUCTWORK AND PIPING, ETC ON THE BUILDING.
 - REMOVE BROKEN OR MISSING BRICKS AND PATCH MASONRY TO MATCH ADJACENT HISTORIC BRICK IN SIZE & TEXTURE. TOOTH IN BRICKS WHERE REQUIRED. PRIORITIZE USE OF SALVAGED HISTORIC BRICK.

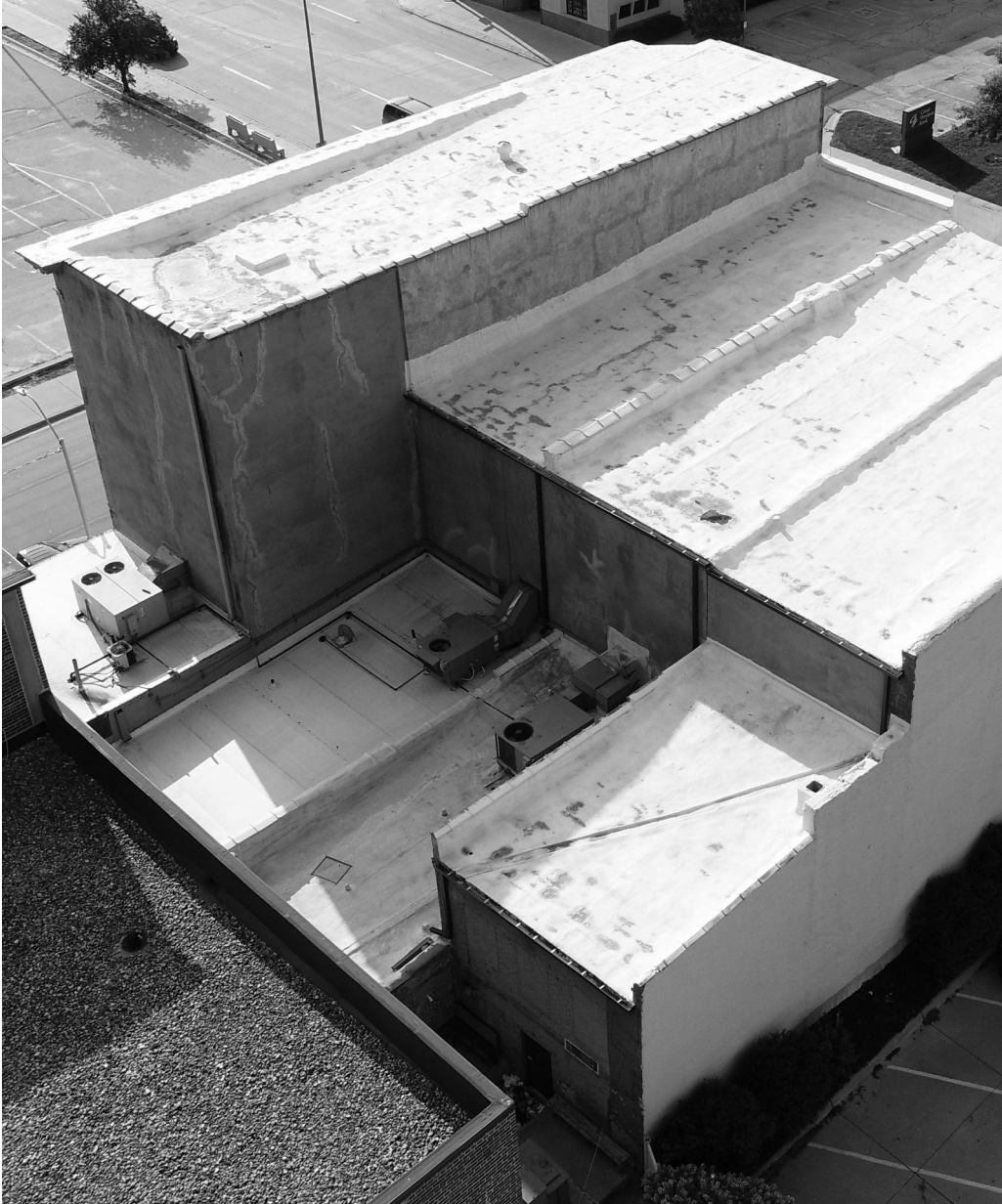
- MASONRY OPENINGS
- SEE WINDOW TYPES SHEETS FOR WORK AT EACH EXTERIOR WINDOW AND SEE DOOR SCHEDULE FOR NEW DOOR TYPES AND DETAIL PREFERENCES.
 - UNO ALL EXISTING WINDOW UNITS TO BE REMOVED TO PROVIDE CLEAR MASONRY OPENING
 - EXTERIOR SILLS AND DECORATIVE HEADS WHERE EXISTING) TO REMAIN AND BE PROTECTED, WHERE CRACKS IN THE STONE SILLS COMPROMISE THE INTEGRITY OF THE UNIT, THOSE SILLS TO BE REMOVED AND REPLACED IN ADDITION, PROVIDE NEW SELLS WHERE MASONRY OPENINGS ARE TO BE LOWERED TO ORIGINAL DIMENSIONS IN ACCORDANCE WITH PREVIOUS GUIDELINES. NEW ARCHITECTURAL CAST STONE SILLS TO MATCH THE HISTORIC UNITS IN SIZE, PROFILE AND COLOR.
 - INTERIOR SILLS, APRONS AND CASING ARE MISSING. PROVIDE NEW AT EACH LOCATION.
 - UNO ALL EXISTING EXTERIOR DOORS AND FRAMES TO BE REMOVED TO PROVIDE A CLEAN AND CLEAR MASONRY OPENING.
 - WINDOWS ON THE SOUTH & EAST FACADES TO BE THERMALLY BROKEN, ALUMINUM UNITS WITH A FACTORY APPLIED PAINTED FINISH. WINDOWS TO HAVE INSULATED GLASS WITH A VLT OF 70% OR GREATER. SEE KEYED NOTES ON PROPOSED ELEVATIONS & PROJECT SPECIFICATIONS FOR FURTHER INFORMATION.
 - WINDOWS ON THE NORTH FACADE TO BE FIBERGLASS UNITS WITH INSULATED GLASS. SEE KEYED NOTES ON PROPOSED ELEVATIONS & PROJECT SPECIFICATIONS FOR FURTHER INFORMATION.
 - PREP & REPAINT ALL EXPOSED STEEL AND CAST IRON LINTELS AT HEAD OF WINDOW / DOOR OPENINGS. REMOVE SEALANT AT JOINT BETWEEN STEEL LINTEL AND BRICK DIRECTLY ABOVE. APPLY NEW SEALANT AS A PART OF THIS WORK. PAINT COLORS TO MATCH NEW WINDOW/DOOR COLOR.
- STUCCO
- SCOPE OF WORK INCLUDES EXISTING STUCCO REPAIR AT THE NORTH FACADES OF EACH BUILDING AND THE WEST FACADE OF THE 530 BUILDING. NEW STUCCO INSTALLATION AT LOWER NORTH FACADE OF THE 530 BUILDING.
 - THIS BUILDING TO HAVE STUCCO REPAIR AS OUTLINED IN THE SPECIFICATION. PRIORITIZE WORK AS FOLLOWS:
 - ENSURE WATERIGHT FACADE. THIS INCLUDES PROPER FLASHING AT ROOF EDGE AND AROUND ALL WINDOWS AND DOORS.
 - STRUCTURAL CRACK REPAIRS
 - MISC. ANCHORAGES, UNUSED ANCHOR AND CONDUIT, ETC. REMOVAL
 - REMOVE CRACKED, DAMAGED, DELAMINATED OR UNSOUND STUCCO.
 - PROPERLY CLEAN AND PREPARE SUBSTRATE.
 - APPLY NEW STUCCO ACCORDING TO MANUFACTURER SPECIFICATIONS.
 - REPAINT
 - SMALL HAIRLINE CRACKS CAN BE SEALED WITH A THIN SLURRY COAT. DO NOT USE CAULKING COMPOUNDS.
 - REMOVE DAMAGED STUCCO DOWN TO MASONRY SUBSTRATE WITHOUT DAMAGING SUBSTRATE. RAKE MORTAR JOINTS TO ENSURE A GOOD BOND BETWEEN SUBSTRATE AND NEW STUCCO.
 - NEW STUCCO TO MATCH THE EXISTING IN STRENGTH, COMPOSITION AND TEXTURE.

KEYED NOTES - DEMOLITION EXTERIOR ELEVATION

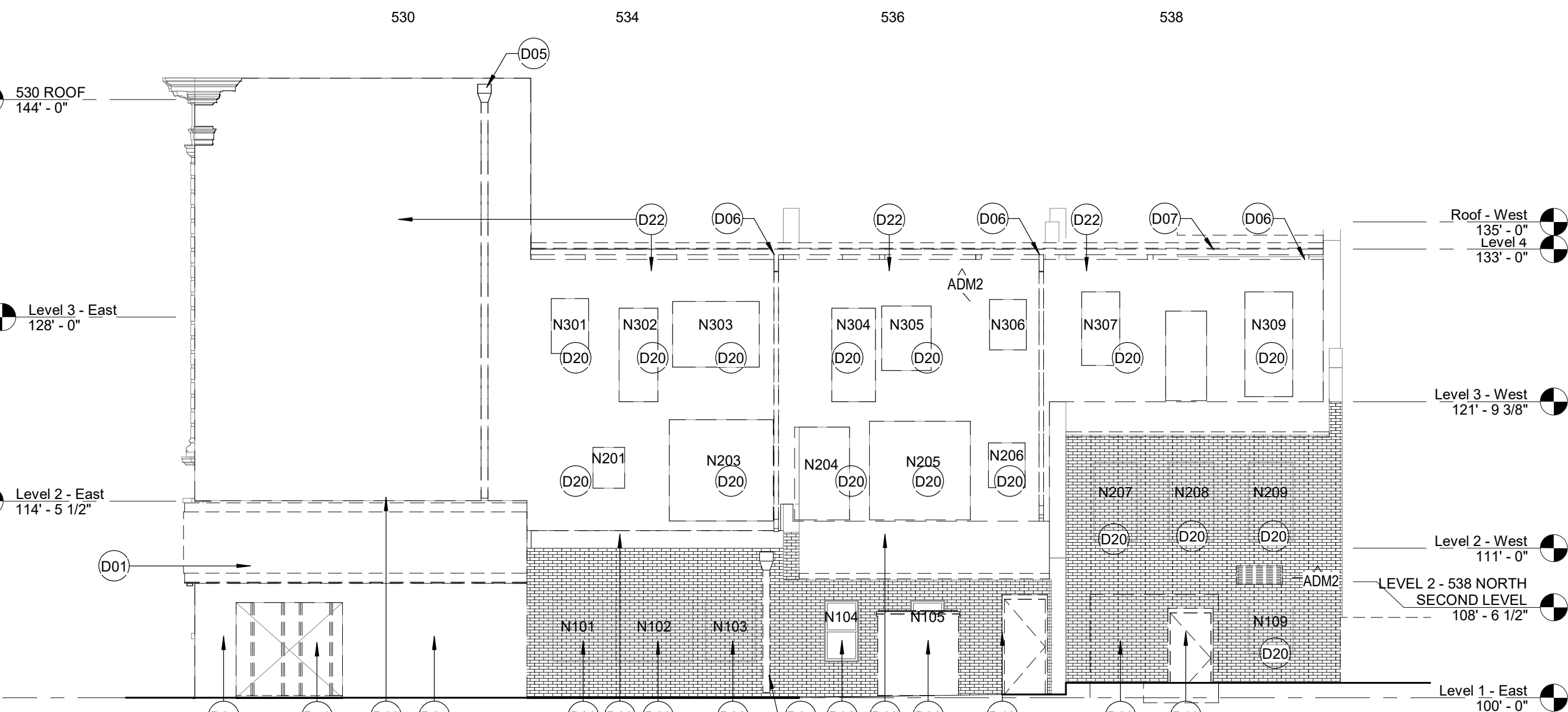
- GENERAL
- REMOVE EXISTING FACE BRICK BAND ASSOCIATED CMU BACKUP. METAL TIES, ANGLE IRON, MISC. ANCHORAGE, SIGNAGE & LIGHTING. PROTECT & MAINTAIN EXIST. HISTORIC MASONRY BEHIND FOR RESTORATION.
 - REMOVE METAL SECURITY BARS
 - REMOVE EXIST. STUCCO. NOTIFY ARCHITECT OF MATERIALS BENEATH.
 - REMOVE ANY NON-HISTORIC MASONRY FOUND BEHIND THE FACADE TO THE HISTORIC STEEL LINTEL / M.O. EXTENTS
 - REMOVE EXISTING CONDUCTOR HEAD AND DOWNSPOUT
 - REMOVE EXISTING DOWNSPOUT
 - REMOVE EXISTING GUTTER
- MASONRY
- REMOVE EXISTING MASONRY INFILL TO RESTORE AND REOPEN HISTORIC OPENING
 - EXISTING BRICK INFILL WITHIN EXISTING MASONRY OPENING TO REMAIN. IF INFILL IS A MATERIAL OTHER THAN BRICK THAT MATCHES HISTORIC MASONRY, REMOVE TAKING CARE TO PROTECT EXIST. HISTORIC BRICK AT JAMBS. REMOVE STEEL LINTEL IF EXISTANT.
 - REMOVE LOOSE STUCCO. PREPARE FOR REPAIR.
 - REMOVE EXISTING MASONRY IN PREPARATION FOR A NEW OPENING. SEE STRUCT.
 - NOT USED
 - REMOVE FURRING CHANNELS & PLASTER/STUCCO FINISH. PROTECT & MAINTAIN EXIST. HISTORIC MASONRY BEHIND FOR RESTORATION.
- DOORS
- REMOVE EXISTING ALUMINUM DOOR, FRAME & TRANSOM ABOVE
 - REMOVE EXISTING DOOR(S) AND FRAME.
- WINDOWS
- REMOVE EXISTING NON-HISTORIC WINDOWS
 - REMOVE EXIST. STOREFRONT
 - NOT USED
 - REMOVE EXISTING STOREFRONT, INCLUDING BRICK KNEE WALL & PLASTER/STUCCO SOFFIT
- SPECIALTIES & EQUIPMENT
- REMOVE ABANDONED MECHANICAL EQUIPMENT AND ASSOCIATED COMPONENTS
 - REMOVE EXTERIOR LIGHT FIXTURE
 - EXISTING DUMPSTER TO BE REMOVED

KEYED NOTES - PROPOSED ELEVATION

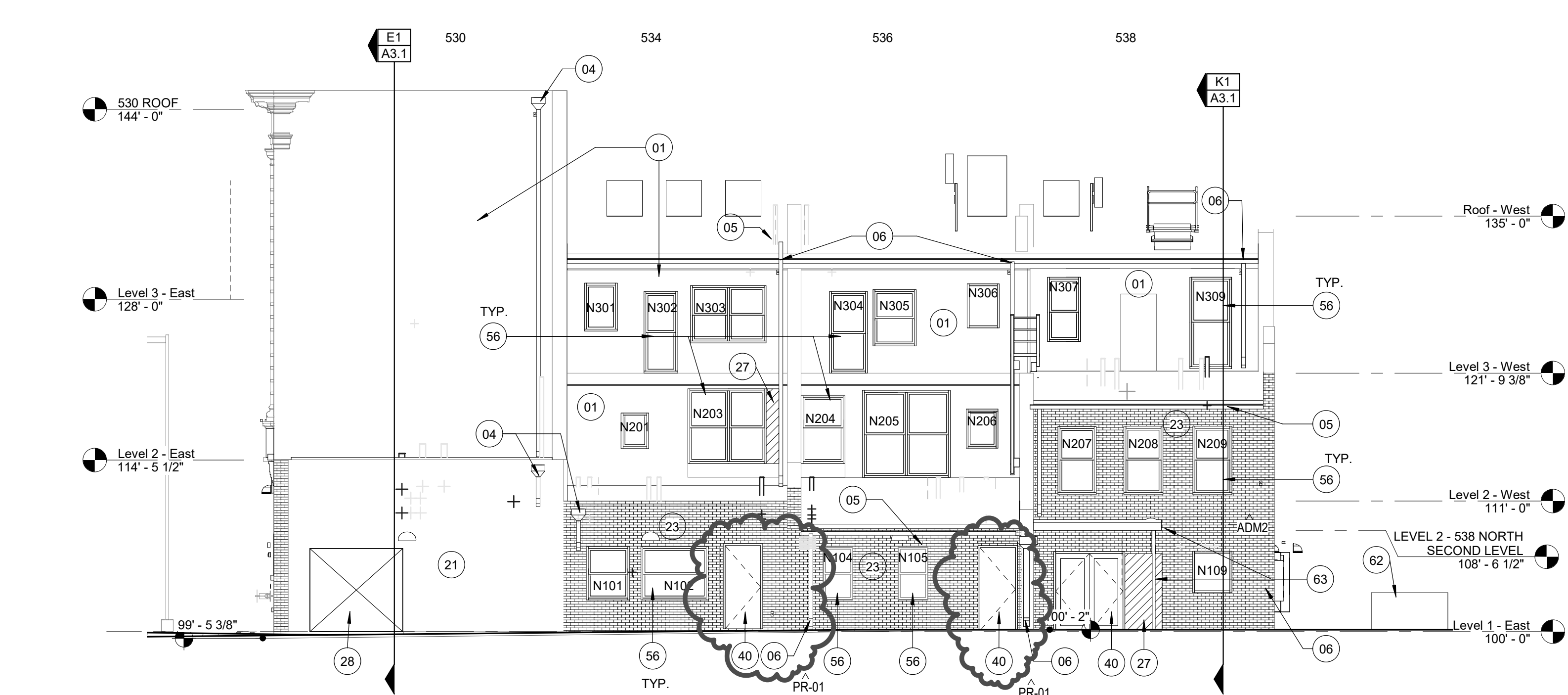
- GENERAL
- REPAIR EXISTING STUCCO AS REQ'D. PAINT.
 - REPAIR GUNITE WITH LIKE MATERIAL WHERE CRACKED OR UNSOUND AND REPAINT.
 -
 - PREFIN METAL THRU WALL, SCUPPER, CONDUCTOR HEAD, AND DOWNSPOUT
 - PREFIN METAL GUTTER
 - PREFIN METAL DOWNSPOUT.
- MASONRY
- IF INFILL IS A MATERIAL OTHER THAN BRICK THAT MATCHES HISTORIC MASONRY, INSTALL NEW BRICK THAT MATCHES HISTORIC MASONRY IN PATTERN AND DETAILING. WHERE DAMAGED OR UNSTABLE BRICKS ARE REMOVED TOOTH IN NEW BRICKS TO MATCH ADJACENT HISTORIC BRICK IN SIZE & TEXTURE.
 - REPAIR EXISTING BRICK AS REQ'D USING IN-KIND MATERIALS & METHODS WHERE MODERN BRICK BAND & STUCCO/PLASTER HAVE BEEN REMOVED.
 - NEW BRICK CORBEL. SEE DTL P14A3.2
 - REPAIR, CLEAN & PREP PAINTED BRICK FOR NEW PAINT.
 - NEW ARCHITECTURAL CAST STONE WINDOW SILL TO MATCH EXIST. HISTORIC STONE SILLS.
 - EXIST. STONE WINDOW SILL. CLEAN & REPAIR AS REQ'D. IF HISTORIC STONE SILL IS DETERIORATED BEYOND REPAIR, INSTALL NEW ARCHITECTURAL CAST STONE WINDOW SILL TO MATCH EXIST.
 - NEW BRICK ROWLOCK SILL.
 - NEW BRICK CORBEL. SEE DTL P14A3.2
 - INFILL TO MATCH NON-HISTORIC CONSTRUCTION
 - SPRAY FOAM REPAIR AS REQ'D. PAINT.
- DOORS
- NEW HOLLOW METAL DOOR & FRAME.
 - NEW PREFINISHED ALUMINUM DOOR & TRANSOM IF INDICATED.
- WINDOWS
- NEW THERMALLY BROKEN, PAINTED ALUMINUM SINGLE HUNG WINDOW INSTALLED WITHIN EXISTING MASONRY OPENINGS. GLAZING STOPS TO BE BEVELED ON THE EXTERIOR. INSULATED GLASS TO HAVE A VLT OF 70% OR GREATER. NEW PAINTED WOOD STOOL & APRON.
 - NEW PAINTED ALUMINUM STOREFRONT & TRANSOM ON NEW 8" CONCRETE CURB.



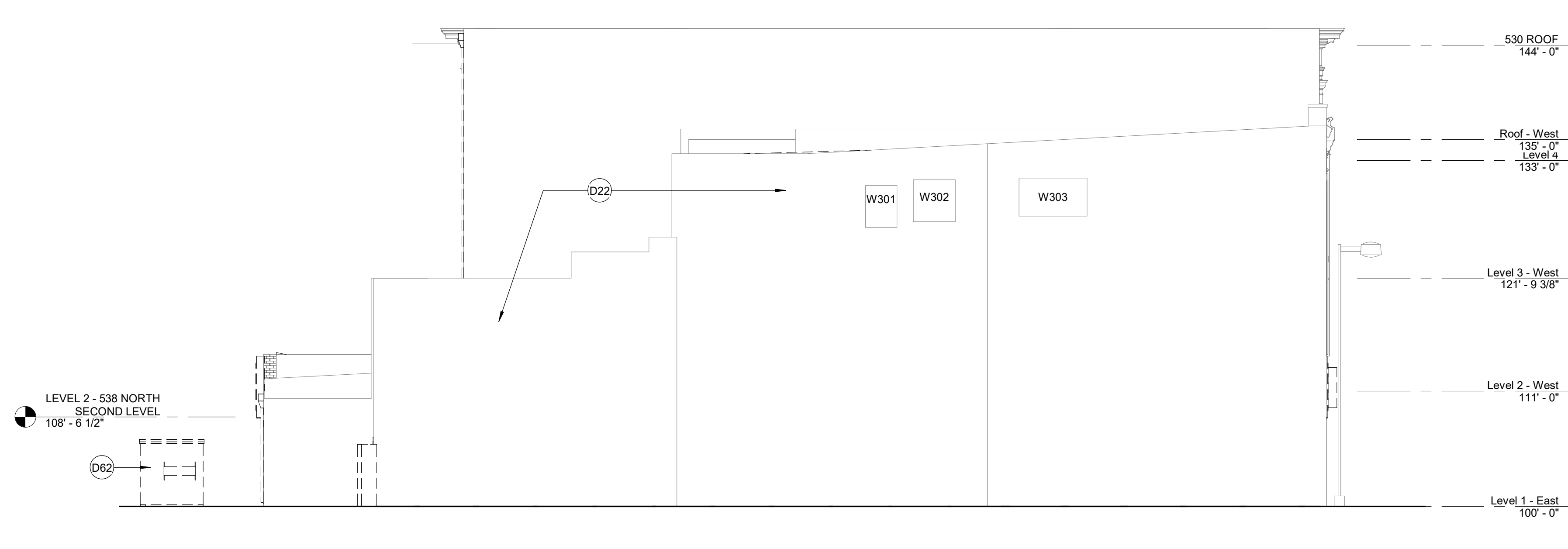
PHOTOGRAPHIC REFERENCE
NECESSARY STUCCO REPAIR
NORTH FACADE LOOKING SOUTHEAST



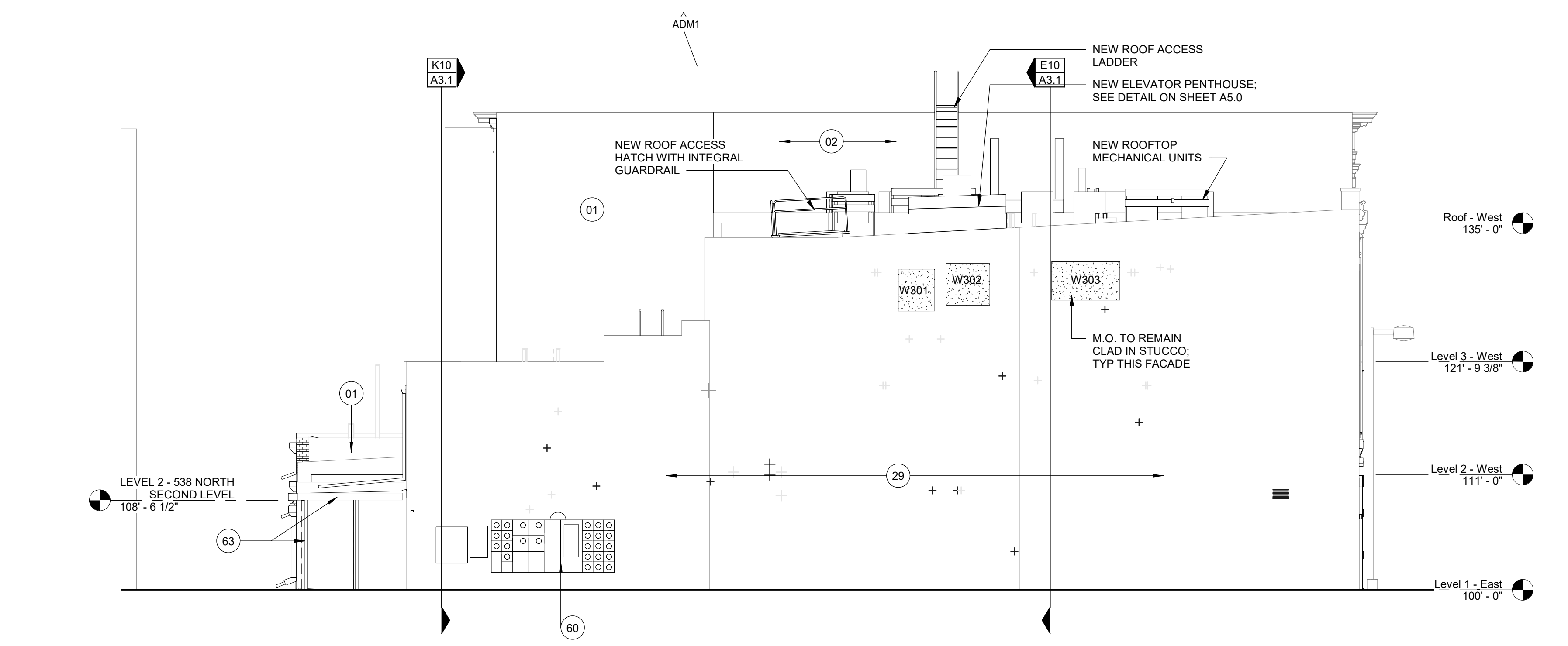
J1 DEMOLITION NORTH ELEVATION
A2.2 SCALE: 1/8" = 1'-0"



P1 PROPOSED - NORTH ELEVATION
A2.2 SCALE: 1/8" = 1'-0"



J9 DEMOLITION WEST ELEVATION
A2.2 SCALE: 1/8" = 1'-0"



P9 PROPOSED WEST ELEVATION
A2.2 SCALE: 1/8" = 1'-0"



530 W Broadway

530 W BROADWAY
COUNCIL BLUFFS, IA 51503

ALLEY•POYNER
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ARCHITECTURE

CONSTRUCTION
DOCUMENTS

ADM1	Addendum No. 1	04/09/2021
ADM2	Addendum No. 2	04/21/2021
PR-01	Pricing Request No.1	06/29/2021

REVISION	DATE
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PROJECT NUMBER : 19029
DATE : March 16, 2021
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EXTERIOR ELEVATIONS -
SECONDARY FACADES

A2.2

SCHEDULE - DOOR AND FRAME														
NUMBER	FRAME			DOOR			DETAILS			COMMENTS				
	TYPE	MATL	FINISH	TYPE	QTY	WIDTH	HEIGHT	MATL	FINISH	FIRE RATING	HARDWARE SET #	HEAD	JAMB	SILL
002	F2	HM	PNT	D3	SGL	3'-0"	6'-8"	HM	PNT	20 MIN	26	J17/A6.0	J17/A6.0	
003A	F1	HM	PNT	D1	SGL	3'-0"	6'-8"	HM	PNT	60 MIN	22	L17/A6.0	P17/A6.0	
008	F2	HM	PNT	D3	PR	3'-0"	6'-8"	HM	PNT	20 MIN	16	J17/A6.0	J17/A6.0	
009	F1	HM	PNT	D1	SGL	4'-0"	7'-0"	HM	PNT	60 MIN	23	L17/A6.0	P17/A6.0	
010	F1	HM	PNT	D1	SGL	3'-0"	6'-8"	HM	PNT	20 MIN	20			
011	F1	HM	PNT	D1	SGL	3'-0"	7'-0"	HM	PNT	60 MIN	21	L17/A6.0	P17/A6.0	
009	F1	ALUM	PRE	D4	PR	3'-0"	6'-0"	ALUM	PRE		27	P7/A3.2	P7/A3.2	P7/A3.2
101	F1	HM	PNT	D5	SGL	3'-0"	7'-0"	HM	PNT	90 MIN	1.0	L17/A6.0	P17/A6.0	
101.2	F1	HM	PNT	D1	SGL	3'-0"	7'-0"	HM	PNT		30			
102	F1	ALUM	ALUM	D4	SGL	3'-0"	8'-0"	ALUM	ALUM		2.0	P7/A3.2	P7/A3.2	P7/A3.2
103	F1	HM	PNT	D5	SGL	3'-0"	7'-0"	HM	PNT	90 MIN	1.0	L17/A6.0	P17/A6.0	
103.2	F1	HM	PNT	D1	SGL	3'-0"	7'-0"	HM	PNT		30			
104	F1	ALUM	PRE	D4	SGL	3'-0"	8'-0"	ALUM	PRE		10	P7/A3.2	P7/A3.2	P7/A3.2
104.1	F2	HM	PNT	D3	PR	3'-0"	6'-8"	HM	PNT		17	B16/A6.0	B12/A6.0	P13/A6.0
105	F1	ALUM	PRE	D4	PR	3'-0"	6'-0"	ALUM	PRE		11	P7/A3.2	P7/A3.2	P7/A3.2
105.1	F1	HM	PNT	D2	SGL	3'-0"	7'-0"	HM	PNT	90 MIN	24	J17/A6.0	J17/A6.0	
105A	F3	WD	PNT	D5	SGL	3'-0"	7'-0"	WD	PNT		5.0	F17/A6.0	F17/A6.0	
105B	F3	WD	WD	D5	SGL	3'-0"	6'-8"	WD	PNT		12			
106	F1	ALUM	PRE	D4	SGL	3'-0"	8'-0"	ALUM	PRE		10	P7/A3.2	P7/A3.2	P7/A3.2
106.1	F2	HM	PNT	D2	PR	3'-0"	7'-0"	HM	PNT	90 MIN	16	J17/A6.0	J17/A6.0	
107	F1	HM	PNT	D3	PR	3'-0"	6'-8"	HM	PNT		28	L13/A6.0		P13/A6.0
108	F2	HM	PNT	D5	SGL	3'-0"	7'-0"	HM	PNT	90 MIN	13	J17/A6.0	J17/A6.0	
109	F1	HM	PNT	D5	SGL	3'-0"	7'-0"	HM	PNT	90 MIN	18			
110	F2	HM	PNT	D2	SGL	3'-0"	7'-0"	HM	PNT	90 MIN	14			
111	F2	HM	PNT	D5	SGL	2'-8"	7'-0"	HM	PNT	90 MIN	29			
F1	F1	HM	PNT	D2	SGL	3'-0"	7'-0"	HM	PNT	90 MIN	25	L17/A6.0	P17/A6.0	
E90	F1	HM	PNT	D2	SGL	3'-0"	7'-0"	HM	PNT	90 MIN	25	L17/A6.0	P17/A6.0	
E91	F2	HM	PNT	D1	SGL	3'-0"	7'-0"	HM	PNT	90 MIN	26	J17/A6.0	J17/A6.0	
E92	F2	HM	PNT	D1	SGL	3'-0"	7'-0"	HM	PNT	90 MIN	25	J17/A6.0	J17/A6.0	
E93	F2	HM	PNT	D1	SGL	3'-0"	7'-0"	HM	PNT	90 MIN	25	J17/A6.0	J17/A6.0	
M60	F3	WD	PNT	D5	PR	2'-6"	6'-8"	WD	PNT		15			
MO												F13/A6.0	J13/A6.0	
WS0	F1	HM	PNT	D2	SGL	3'-0"	7'-0"	HM	PNT	90 MIN	25	L17/A6.0	P17/A6.0	
WS1	F2	HM	PNT	D1	SGL	3'-0"	7'-0"	HM	PNT	90 MIN	26	J17/A6.0	J17/A6.0	
WS2	F2	HM	PNT	D1	SGL	3'-0"	7'-0"	HM	PNT	90 MIN	25	J17/A6.0	J17/A6.0	
WS3	F2	HM	PNT	D1	SGL	3'-0"	7'-0"	HM	PNT	90 MIN	25	J17/A6.0	J17/A6.0	

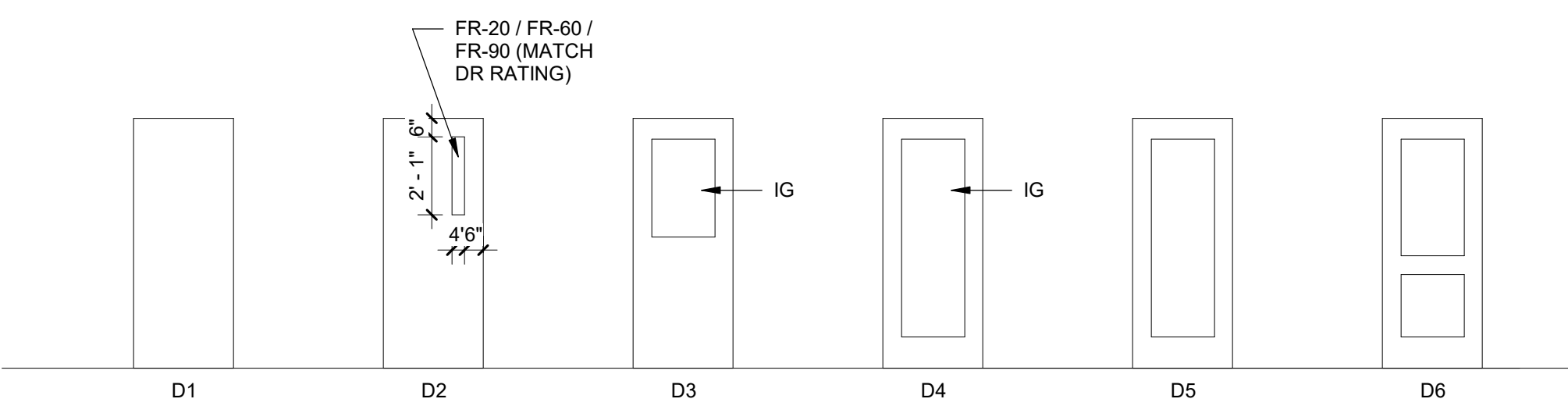
SCHEDULE - DOOR AND FRAME - UNITS														
NUMBER	FRAME			DOOR			DETAILS			COMMENTS				
	TYPE	MATL	FINISH	TYPE	QTY	WIDTH	HEIGHT	MATL	FINISH	FIRE RATING	HARDWARE SET #	HEAD	JAMB	SILL
BA32	F3	WD	PNT	D5	SGL	2'-8"	7'-0"	WD	PNT		4.0	F17/A6.0	F17/A6.0	
BA36	F3	WD	PNT	D5	SGL	3'-0"	7'-0"	WD	PNT		4.0	F17/A6.0	F17/A6.0	
BD32	F3	WD	PNT	D5	SGL	2'-8"	7'-0"	WD	PNT		3.0	F17/A6.0	F17/A6.0	
BD36	F3	WD	PNT	D5	SGL	3'-0"	7'-0"	WD	PNT		3.0	F17/A6.0	F17/A6.0	
C														
CL30	F3	WD	PNT	D5	SGL	2'-6"	7'-0"	WD	PNT		5.0	F17/A6.0	F17/A6.0	
CL32	F3	WD	PNT	D5	SGL	2'-8"	7'-0"	WD	PNT		5.0	F17/A6.0	F17/A6.0	
CL36	F3	WD	PNT	D5	SGL	3'-0"	7'-0"	WD	PNT		5.0	F17/A6.0	F17/A6.0	
CL48	F3	WD	PNT	D5	PR	2'-0"	7'-0"	WD	PNT		6.0	F17/A6.0	F17/A6.0	
EN36	F3	WD	PNT	D6	SGL	3'-0"	7'-0"	WD	PNT	20 MIN	1.0	F17/A6.0	F17/A6.0	
ENS	EXIST	WD	REFINISH	EXIST	SGL	3'-0"	7'-0"	WD	PNT	20 MIN	1.0	P13/A6.0a	P13/A6.0a	
F	EXIST	WD	REFINISH	EXIST	SGL		7'-0"	WD	PNT		9.0	P9/A6.0a	P9/A6.0a	
M36	F3	WD	PNT	D5	SGL	3'-0"	7'-0"	WD	PNT		7.0	F17/A6.0	F17/A6.0	
M60	F3	WD	PNT	D5	PR	2'-6"	6'-8"	WD	PNT		15	F17/A6.0	F17/A6.0	
S	EXIST		REFINISH	EXIST	SGL		7'-0"				8.0			

DOOR AND FRAME SCHEDULE NOTES

- ALL EXTERIOR FRAMES SHALL BE INSTALLED WITH 1/4" SHIM AND SEALANT AROUND PERIMETER OF FRAME.
- LINTELS ARE EXISTING OR SHOWN ON STRUCTURAL DRAWINGS.
- GLASS TYPES FOR DOORS AND FRAMES ARE INDICATED ON THE DOOR AND FRAME ELEVATIONS.
- HEAD, JAMB AND SILL DETAILS ARE FOUND ON SHEETS **A6.0-A6.0a** UNLESS OTHERWISE NOTED.

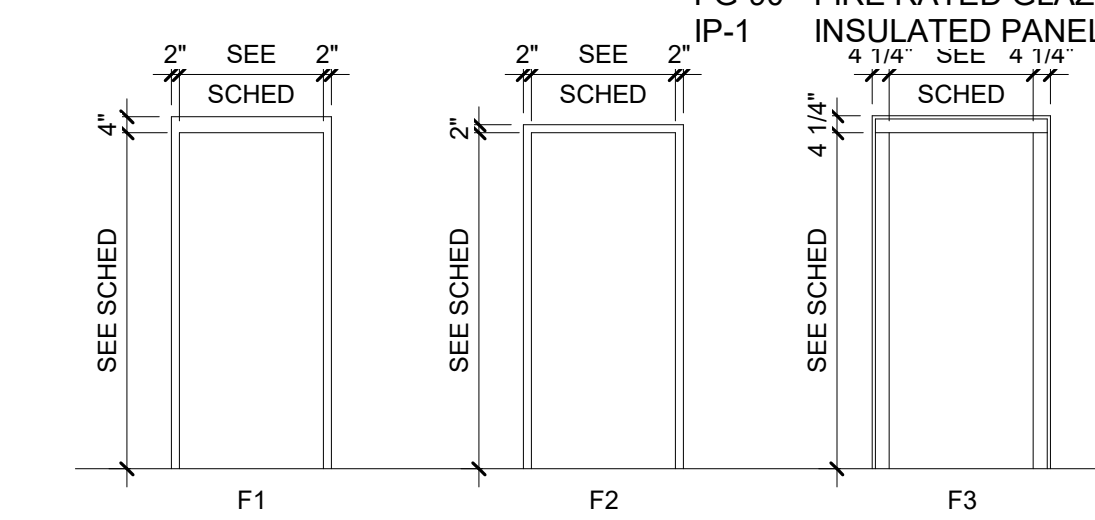
GLAZING LEGEND

T 1/4" TEMPERED
IG 1" INSULATED GLASS W/ CARDINAL 272 COATING
CTIG 1" INSULATED GLASS W/ CARDINAL 272 COATING
FG-20 FIRE RATED GLAZING - 20 MIN RATED
FG-60 FIRE RATED GLAZING - 60 MIN RATED
FG-90 FIRE RATED GLAZING - 90 MIN RATED
IP-1 INSULATED PANEL (INCORPORATE INTO STOREFRONT FRAMING)



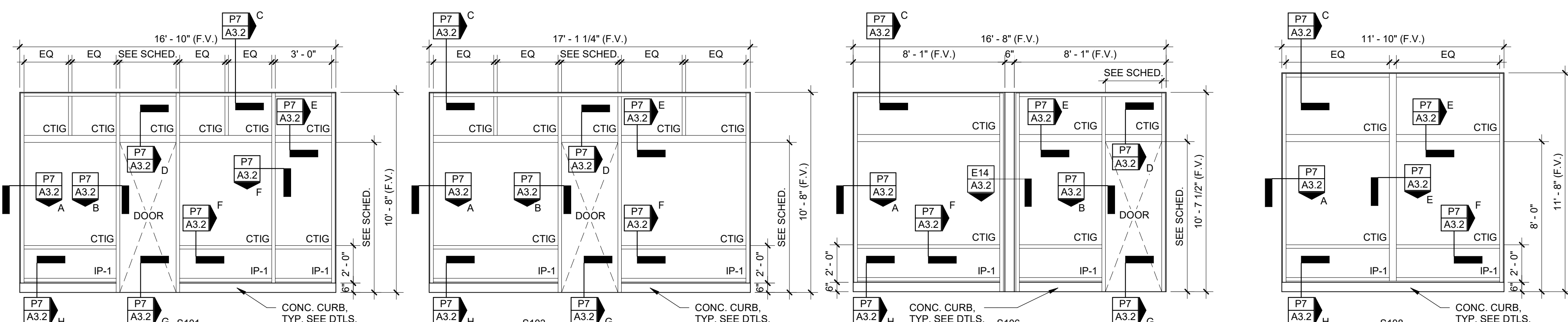
DOOR TYPES

SCALE: 1/4" = 1'-0"



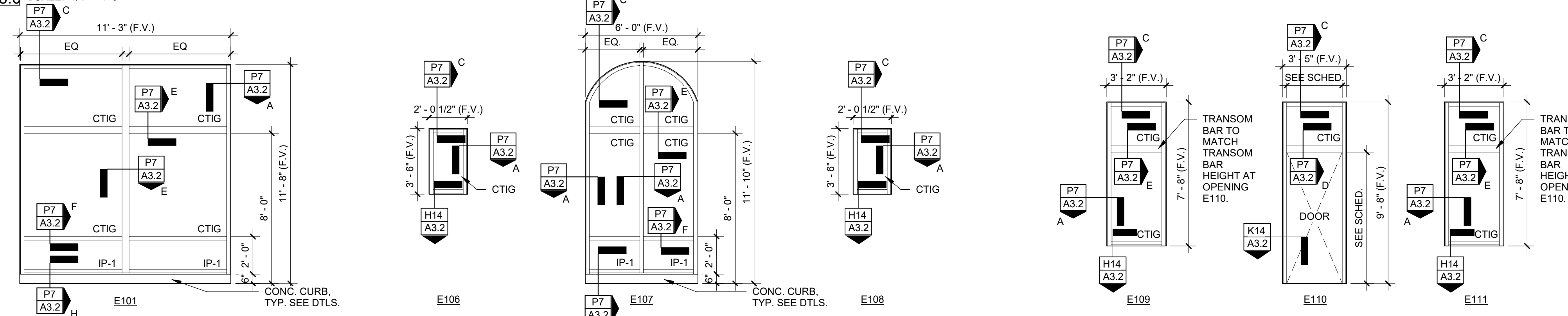
FRAME TYPES

SCALE: 1/4" = 1'-0"



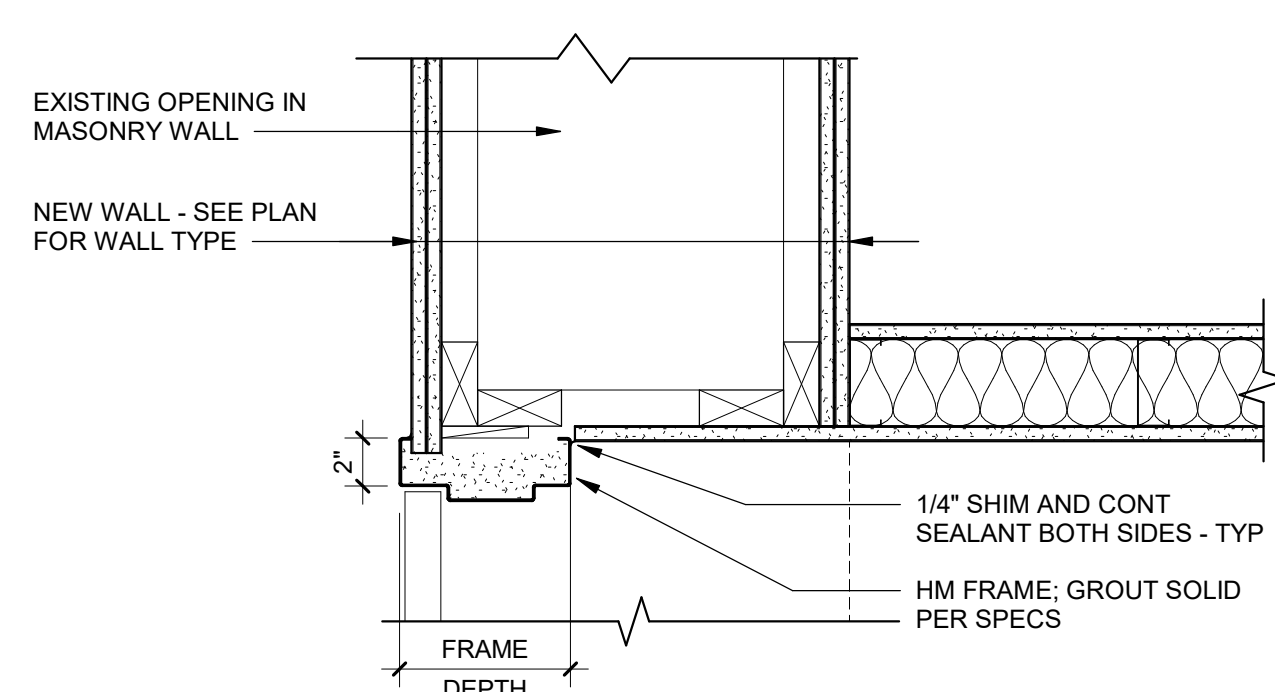
M1 EXTERIOR FRAME ELEVATIONS

SCALE: 1/4" = 1'-0"



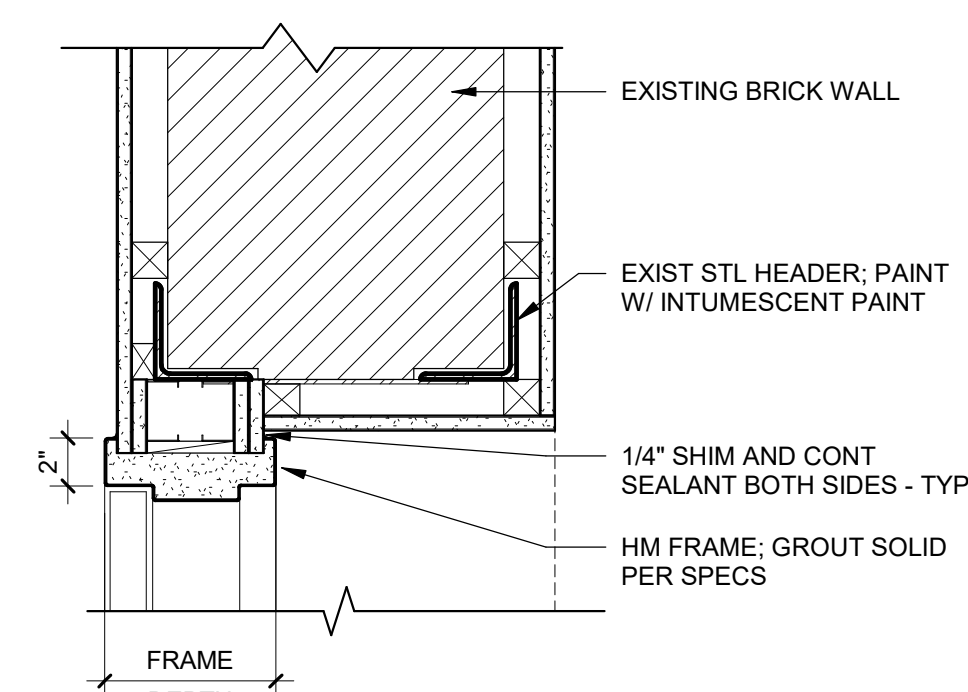
P1 EXTERIOR FRAME ELEVATIONS

SCALE: 1/4" = 1'-0"



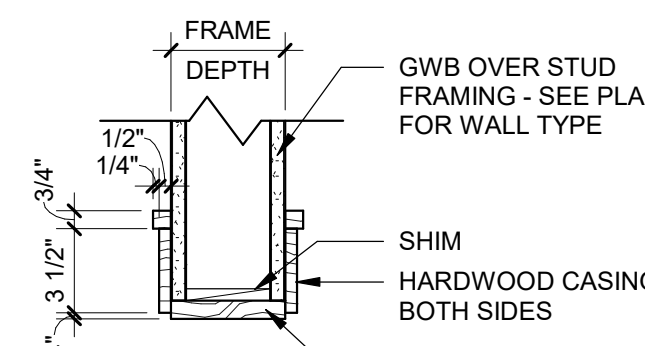
B12 HM JAMB DETAIL @ 104.1

SCALE: 1 1/2" = 1'-0"



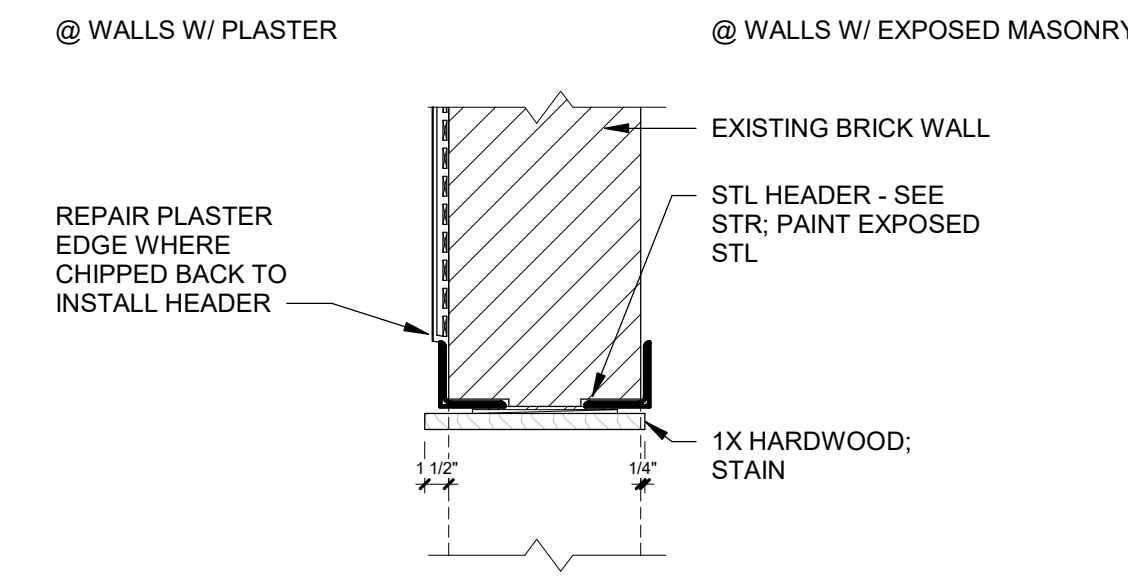
B16 HM HEAD DETAIL @ 104.1

SCALE: 1 1/2" = 1'-0"



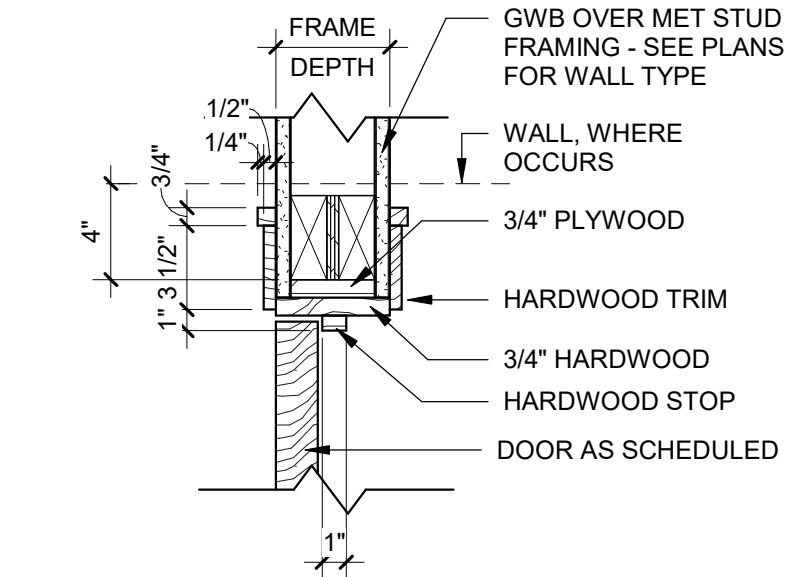
D13 TYP HEAD/JAMB @ CASSED OPG

SCALE: 1 1/2" = 1'-0"



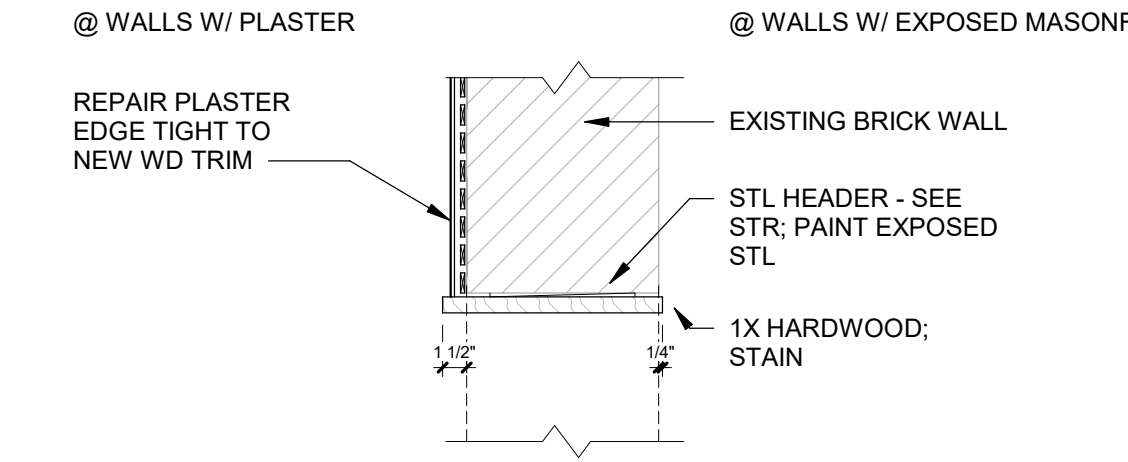
F13 MO HEAD DETAIL FLS 1-3

SCALE: 1" = 1'-0"



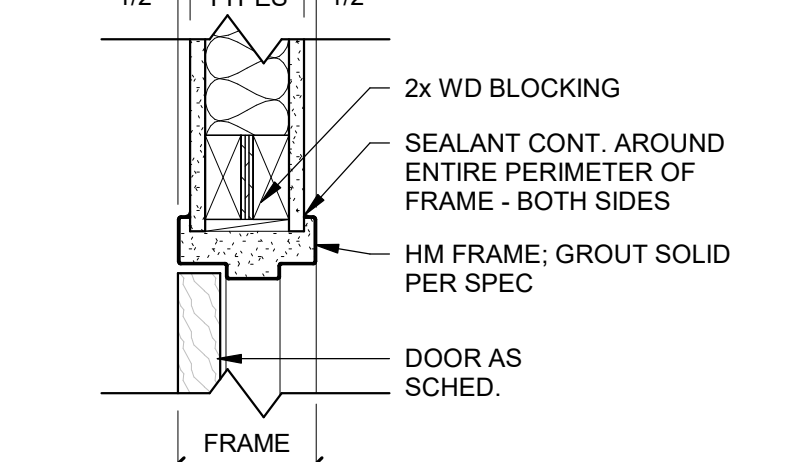
F17 TYP DOOR HEAD/JAMB DETAIL @ APTS

SCALE: 1 1/2" = 1'-0"



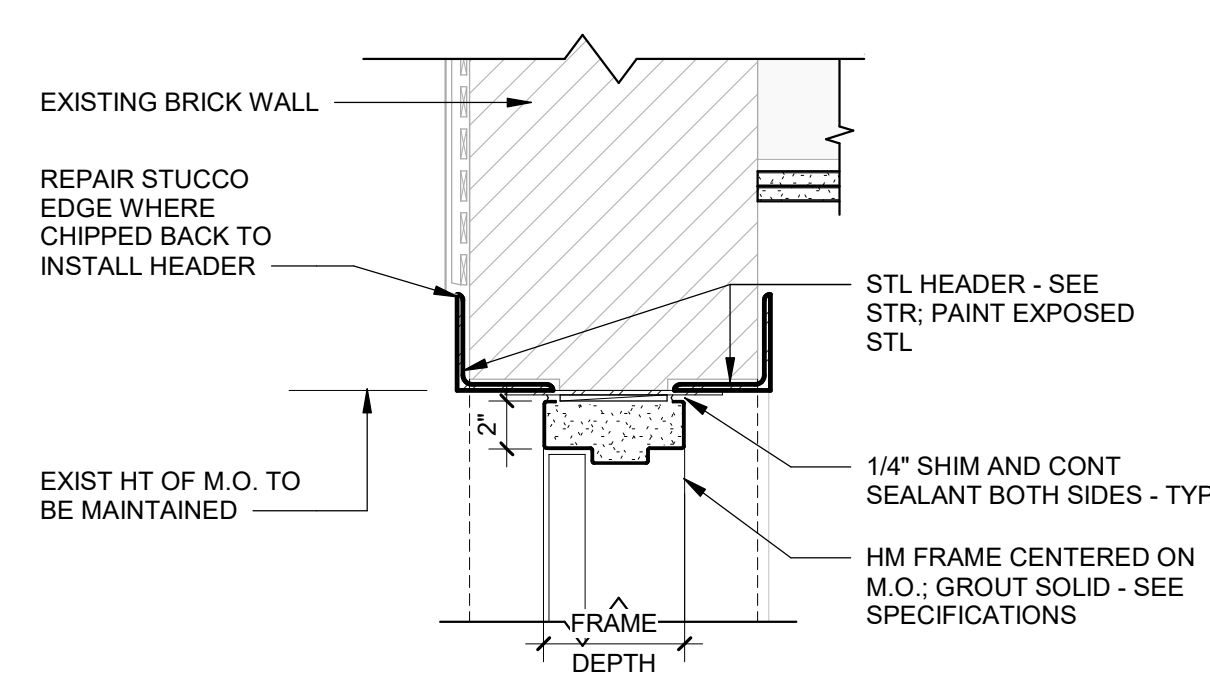
J13 MO JAMB DETAIL FLS 1-3

SCALE: 1" = 1'-0"



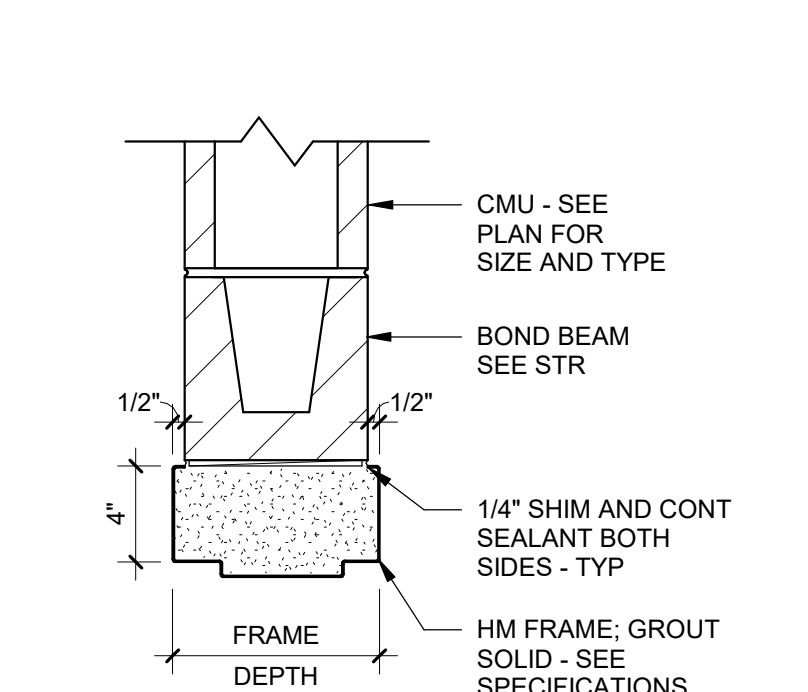
J17 TYP DOOR HEAD/JAMB DETAIL

SCALE: 1 1/2" = 1'-0"



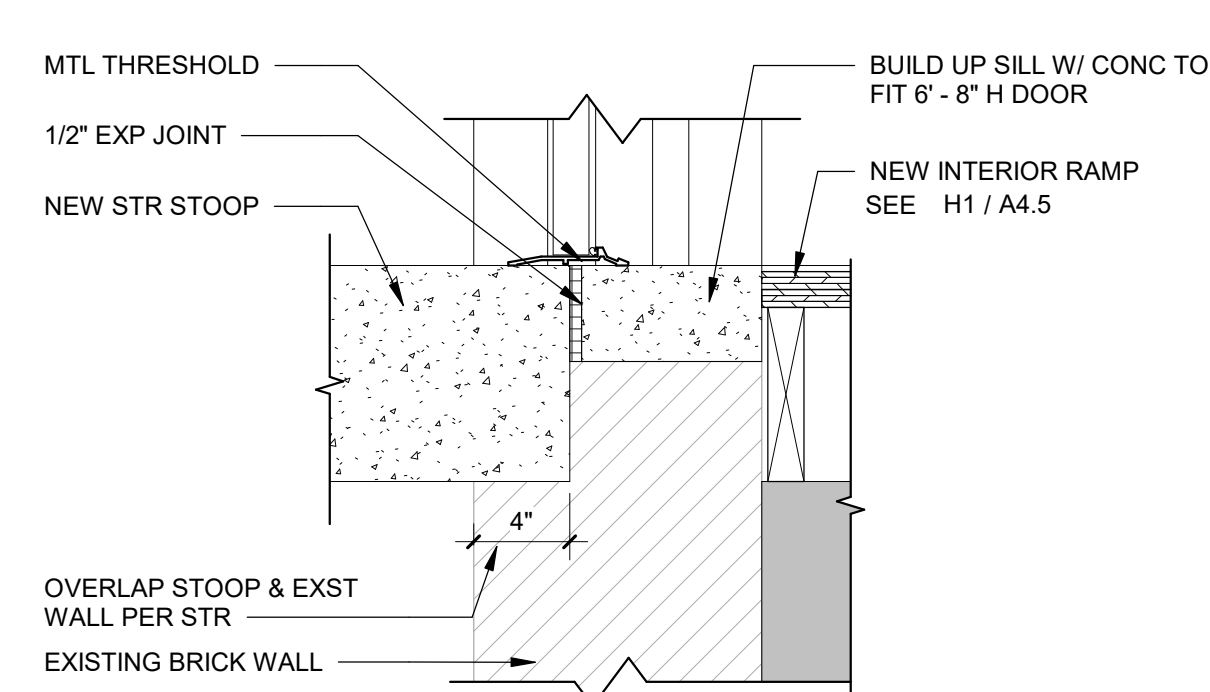
L13 HM - BRICK HEAD DETAIL (JAMB SIM) @ DOOR 107

SCALE: 1 1/2" = 1'-0"



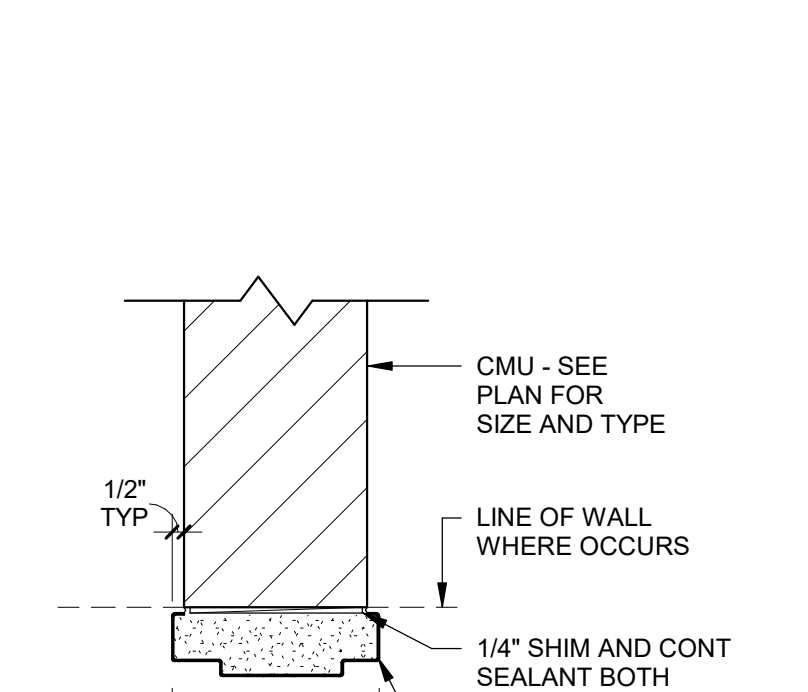
L17 4" HM HEAD IN CMU

SCALE: 1 1/2" = 1'-0"



P13 HM - BRICK SILL DETAIL @ DOOR 107

SCALE: 1 1/2" = 1'-0"



P17 2" HM JAMB IN CMU

SCALE: 1 1/2" = 1'-0"



530 W Broadway

530 W BROADWAY
COUNCIL BLUFFS, IA 51503



CONSTRUCTION
DOCUMENTS

ADM2 Addendum No. 2 04/21/2021
PR-01 Pricing Request No.1 06/29/2021

REVISION DATE

PROJECT NUMBER : 19029

DATE : March 16, 2021

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ALLEY POYNER MACCHIETTO ARCHITECTURE, INCORPORATED

DOOR AND FRAME SCHEDULE

A6.0

6/29/2021 12:01:09 PM



530 West Broadway

AGENCY APPROVAL



PR-03:
Stoop Revisions
REVISION
PROJECT NUMBER: 19029
DATE: March 16, 2021
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CIVIL SITE PLAN

C2.0

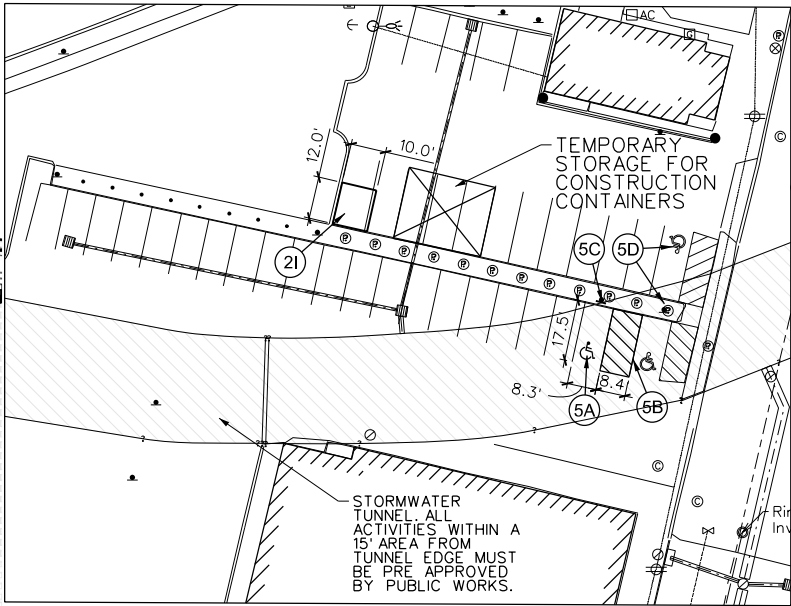
SITE PLAN CONSTRUCTION NOTES

- EXISTING FEATURES PROTECT THE FOLLOWING:
 - PAVEMENTS TO REMAIN.
 - EXISTING UTILITIES. COORDINATE ANY ADJUSTMENTS OR RELOCATIONS WITH UTILITY PROVIDER PRIOR TO CONSTRUCTION.
 - CURB AND GUTTER TO REMAIN.
 - BRICK PAVERS TO REMAIN.
- PAVEMENTS PROVIDE THE FOLLOWING WHERE INDICATED:
 - REMOVE EXISTING PAVEMENTS TO NEAREST JOINT AT LIMITS SHOWN.
 - FULL DEPTH PCC PATCH TO MATCH EXISTING PAVEMENT THICKNESS, JOINTING AND ELEVATION. PATCH SHALL BE DONE IN ACCORDANCE WITH SUDAS STANDARD SPECIFICATION 7040.101.
 - STRUCTURAL STOOP, DOOR LOCATIONS SHOWN FOR REFERENCE AND COORDINATION ONLY. SEE ARCHITECTURAL PLANS FOR DETAILS. VERIFY STOOP LOCATIONS PRIOR TO CONSTRUCTION.
 - 4" DEPTH PCC SIDEWALK ON 6" DEPTH PREPARED SUBGRADE COMPACTED TO 95% STANDARD PROCTOR. ALL SIDEWALK SHALL BE INSTALLED PER SUDAS STANDARD SPECIFICATION 7030.204, 7030.207, 7030.209, AND 7030.210.
 - STANDARD 6" CURB.
 - TAPER TO NO CURB.
 - REMOVE SALVAGE AND REPLACE BRICK PAVERS TO MATCH EXISTING PATTERN.
 - DETECTABLE WARNING PANEL.
 - DUMPSTER PAD AREA ON EXISTING PAVEMENT. SCREENING FENCE TO BE INSTALLED AROUND PERIMETER.
 - RAISED STRUCTURAL STOOP, DOOR LOCATIONS SHOWN FOR REFERENCE AND COORDINATION ONLY. SEE ARCHITECTURAL PLANS FOR DETAILS.
- WATER SERVICE TO BE COORDINATED WITH COUNCIL BLUFFS WATER WORKS, PROVIDE THE FOLLOWING:
 - 6" DIP WATER SERVICE.
 - 6" VALVE.
 - CONNECT TO EXISTING WATER MAIN WITH TAPPING VALVE AND SLEEVE. CONTRACTOR TO VERIFY LOCATION, SIZE AND DEPTH PRIOR TO CONSTRUCTION. COUNCIL BLUFFS WATER WORKS MUST BE PRESENT FOR TAP WORK.
 - CONNECT TO BUILDING WATER SERVICE WITH WALL MOUNTED PIV. VERIFY WITH PLUMBING PLANS.
- SANITARY SEWER SERVICE, PROVIDE THE FOLLOWING:
 - 6" SANITARY SEWER SERVICE.
 - CONNECT TO BUILDING SANITARY SERVICE. COORDINATE SIZE, LOCATION AND ELEVATION WITH MECHANICAL PLANS PRIOR TO CONSTRUCTION.
 - CONNECT TO EXISTING SANITARY SEWER MAIN WITH WYE.
- PAVEMENT MARKINGS PROVIDE THE FOLLOWING:
 - ACCESSIBLE SYMBOL AS PER MUTCD STANDARDS.
 - 4" WIDTH PAINTED 45° STRIPING.
 - ACCESSIBLE PARKING SIGNAGE AS PER MUTCD STANDARDS.
 - COVER EXISTING ACCESSIBLE WITH PAINT AND REMOVE SIGNAGE.
- INSTALL STORM SEWER INLET PROTECTION DURING ANY SOIL DISTURBING ACTIVITIES.
- PROPOSED TRANSFORMER LOCATION. COORDINATE INSTALLATION WITH UTILITY COMPANY. EXISTING TRANSFORMER TO BE REMOVED BY UTILITY PROVIDER. PAVEMENT REMOVAL/DISTURBANCE SHALL BE MINIMIZED IN ALLEY.
- REMOVE FENCE AND LANDSCAPING TO THE EXTENT NEEDED FOR NEW TRANSFORMER INSTALLATION. LANDSCAPING SHALL BE REPLACED TO MATCH EXISTING.

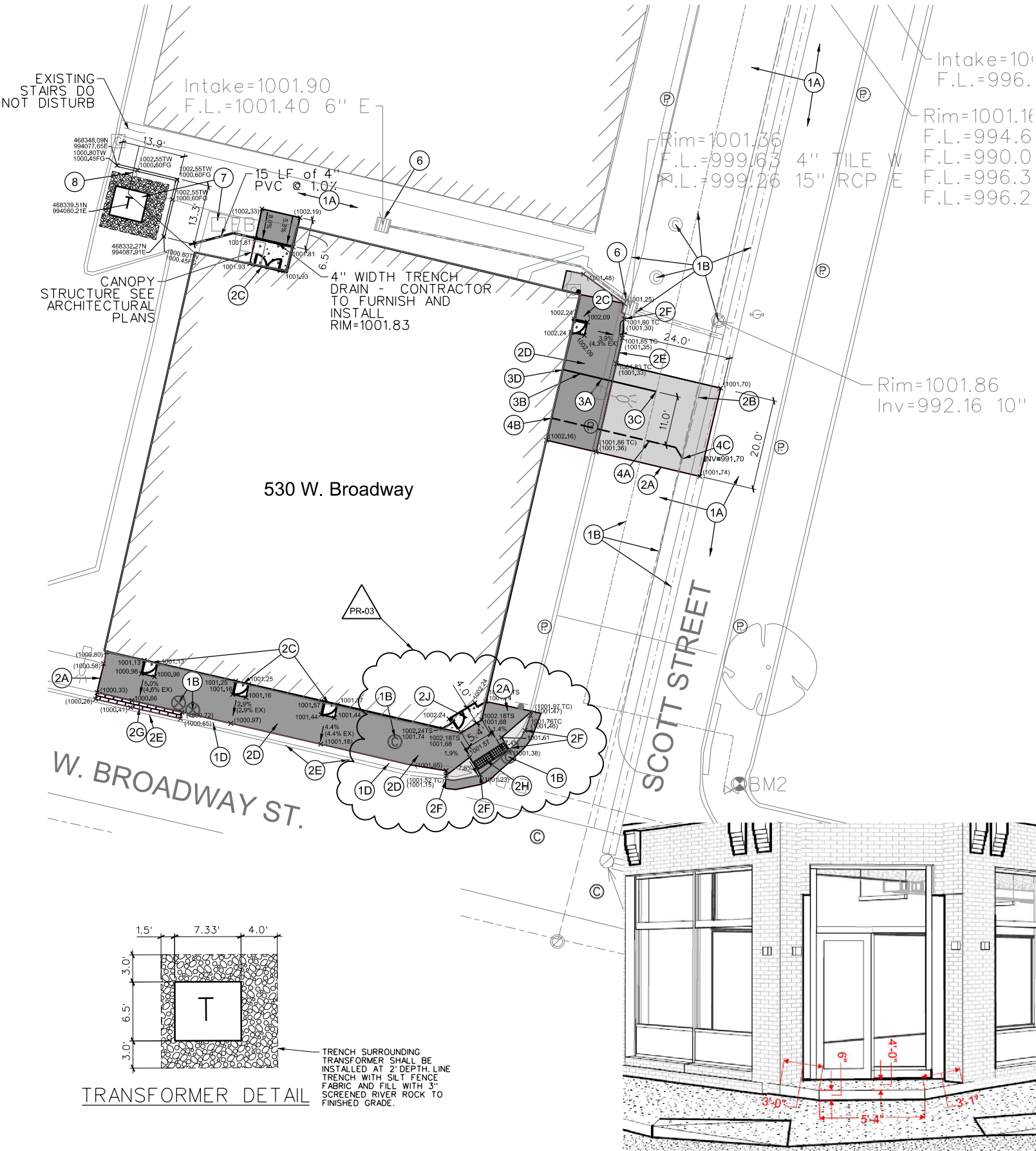
- 4" PCC
- PCC PATCH TO MATCH EXISTING, INCLUDING SUBBASE MATERIAL
- SALVAGED BRICK PAVERS FOR REUSE, MATCH EXISTING SUBBASE

TOPO SPOT LEGEND

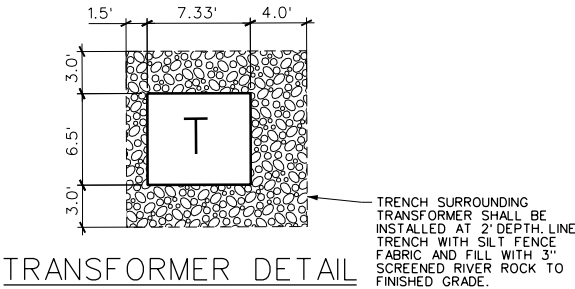
- (XXXX.XX) - VERIFY AND MATCH EXISTING ELEVATION
- XXXX.XXTC - TOP OF CURB ELEVATION
- XXXX.XX - TOP OF SLAB ELEVATION UNLESS OTHERWISE NOTED
- XXXX.XXTS - TOP OF STEP ELEVATION



PARKING LOT DETAIL
20 SCALE



STOOP WITH STAIR
NOT TO SCALE



TRANSFORMER DETAIL