

## HISTORIC PRESERVATION COMMISSION AGENDA

Wednesday, August 4, 2021 - 4:00 PM Council Chambers, 2nd Floor, City Hall 209 Pearl Street

#### 1. CALL TO ORDER

- A. \*\*\*ALL ATTENDESS THAT ARE NOT FULLY VACCINATED
  AGAINST COVID-19 ARE REQUIRED TO WEAR A FACEMASK
  AND/OR FACESHIELD AT ALL TIMES\*\*\*
- 2. ROLL CALL
- 3. ADOPTION OF AGENDA
- 4. APPROVAL OF MINUTES
- 5. PUBLIC HEARING
  - A. CASE #HP-21-003(M)

Public hearing on the request of The 712 Initiative for historic preservation design modifications relative to exterior doors, stoops, and stairs at 530 West Broadway, a locally designated Historic Landmark. Location: 530 West Broadway.

#### 1. OTHER BUSINESS

#### 2. ADJOURNMENT

Any questions or concerns regarding this agenda and/or requests for special accommodations at this meeting should be directed to the Community Development Department at (712) 890-5350 or email at cgibbons@councilbluffs-ia.gov.

#### **Council Communication**

Department: Community

Development

Case/Project No.: HP-21-003(M) CASE #HP-21-003(M) Council Action: 8/4/2021

Submitted by: Christopher N. Gibbons, AICP, Planning Manager

#### Description

Public hearing on the request of The 712 Initiative for historic preservation design modifications relative to exterior doors, stoops, and stairs at 530 West Broadway, a locally designated Historic Landmark. Location: 530 West Broadway.

#### Background/Discussion

See attachments.

#### Recommendation

#### **ATTACHMENTS:**

Description Type Upload Date Staff Report & Attachments Other 7/29/2021

**TO:** Historic Preservation Commission

**FROM:** Christopher N. Gibbons, Planning Manager

Community Development Department

**RE:** CASE #HP-21-003(M)

**DATE:** August 4, 2021

**APPLICANT:** The 712 Initiative, represented by Sheryl Garst, Executive Director

1228 South Main Street, Council Bluffs, IA 51503

**OWNER:** Pottawattamie County Development Corporation

1228 South Main Street, Council Bluffs, IA 51503

**REQUEST:** CASE #HP-21-003(M)

Historic preservation exterior design review of 530 West Broadway, a

locally designated historic landmark in the 500 Block of West Broadway

#### **GENERAL INFORMATION**

The Community Development has received a request from the 712 Initiative for historic preservation design review to allow the following exterior modifications to 530 West Broadway, a locally designated historic landmark (see Attachment A). These modifications are in addition to the renovation plans previously approved by the HPC on April 7, 2021 for 530 West Broadway, and were determined to be necessary after the City staff reviewed the formal architectural drawings for the project.

#### North elevation (see Attachment B)

1. Install two egress doors to provide emergency access to the ground level residential units on the north side of the building. One door will utilize an existing door opening on the façade wall, while the other door will enlarge a wall opening that was originally approved to be used for a window. Both doors are a requirement of the International Fire Code and must be provided in order for the two residential units to be constructed and occupied.

#### East/southeast elevation (see Attachment C)

1. Install steps to access the southeast corner commercial bay of the building. The modification request is comprised of a stoop and raised 6" stair, and is required by City code to address the grade change between the sidewalk and the door entrance. This modification will be completed in coordination with the previously approved plans to renovate the building's storefront back to its original design.

All City Departments and local utility providers were notified of the proposed request. The following comments were received:

- 1. Council Bluffs Permits & Inspections Division stated they have no comments for the request.
- 2. Council Bluffs Fire Department stated they have no additional comments for the request.
- 3. Council Bluffs Public Works Department stated they have no comments for the request.

- 4. Council Bluffs Water Works stated they have no comments for the request.
- 5. <u>MidAmerican Energy</u> stated they have no conflict with the request provided the design modifications do not impede access or safe operation of their existing underground electrical utilities in the 500 Block of West Broadway. Any costs associated with relocating existing facilities, if practical, will be the responsibility of the applicant/developer.

<u>REVIEW CRITERIA</u> – The Secretary of the Interior's 'Standards for Historic Preservation' are used as the basis for reviewing historic preservation design requests for buildings located within historic districts and buildings designated as local landmarks.

- 1. A property will be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces, and spatial relationships. No change to the historic use of the property is proposed with this request as the property has historically been utilized for commercial purposes. The proposed two egress doors will utilize existing and/or planned openings on the northerly building façade. The stoop and step are designed to be compatible with the storefront renovations that were previously approved by the Historic Preservation Commission on April 7, 2021. Furthermore, the proposed exterior modifications are required for compliance with City building and fire codes that are relative to life safety and safe access into the building.
- 2. The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces, and spatial relationships that characterize a property will be avoided. The proposed two egress doors will utilize existing and/or planned openings on the northerly building façade. The stoop and step are designed to be compatible with the storefront renovations that were previously approved by the Historic Preservation Commission on April 7, 2021. No distinct materials or alterations are proposed with this request that would detract from the building's historic architectural integrity.
- 3. Each property will be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, will not be undertaken. *Not applicable*.
- 4. Changes to a property that have acquired historic significance in their own right will be retained and preserved. *Not applicable*.
- 5. Distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize a property will be preserved. *Not applicable*.
- 6. Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture, and, where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence. *Not applicable*.
- 7. Chemical or physical treatments, if appropriate, will be undertaken using the gentlest means possible. Treatments that cause damage to historic materials will not be used. *Not applicable*.

- 8. Archeological resources will be protected and preserved in place. If such resources must be disturbed, mitigation measures will be undertaken. *Not applicable*.
- 9. New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment. The proposed exterior alterations are part of the broader plan to renovate 530 West Broadway into a mixed commercial-residential structure. The two egress doors on the northerly façade will utilize wall openings that either currently exist or were planned to be provided for windows. The stoop and stair modification is being designed in a manner that is consistent with the appearance of the storefront renovation. All proposed exterior modifications are required for either life safety or safe access purposes. None of the proposed exterior modifications are anticipated to negatively affect the historic integrity of the property or its environment.
- 10. New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired. *Not applicable*.

<u>RECOMMENDATION</u> – The Community Development Department recommends approval of the request for historic preservation exterior design review of 530 West Broadway, a locally designated historic landmark in the 500 Block of West Broadway, as shown in the Attachments A-C, and issuance of a Certificate of Appropriateness as the request is generally consistent with the spirit and intent of the Secretary of Interior's "Standards for Rehabilitation", subject to the following conditions:

1. The applicant shall obtain all required permits from the City of Council Bluffs for the proposed exterior modifications;

Christopher N. Gibbons, Planning Manager

Community Development Department

Christoph A

Attachment A: Applicant's letter of intent

Attachment B: North building façade architectural plan

Attachment C: Front stoop and stair architecture rendering and plan



July 6, 2021

Christopher Gibbons
Planning Manager
Community Development Department
City of Council Bluffs
209 Pearl Street
Council Bluffs, IA 51503

Subject: 530 W Broadway – HPC Review; Amendment #HP-21-003

Dear Mr. Gibbons,

In April, 2021, the Historic Preservation Commission approved a Certificate of Appropriateness for the renovation proposed for 530 W Broadway. Through the permit process, 2 changes have been made. We believe that these changes are minor and will not hurt the overall aesthetic of the building while keeping the historic integrity.

Change #1: Two egress doors have been added to the alley/north façade. Each door is required for residential units for safety per City Fire Marshall. One door will utilize an existing door opening. See Attachment A for architectural rendering.

Change #2: City code will require a step to be added for the SE corner bay due to the existing grade. See Attachment B for architectural rendering. This proposed step has been confirmed with Public Works.

The 712 Initiative submits the attached for the Historic Preservation Commission's review.

Please let us know if you have any questions.

Sincerely,

Sheryl Garst

The 712 Initiative

D02 TBD

D10 REMOVE RAISED FLOOR THIS AREA

D20 REMOVE EXISTING NON-HISTORIC WALL PARTITION

D25 CAREFULLY REMOVE AND SALVAGE CASEWORK

D34 NEW FLOOR OPENING FOR NEW ELEVATOR, SEE STR

D40 EXISTING HISTORIC DOOR TO REMAIN, PROVIDE NEW HARDWARE

D45 EXISTING DOOR FRAME TO REMAIN, CHANGE SWING OF DOOR

D46 EXISTING DOOR PANEL TO BE REMOVED, FRAME TO REMAIN

D54 REMOVE NON-HISTORIC MET LOUVER, FRAMED OPENING TO REMAIN

D35 NEW FLOOR OPENING FOR NEW STAIR, SEE STR

D27 EXISTING MASONRY WING WALL TO REMAIN

D28 REMOVE ABANDONED CHIMNEY STACK

D30 EXISTING STAIR TO REMAIN

D32 EXISTING RAMP TO REMAIN

D31 EXISTING STAIR TO BE REMOVED

D33 EXISTING RAMP TO BE REMOVED

FLOORING TO MATCH EXIST.

ENTRY DOOR AND FRAME

D42 EXISTING HISTORIC DOOR TO BE REMOVED

D43 EXISTING NON-HISTORIC DOOR TO REMAIN

D44 EXISTING NON-HISTORIC DOOR TO BE REMOVED

JAMBS TO REMAIN, PROTECT IN PLACE

D50 REMOVE NON-HISTORIC INTERIOR WINDOW

SPECIALTIES AND EQUIPMENT

D62 REMOVE ELECTRICAL EQUIPMENT

FOR REINSTALATION

D90 GLASS FLOOR TO REMAIN

HISTORIC ITEMS

D64 REMOVE ALL LOCKERS IN THIS AREA

D65 ELECTRICAL EQUIPMENT TO REMAIN IN PLACE

D70 BASEBOARD IS 70% OR MORE INTACT, PROTECT

D66 MECHANICAL EQUIPMENT TO BE REMOVED

D74 REMOVE EXISTING CABINETS / CASEWORK

D48 EXISTING NON-HISTORIC DOOR TO BE FIXED IN PLACE

D51 REMOVE EXISTING INFILL FROM MASONRY OPENING

D55 REMOVE EXISTING NON-HISTORIC EXTERIOR WINDOW

D60 REMOVE EXISTING PLUMBING FIXTURES IN THIS AREA

D61 REMOVE ABANDONED WATER AND MISC PIPING IN THIS AREA

D73 CHAIR RAIL AND PICTURE RAIL IS 70% OR MORE INTACT, PROTECT

D75 EXISTING CABINETS TO REMAIN, REMOVE COUNTERTOP

D52 HISTORIC INTERIOR WINDOW TO REMAIN IN PLACE

D29 REMOVE INTERIOR WALL BEHIND WINDOW

PR-01) PEMOVE EXIST CONC SLOOP AS REO'D FOR NEW STAIP ETC: GOOD WOOTK

REMOVE NON-HISTORIC WALL FURRING FROM FACE OF MASONRY

REMOVE SECTION OF EXISTING WALL FOR NEW DOOR OR PASS THROUGH OPENING

D26 UNKNOWN CONDITION, FIELD VERIFY AND NOTIFY ARCHITECT OF CONDITION UPON DISCOVERY

D36 AREA OF DETERIORATED FLOORING. SEE STR FOR JOIST REPAIR IF NEEDED. PROVIDE NEW FINISH

D41 EXISTING HISTORIC DOOR AND FRAME TO BE REMOVED, OPENING TO BE ENLARGED FOR NEW UNIT

D47 EXISTING HISTORIC DOOR AND STOPS TO BE REMOVED AND SALVAGED. EXISTING WOOD PANELED

D49 SALVAGE HISTORIC FIRE DOORS. SEE PROPOSED PLAN FOR REINSTALLATION LOCATION.

D71 BASEBOARD IS MORE THAN 70% GONE, REMOVE REMAINING, SALVAGE FOR REUSE

D72 EXISTING CHAIRRAIL AND PICTURE RAIL IS MORE THAN 70% GONE, REMOVE REMAINING, SALVAGE

D24 REMOVE EXISTING WALL COVERING AND FINISH; STUD OR MASONRY WALL TO REMAIN

FLOORS

REMOVED. THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING ALL ITEMS WHICH MUST BE REMOVED TO FACILITATE NEW CONSTRUCTION. 1a. ITEMS TO BE DEMOLISHED ARE SHOWN GRAPHICALLY WITH DASHED LINES. RED DASHED LINES INDICATE HISTORIC WALLS TO BE REMOVED; BLUE DASHED LINES INDICATE NON-HISTORIC, OR MODERN WALLS, TO BE REMOVED. EXISTING ITEMS TO REMAIN ARE

DEMOLITION WORK. THESE DRAWINGS MAY NOT IDENTIFY EVERY INDIVIDUAL ITEM TO BE

KEYED. REMOVE IN THEIR ENTIRETY ALL EXISTING WALLS, DOORS, MILLWORK, PLUMBING FIXTURES ETC. AS REQUIRED TO EXECUTE THE DEMOLITION/CONSTRUCTION WORK DESCRIBED BY THE ARCHITECT-ENGINEER

1b. REFER TO KEYED NOTES FOR SPECIFIC ITEMS TO BE REMOVED. ALL ITEMS ARE NOT

VERIFY ALL EXISTING CONDITIONS, DIMENSIONS AND ELEVATIONS AND NOTIFY THE ARCHITECT-ENGINEER OF ANY DISCREPANCIES. COORDINATE ALL DEMOLITION/PHASING EFFORTS WITH THE ARCHITECT-ENGINEER AND

OWNER'S REPRESENTATIVES THE CONTRACTOR SHALL COORDINATE WITH THE ARCHITECT-ENGINEER ANY MATERIALS TO BE REUSED AND WILL BE RESPONSIBLE FOR VERIFYING AND MAINTAINING THE FUNCTIONAL AND AESTHETIC INTEGRITY OF THE MATERIALS 3b. PROTECT ITEMS NOT SLATED FOR REMOVAL. REPAIR ANY AND ALL DAMAGE TO EXISTING

CONDITIONS THAT OCCUR AS PART OF THE DEMOLITION / NEW CONSTRUCTION PROCESS. REPAIR OR REPLACE ANY WALLS, FLOORS, OR EQUIPMENT DAMAGED AS A RESULT OF DEMOLITION OR CONSTRUCTION TO MATCH EXISTING FINISH AND/OR CONDITION 3d. PATCH ALL FLOOR AND CEILING PENETRATIONS RESULTING FROM REMOVAL OR REROUTING OF NEW OR EXISTING PIPING, DUCTWORK, CONDUIT, ETC. AS REQUIRED TO MAINTAIN FIRE SEPARATIONS. FINISH AS REQUIRED FOR NEW OR EXISTING ADJACENT SURFACES DISPOSE OF ALL ITEMS IN ACCORDANCE WITH ALL APPLICABLE REQUIREMENTS. SALVAGE ALL IDENTIFIED ITEMS FOR RE-USE.

MAINTAIN A SECURE, WEATHER-TIGHT ENCLOSURE AT THE EXTERIOR OF THE EXISTING BUILDING THROUGHOUT THE DEMOLITION/CONSTRUCTION PORTION OF THE WORK IN THAT AREA. BUILDING SECURITY SHALL BE COORDINATED WITH THE OWNER

6. THE CONTRACTOR SHALL SHORE AS REQUIRED ANY AREAS AFFECTED OR COMPROMISED DEMOLITION CONTRACTOR SHALL COORDINATE WITH MECHANICAL AND ELECTRICAL CONTRACTORS FOR LOCATION OF ASSOCIATED SAWCUTS AND FLOOR DEMOLITION

10. REMOVE ALL MODERN CARPET AND ASSOCIATED ADHESIVE UNO. 11. EXISTING VINYL TILE AND ADHESIVE TO BE REMOVED AS PART OF THE ABATEMENT

PROCESS. 20. ALL PUBLIC CORRIDOR WALLS TO REMAIN IN-PLACE UNO.

21. ALL WALLS BETWEEN PUBLIC CORRIDOR WALLS AND EXTERIOR WALLS SHALL BE REMOVED 22. ALL MASONRY EXTERIOR AND PARTY WALLS TO REMAIN. ENSURE SOUND CONDITION. VERTICAL CIRCULATION

31. N/A DOORS

40. ALL EXISTING CORRIDOR DOORS AND TRANSOMS (WHERE TRANSOMS EXIST) ARE TO REMAIN UNO WINDOWS

50. ALL WINDOWS IN THE PROJECT TO BE REMOVED UNO. WINDOW UNITS SHALL BE REMOVED LEAVING A CLEAN AND CLEAR MASONRY OPENING. MEP AND EQUIPMENT 60. ALL EXISTING MEP ITEMS HAVE REACHED THE END OF THEIR SERVICEABLE LIFE AND SHALL

BE REMOVED UNO. MILLWORK 70. SPECIAL HISTORIC MILLWORK ITEMS TO BE RETAINED ARE KEYED ON THESE PLANS. SHOULD THE CONTRACTOR ENCOUNTER ANY SIGNIFICANT ITEMS NOT IDENTIFIED BY

THESE PLANS THEY SHALL CONTACT THE ARCHITECT PRIOR TO REMOVAL

CEILINGS 80. ALL METAL CEILINGS ARE HISTORIC. SALVAGE FOR REINSTALLATION **KEYED NOTES - DEMOLITION FLOOR PLAN** 

1. FIELD VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION, NOTIFY ARCHITECT SHOULD ANY

DISCREPANCIES ARISE. LAYOUT ONE FLOOR FOR REVIEW PRIOR TO CONSTRUCTION. 2. ALL TRADES SHALL COORDINATE THEIR WORK PRIOR TO INSTALLATION. FAILURE OF ANY TRADE TO COORDINATE THEIR WORK COULD RESULT IN THE REMOVAL AND REPLACEMENT OF SAID WORK TO ENABLE THE INSTALLATION OF WORK BY OTHER TRADES. THE COST OF REMOVAL AND REPLACEMENT OF SAID WORK DUE TO LACK OF COORDINATION SHALL BE THE RESPONSIBILITY OF THE SUBCONTRACTOR LACKING PROPER COORDINATION. 2a. COORDINATE ALL MECHANICAL CHASE SIZES WITH MECHANICAL CONTRACTOR.

2b. COORDINATE WITH MECHANICAL AND ELECTRICAL CONTRACTORS THE SIZE AND LOCATION OF EQUIPMENT PADS SHOWN ON PLANS. 3. ALL NEW MECHANICAL CLOSETS TO HAVE INSIDE DIMENSIONS OF 3'-6" WIDE X 3'-0" DEEP

**GENERAL NOTES - PROPOSED FLOOR PLAN** 

4. ALL NEW CLOSETS DEDICATED SOLELY FOR WASHER/DRYER TO HAVE INSIDE DIMENSIONS OF 3'-0" DEEP X 3'-4" WIDE, UNO. 5. ALL CLOSETS TO BE 2'-0" CLEAR INSIDE, UNO.

6. ALL CLOSETS TO HAVE ROD AND SHELF, SEE SPEC 7. COAT EVERY INTERIOR SURFACE OF MECHANICAL CLOSETS IN UNITS WITH INTUMESCENT PAINT, SEE SPEC.

8. COORDINATE W/ ARCHITECT & GC ON RELOCATION OF MILLWORK AND SALVAGED CASEWORK/FURNITURE. RETURN ALL SALVAGED ITEMS TO OWNER. 9. SEE ALSO GENERAL NOTES ON G1.0

FLOOR STRUCTURE PRIOR TO MAKING FLOOR PENETRATIONS.

10. SEE FLOOR PLANS FOR ARCHITECTURAL FINISH FLOOR ELEVATIONS AND CORRESPONDING CIVIL FLOOR PLAN ELEVATIONS. CONTRACTOR TO FIELD VERIFY. 11. COORDINATE LOCATION OF NEW PLUMBING WALLS AND NEW EXHAUST CAVITIES W/ EXISTING

12. PROTECT WOOD FLOORS THROUGHOUT CONSTRUCTION TO PREVENT SCRATCHES AND 13. CONCRETE SUBCONTRACTOR RESPONSIBLE FOR INFILL AND SLAB REPAIR AT ALL NEW PLUMBING TRENCHES FOR SEWER PIPING

14. STRUCTURAL STOOPS TO EXTEND ONE FOOT PAST JAMBS OF ASSOCIATED FRAMES ON BOTH SIDES, TYP. FOR DEPTHS, SEE STRUCTURAL AND CIVIL DRAWINGS. 20. AT NEW CONSTRUCTION, DIMENSIONS ARE ACTUAL AND ARE TO FACE OF STUD. FACE OF MASONRY WALLS, FACE OF CMU WALLS, FACE OF FRAMES, OR CENTERLINE OF COLUMNS,

UNO. AT EXISTING CONSTRUCTION, DIMENSIONS ARE TO FACE OF FINISHED SURFACE, UNO. 21. SEAL ALL PENETRATIONS THROUGH WALLS. 22. ALL EXISTING PLASTER WALLS TO REMAIN UNO: PREP FOR NEW PAINT. WHERE PLASTER IS UNSOUND AT WALLS AND EXCEEDS OVER 70% OF THE WALL SURFACE, IT IS TO BE REMOVED

AND REPLACED WITH WALL TYPE L1. AT ALL OTHER LOCATIONS, REPAIR PER SPEC 23. THE TRIM AND CABINET SUBCONTRACTOR SHALL PROVIDE AND INSTALL WOOD BLOCKING IN METAL STUD WALLS FOR THE ANCHORING OF ALL WALL-ATTACHED ITEMS INCLUDING TOILET ACCESSORIES, MILLWORK, WALL-MOUNTED FIXTURES, ETC. 24. ALL OUTLETS, SWITCHES, ELECTRICAL BOXES, CABINETS, ETC. TO BE SET BY A LASER LEVEL

AND NOT BY MEASURING OFF THE EXISTING FLOOR (WHICH COULD BE UNLEVEL). COORD. HTS OF ELECTRICAL ITEMS W/ ANY ADJ CABINETRY BEFORE INSTALLATION. 25. CONFIRM ALL SURFACE PREP REQUIREMENTS FOR INTERIOR FINISHES 26. ALL NEW CORRIDOR WALLS TO RECEIVE HIGH IMPACT DRYWALL AT THE LOWER 4' OF THE

WALL 28. ALL REFRIGERATORS TO BE SET IN ALCOVES UNO - SEE A5.1

40. DIMENSIONS FOR DOOR AND WINDOW OPENINGS ARE SHOWN NOMINAL. ALLOW FOR 1/4" SHIM AND SEALANT BOTH SIDES AT PERIMETER OF FRAMES.

42. ALL WINDOWS WITHIN UNITS SHALL RECEIVE WINDOW COVERINGS SIZED APPROPRIATELY FOR THE SIZE OF THE WINDOWS PROVIDED. BLINDS TO BE INSTALLED WITHIN THE JAMB OF THE WINDOW OPENINGS.

43. SEE A6.0 FOR SIGNAGE LOCATIONS, TYPES AND QUANTITIES. 44. ALL HINGE SIDE OF NEW DOORS ARE 4" FROM ADJACENT WALL U.N.O WINDOWS

50. SEE WINDOW DETAILS FOR SCOPE OF WORK AT EXISTING WINDOW OPENINGS. 51. WHERE WINDOWS ARE INDICATED TO BE INFILLED, PROVIDE BRICK FOR THE EXTERIOR SURFACE THAT MATCHES THE ADJACENT IN COLOR AND SIZE; INSET BRICK 1" FROM FACE OF ADJACENT MASONRY SURFACE. SPECIALITIES AND EQUIPMENT

60. PROVIDE NEW WASHER/DRYER UNITS AS INDICATED; COORD. W/MEP 61. PROVIDE WATER HEATER AND FURNACE; COORD. W/ MEP; PROVIDE DRIP PANS.

KEYED NOTES - PROPOSED FLOOR PLAN **KEYED NOTES - PROPOSED FLOOR PLAN** 

01 ALIGN WALL W/ OUTSIDE EDGE OF INTERIOR WINDOW TRIM

10 NEW RAMP; MAX SLOPE 1:12; PROVIDE PAINTED METAL HANDRAILS ON EACH SIDE

MATCH THE HISTORIC FLOORING IN-KIND. FINISH TO MATCH ADJACENT.

11 HISTORIC WOOD FLOOR TO REMAIN. LIGHTLY SAND AND SEAL. PATCH FLOORING WHERE DAMAGED

15 INFILL EXISTING FLOOR OPENING WITH MATERIAL TO MATCH ADJ; COORDINATE WITH STRUCTURAL

22 REOPEN HISTORIC MASONRY OPENING. REPAIR AS REQ'D. USING IN-KIND MATERIALS & METHODS.

24 REPAIR EXISTING PLASTER OR OVERLAY EXISTING PLASTER WALL WITH 1/2" GYP. BD. PER GENERAL

25 EXPOSED MASONRY WALL. REPAIR, CLEAN AS REQ'D. REPAINT IF PREVIOUSLY PAINTED. DO NOT

28 INFILL OPENING WITH NEW FACEBRICK THAT MATCHES THE SIZE AND SHAPE OF ADJACENT HISTORIC

26 AT UNIT SIDE INSTALL RATED WALL BEHIND TRANSOM UNITS/OPENINGS PER DETAIL P15/A0.0

30 EXISTING STAIR AND GUARDRAILS TO REMAIN FOR REUSE. STAIN AND REFINISH WOOD RAIL

32 NEW SHIPS LADDER; PROVIDE INSULATED ROOF HATCH ABOVE WITH INTEGRAL GUARDRAIL

^ 33 NEW WOOD STAIR WITH CARPET. NEW ROUND 1 1/2" O.D. WOOD STAINED HANDRAILS ON FACUSIDE OF PR-01 CTAIR

34 NEW WOOD FRAMED STAIR/LANDING. MAXIMUM RISER HEIGHT NOT TO EXCEED 7". MINIMUM TREAD

50 NEW THERMALLY BROKEN ALUMINUM SINGLE HUNG WINDOW INSTALLED WITHIN EXISTING/NEW

MASONRY OPENING. NEW PAINTED WOOD TRIM, STOOL, & APRON UNO. SEE ELEVATIONS FOR

40 EXISTING HISTORIC WOOD DOOR TO REMAIN AND BE FIXED-IN-PLACE. REMOVE AND SALVAGE DOOR

41 INSTALL SALVAGED HISTORIC WOOD DOOR WITHIN HISTORIC OPENING AND FIX-IN-PLACE. REMOVE AND

42 INSTALL SALVAGED HISTORIC WOOD DOOR WITHIN NEW PAINTED HOLLOW METAL FRAME; SAND DOWN

SALVAGE DOOR KNOB BUT KEEP HISTORIC PLATE IN PLACE. SPRAY PAINT BACK OF GLASS ON UNIT

35 NEW WOOD STAIR/LANDING FOR EGRESS DOOR, CONFIRM ELEVATION OF EXISTING BOTTOM LAYER OF

HISTORIC FLOOR WITH ALLEY ELEVATION, RISER NOT TO EXCEED 7", MINIMUM TREAD DEPTH OF 11",

23 INFILL EXISTING MASONRY OPENING WITH BRICK RECESSED 1" FROM FACE OF ADJACENT WALL

MATERIALS & METHODS. TOOTH-IN BRICK REPAIRS. SEE STRUCT. DWGS. FOR NEW LINTEL. PAINT,

20 NEW OPENING IN EXISTING/NEW MASONRY WALL. REPAIR EXISTING AS REQ"D USING IN-KIND

TOOTH-IN BRICK REPAIRS. IF EXTANT CLEAN, PREP. & REPAINT EXIST. LINTELS.

OR PARTITION WALLS HAVE BEEN REMOVED. TOOTH-IN SALVAGED PIECES OR NEW PLANKS THAT

05 CLOSET ROD AND SHELF AT 48" AFF

12 HISTORIC TILE FLOOR TO REMAIN; PROTECT

PAINT IF CURRENTLY UNPAINTED.

BRICK. TOOTH IN ALL NEW BRICK.

31 NEW ELEVATOR; SEE STRUCTURAL

13 SLOPED SIDEWALK & STRUCTURAL STOOP - SEE CIVIL

14 BUILD UP FLOOR IN THIS AREA TO MATCH ADJ FL LEVEL

21 STRUCTURAL REPAIR AT EXISTING WALL. SEE STRUCT.

16 NEW CONC SLAB-ON-GRADE; COORDINATE WITH STRUCTURAL

DEPTH OF 11", PROVIDE WALL MOUNTED WOOD HANDRAIL.

PROVIDE WALL MOUNTED WOOD HANDRAIL

KNOB BUT KEEP HISTORIC PLATE IN PLACE

43 NEW PAINTED HOLLOW METAL DOOR AND FRAME

44 NEW PAINTED INSULATED HOLLOW METAL DOOR AND FRAME

45 INSTALLTION LOCATION OF SALVAGED HISTORIC FIRE DOOR.

51 NEW ALUMINUM STOREFRONT/DOOR ON NEW 8" CONCRETE CURB.

SIDE ONLY BEFORE INSTALLING

ADDITIONAL INFORMATION.

AND PREP DOOR PRIOR TO STAINING

02 CENTER

NOTES.

STAIR / ELEVATOR / RAMPS

04 ALIGN

52 REMOVE CMU INFILL TO EXPOSED THE ORIGINAL MASONRY OPENING. PREP FOR NEW WINDOW INSTALLATION. INSTALL NEW PRECAST STONE SILL IF HISTORIC STONE SILL IS NON-EXTANT. 53 NEW THERMALLY BROKEN ALUMINUM SINGLE HUNG WINDOW INSTALLED WITHIN EXISTING MASONRY OPENING. NEW PAINTED WOOD TRIM, STOOL & APRON. IF HISTORIC STONE SILLS ARE NON-EXTANT OR

ARE DETERIORATED BEYOND REPAIR, NEW PRECAST CONCRETE WINDOW SILL TO MATCH EXIST. HISTORIC STONE SILLS. SEE ELEVATIONS.

54 NEW STRUCTURAL WITHIN STOREFRONT TO SUPPORT EXISTING LINTEL AFTER REMOVAL OF EXISTING COLUMN. 55 AT EXTERIOR EXIST. INFILLED WINDOWS TO REMAIN. AT INT. SASH & TRIM TO BE REMOVED. WINDOW TO

BE INFILLED W/ MET. STUD & GYP. BD. FACE OF GYP. BD. TO ALIGN W/ FACE OF EXIST. WALL TO PROVIDE SMOOTH WALL SURFACE. 56 AT EXTERIOR, EXIST. INFILLED WINDOWS TO REMAIN. AT INT. WINDOW POCKET & TRIM TO BE LEFT IN

57 NEW THERMALLY BROKEN FIBERGLASS WINDOW INSTALLED WITHIN EXISTING MASONRY OPENING. SEE SHEET A6.7 FOR SIZE AND DETAILS. NEW PAINTED WOOD TRIM, STOOL & APRON. ALL WINDOWS TO RECIEVE NEW ALUMINUM BRAKE METAL SILLS. SEE ELEVATIONS. SPECIALTIES / EQUIPMENT

60 FIRE EXTINGUISHER BOTTLE

61 FIRE EXTINGUISHER CABINET 63 NEW POST MOUNTED MAILBOX CLUSTERS

PLACE BEHIND NEW WALL FURRING.

64 WASHER/DRYER SEE FINISH SCHEDULE ON SHEET A9.1 65 EXTERIOR CANOPY - SEE EXTERIOR BUILDING ELEVATIONS 66 METAL STORAGE SHELF, 36" W x 84" H x 12" D; SEE SPEC

HISTORIC 90 SALVAGE AND REINSTALL EXISTING WOOD TRIM TO ACCOMODATE NEW CONSTRUCTION. CLEAN AND REPAIR USING IN-KIND MATERIALS AND METHODS. REPAINT IF PREVIOUSLY PAINTED; LIGHTLY SAND

AND SEAL IF UNPAINTED 91 PROTECT & MAINTAIN EXISTING WOOD TRIM TO ACCOMODATE NEW CONSTRUCTION. CLEAN AND REPAIR USING IN-KIND MATERIALS AND METHODS. REPAINT IF PREVIOUSLY PAINTED; LIGHTLY SAND

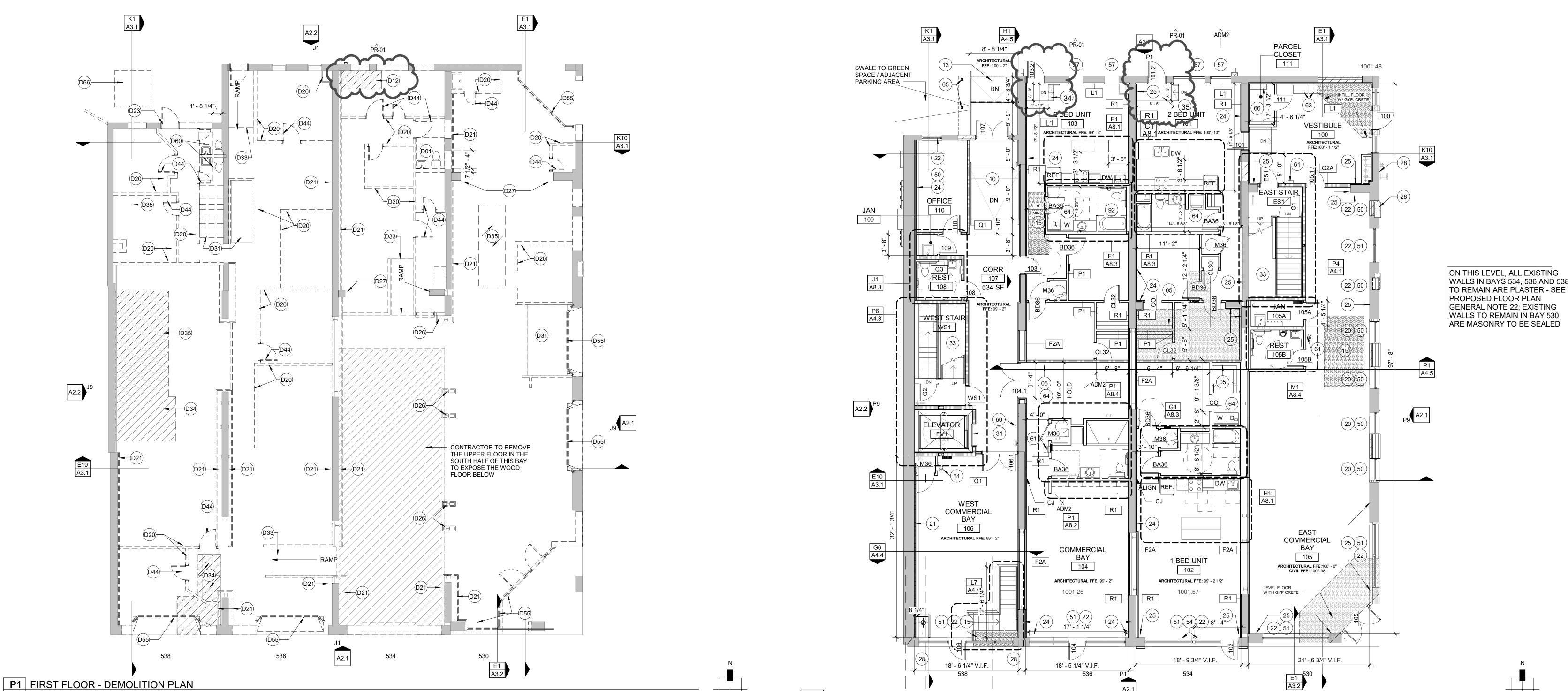
AND SEAL IF UNPAINTED. 92 ALTERNATE LOCATION FOR SALVAGED CLAW FOOT OR BUILT-IN TUB. CLEAN AND REFINISH TO A LIKE NEW CONDITION.

93 ALTERNATE LOCATION FOR SALVAGED 30" WIDE HISTORIC SINK. CLEAN AND REFINISH TO A LIKE NEW CONDITION.

94 ALTERNATE LOCATION FOR SALVAGED 24" WIDE HISTORIC SINK. CLEAN AND REFINISH TO A LIKE NEW CONDITION.

530 W BROADWAY

COUNCIL BLUFFS, IA 51503



ALLEY POYNER MACCHIETTO ARCHITECTURE

> CONSTRUCTION **DOCUMENTS**

Addendum No. 2 Pricing Request No.1 06/29/2021

> PROJECT NUMBER: 19029 DATE: March 16, 2021

COPYRIGHT © 2021 **DEMOLITION & PROPOSED - FIRST** 

\_\_FLOOR\_

**A1.1** ASCALE: 1/8" = 1'-0"

P10 FIRST FLOOR - FLOOR PLAN A1.1 ASCALE: 1/8" = 1'-0"

### **GENERAL NOTES - ELEVATION** COORDINATE ALL DEMOLITION / PHASING EFFORTS WITH THE ARCHITECT, ENGINEER AND OWNER'S REPRESENTATIVE. ITEMS TO BE DEMOLISHED ARE SHOWN GRAPHICALLY WITH DASHED LINES. EXISTING ITEMS TO REMAIN ARE SHOWN IN HALF-TONE. NOT ALL AREAS TO BE REPAIRED ARE ILLUSTRATED ON THESE DRAWINGS. THESE DRAWINGS ILLUSTRATE TYPICAL CONDITIONS TO BE REPAIRED. CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS, BUILDING ELEMENTS, AND PROPOSED WORK WITH EXISTING CONDITIONS; NOTIFY ARCHITECT SHOULD ANY DISCREPANCIES ARISE. REMOVE ALL DEMOLITION MATERIALS FROM THE SITE UNO. THE OWNER SHALL RESERVE THE RIGHT TO SALVAGE MATERIALS. PROVIDE PROTECTION FOR ALL EXISTING BUILDING MATERIALS AND EQUIPMENT FROM DAMAGE DUE TO ANY DEMOLITION OR CONSTRUCTION-RELATED INCIDENT PERFORMED UNDER THIS CONTRACT. THE CONTRACTOR SHALL COORDINATE WITH THE ARCHITECT / ENGINEER ANY MATERIALS TO BE REUSED AND WILL BE RESPONSIBLE FOR VERIFYING AND MAINTAINING THE FUNCTIONAL AND AESTHETIC INTEGRITY OF THE MATERIALS. THE CONTRACTOR SHALL SHORE AS REQ'D. ANY AREAS AFFECTED OR COMPROMISED BY DEMOLITION ACTIVITIES. DEMOLITION CONTRACTOR SHALL COORDINATE WITH STRUCTURAL ENGINEERS PRIOR TO DEMOLITION OF ANY STRUCTURAL COMPONENTS.

- 10. GC TO HOLD AN ALLOWANCE FOR REPOINTING AND BRICK REPLACEMENT ON THE SOUTH AND EAST FACADES. 11. GC TO HOLD ALLOWANCE FOR SPRAY FOAM REPAIR ON THE WEST ELEVATION. 12. THIS BUILDING TO HAVE MASONRY REPAIR AS OUTLINED IN THE SPECIFICATION. PRIORITIZE WORK AS FOLLOWS:
- A. ENSURE WEATHERTIGHT CAP STONE B. STRUCTURAL CRACK REPAIRS C. UNUSED ANCHOR AND CONDUIT REMOVAL D. REPOINTING E. REPLACEMENT OF CRACKED AND DAMAGED BRICK, INCLUDING THOSE WITH SPALLS GREATER THAN A QUARTER IN DIAMETER OR DEEPER THAN 1/4"
- F. ALL MASONRY TO BE PREPPED AND REPAINTED WITH BREATHABLE PAINT -SEE SPEC FOR PROCEDURE 13. CLEANING OF MASONRY SHALL OCCUR AFTER ALL REPAIRS TO STONE AND BRICK ELEMENTS ARE COMPLETE 14. BRICK AND STONE MASONRY JOINTS TO BE REPOINTED PER SPEC AND PER CONTRACT WHERE MORTAR IS DAMAGED / MISSING. NEW MORTAR SHALL MATCH
- HISTORIC MORTAR IN HARDNESS, COLOR AND CONSISTENCY. 15. REMOVE ANY MISC ANCHORAGES, UNUSED CONDUIT, DUCTWORK AND PIPING, ETC ON THE BUILDING. 16. REMOVE BROKEN OR MISSING BRICKS AND PATCH MASONRY TO MATCH ADJACENT HISTORIC BRICK IN SIZE & TEXTURE. TOOTH IN BRICKS WHERE

REQUIRED. PRIORITIZE USE OF SALVAGED HISTORIC BRICK.

. SEE WINDOW TYPES SHEETS FOR WORK AT EACH EXTERIOR WINDOW AND SEE DOOR SCHEDULE FOR NEW DOOR TYPES AND DETAIL PREFERENCES. A. UON ALL EXISTING WINDOW UNITS TO BE REMOVED TO PROVIDE CLEAR MASONRY OPENING. B. EXTERIOR SILLS (AND DECORATIVE HEADS WHERE EXISTING) TO REMAIN AND DO3 BE PROTECTED. WHERE CRACKS IN THE STONE SILLS COMPROMISE THE

INTEGRITY OF THE UNIT, THOSE SILLS TO BE REMOVED AND REPLACED IN

ADDITION, PROVIDE NEW SELLS WHERE MASONRY OPENINGS ARE TO BE

LOWERED TO ORIGINAL DIMENSIONS IN ACCORDANCE WITH PREVIOUS

- GUIDELINES. NEW ARCHITECTURAL CAST STONE SILLS TO MATCH THE HISTORIC UNITS IN SIZE, PROFILE AND COLOR. INTERIOR SILLS, APRONS AND CASING ARE MISSING. PROVIDE NEW AT EACH LOCATION.
- D. UON ALL EXISTING EXTERIOR DOORS AND FRAMES TO BE REMOVED TO PROVIDE A CLEAN AND CLEAR MASONRY OPENING. WINDOWS ON THE SOUTH & EAST FACADES TO BE THERMALLY BROKEN, ALUMINUM UNITS WITH A FACTORY APPLIED PAINTED FINISH. WINDOWS TO HAVE INSULATED GLASS WITH A VLT OF 70% OR GREATER. SEE KEYED NOTES ON PROPOSED ELEVATIONS & PROJECT SPECIFICATIONS FOR FURTHER
- INFORMATION. WINDOWS ON THE NORTH FACADE TO BE FIBERGLASS UNITS WITH INSULATED D23 GLASS. SEE KEYED NOTES ON PROPOSED ELEVATIONS & PROJECT SPECIFICATIONS FOR FURTHER INFORMATION. 18. PREP & REPAINT ALL EXPOSED STEEL AND CAST IRON LINTELS AT HEAD OF
- WINDOW / DOOR OPENINGS. REMOVE SEALANT AT JOINT BETWEEN STEEL LINTEL AND BRICK DIRECTLY ABOVE. APPLY NEW SEALANT AS A PART OF THIS WORK. PAINT COLORS TO MATCH NEW WINDOW/DOOR COLOR.
- STUCCO

  19. SCOPE OF WORK INCLUDES EXISTING STUCCO REPAIR AT THE NORTH FACADES OF WINDOWS EACH BUILDING AND THE WEST FACADE OF THE 530 BUILDING. NEW STUCCO INSTALLATION AT LOWER NORTH FACADE OF THE 530 BUILDING. 20. THIS BUILDING TO HAVE STUCCO REPAIR AS OUTLINED IN THE SPECIFICATION. 21. PRIORITIZE WORK AS FOLLOWS:

A. ENSURE WATERTIGHT FAÇADE. THIS INCLUDES PROPER FLASHING AT ROOF

- EDGE AND AROUND ALL WINDOWS AND DOORS. STRUCTURAL CRACK REPAIRS. MISC. ANCHORAGES, UNUSED ANCHOR AND CONDUIT, ETC. REMOVAL.
- REMOVE CRACKED, DAMAGED, DELAMINATED OR UNSOUND STUCCO. PROPERLY CLEAN AND PREPARE SUBSTRATE. APPLY NEW STUCCO ACCORDING TO MANUFACTURER SPECIFICATIONS. G. REPAINT
- 22. SMALL HAIRLINE CRACKS CAN BE SEALED WITH A THIN SLURRY COAT. DO NOT USE CAULKING COMPOUNDS. 23. REMOVE DAMAGED STUCCO DOWN TO MASONRY SUBSTRATE WITHOUT DAMAGING SUBSTRATE. RAKE MORTAR JOINTS TO ENSURE A GOOD BOND

24. NEW STUCCO TO MATCH THE EXISTING IN STRENGTH, COMPOSITION AND

BETWEEN SUBSTRATE AND NEW STUCCO.

TEXTURE.

- **KEYED NOTES DEMOLITION EXTERIOR ELEVATION**
- REMOVE EXISTING FACE BRICK BAND ASSOCIATED CMU BACKUP. METAL TIES, ANGLE IRON, MISC. ANCHORAGE, SIGNAGE & LIGHTING. PROTECT & MAINTAIN EXIST. HISTORIC MASONRY BEHIND FOR RESTORATION. REMOVE METAL SECURITY BARS
- REMOVE EXIST. STUCCO. NOTIFY ARCHITECT OF MATERIALS BENEATH. REMOVE ANY NON-HISTORIC MASONRY FOUND BEHIND THE FACADE TO THE HISTORIC STEEL LINTEL / M.O. EXTENTS REMOVE EXISTING CONDUCTOR HEAD AND DOWNSPOUT REMOVE EXISTING DOWNSPOUT D06
- MASONRY REMOVE EXISTING MASONRY INFILL TO RESTORE AND REOPEN HISTORIC EXISTING BRICK INFILL WITHIN EXISTING MASONRY OPENING TO REMAIN. IF INFILL IS A MATERIAL OTHER THAN BRICK THAT MATCHES HISTORIC MASONRY, REMOVE TAKING CARE TO PROTECT EXIST. HISTORIC BRICK AT JAMBS. REMOVE STEEL LINTEL IF EXTANT.

REMOVE EXISTING GUTTER

D07

- REMOVE LOOSE STUCCO, PREPARE FOR REPAIR. REMOVE EXISTING MASONRY IN PREPARATION FOR A NEW OPENING. SEE STRUCT. NOT USED
- REMOVE FURRING CHANNELS & PLASTER/STUCCO FINISH. PROTECT & MAINTAIN EXIST. HISTORIC MASONRY BEHIND FOR RESTORATION. **DOORS**
- REMOVE EXISTING ALUMINUM DOOR, FRAME & TRANSOM ABOVE REMOVE EXISTING DOOR(S) AND FRAME. D50 REMOVE EXISTING NON-HISTORIC WINDOWS

REMOVE EXIST. STOREFRONT

REMOVE EXTERIOR LIGHT FIXTURE

EXISTING DUMPSTER TO BE REMOVED

COMPONENTS

NOT USED REMOVE EXISTING STOREFRONT, INCLUDING BRICK KNEE WALL & D53 PLASTER/STUCCO SOFFIT SPECIALTIES & EQUIPMENT REMOVE ABANDONED MECHANICAL EQUIPMENT AND ASSOCIATED

- **KEYED NOTES PROPOSED ELEVATION**
- GENERAL 01 REPAIR EXISTING STUCCO AS REQ'D. PAINT. REPAIR GUNITE WITH LIKE MATERIAL WHERE CRACKED OR UNSOUND AND
- PREFIN METAL THRU WALL SCUPPER, CONDUCTOR HEAD, AND DOWNSPOUT PREFIN METAL GUTTER. PREFIN METAL DOWNSPOUT.
- 20 IF INFILL IS A MATERIAL OTHER THAN BRICK THAN MATCHES HISTORIC MASONRY, INSTALL NEW BRICK THAT MATCHES HISTORIC MASONRY IN PATTERN AND DETAILING. WHERE DAMAGED OR UNSTABLE BRICKS ARE
- REMOVED TOOTH IN NEW BRICKS TO MATCH ADJACENT HISTORIC BRICK IN SIZE & TEXTURE. REPAIR EXISTING BRICK AS REQ'D USING IN-KIND MATERIALS & METHODS WHERE MODERN BRICK BAND & STUCCO/PLASTER HAVE BEEN REMOVED. NEW BRICK CORBEL. SEE DTL P14/A3.2
- REPAIR, CLEAN & PREP PAINTED BRICK FOR NEW PAINT. NEW ARCHITECTURAL CAST STONE WINDOW SILL TO MATCH EXIST. HISTORIC STONE SILLS.
- EXIST. STONE WINDOW SILL. CLEAN & REPAIR AS REQ'D. IF HISTORIC STONE SILL IS DETERIORATED BEYOND REPAIR, INSTALL NEW ARCHITECTURAL CAST
- STONE WINDOW SILL TO MATCH EXIST. NEW BRICK ROWLOCK SILL
- NEW BRICK INFILL TO MATCH HISTORIC. INFILL TO MATCH NON-HISTORIC CONSTRUCTION SPRAY FOAM REPAIR AS REQ'D. PAINT.
- DOORS 40 NEW HOLLOW METAL DOOR & FRAME.
- 41 NEW PREFINISHED ALUMINUM DOOR & TRANSOM IF INDICATED. WINDOWS NEW THERMALLY BROKEN, PAINTED ALUMINUM SINGLE HUNG WINDOW INSTALLED WITHIN EXISTING MASONRY OPENING. GLAZING STOPS TO BE BEVELED ON THE EXTERIOR. INSULATED GLASS TO HAVE A VLT OF 70% OR GREATER. NEW PAINTED WOOD STOOL & APRON. 51 NEW PAINTED ALUMINUM STOREFRONT & TRANSOM ON NEW 8" CONCRETE

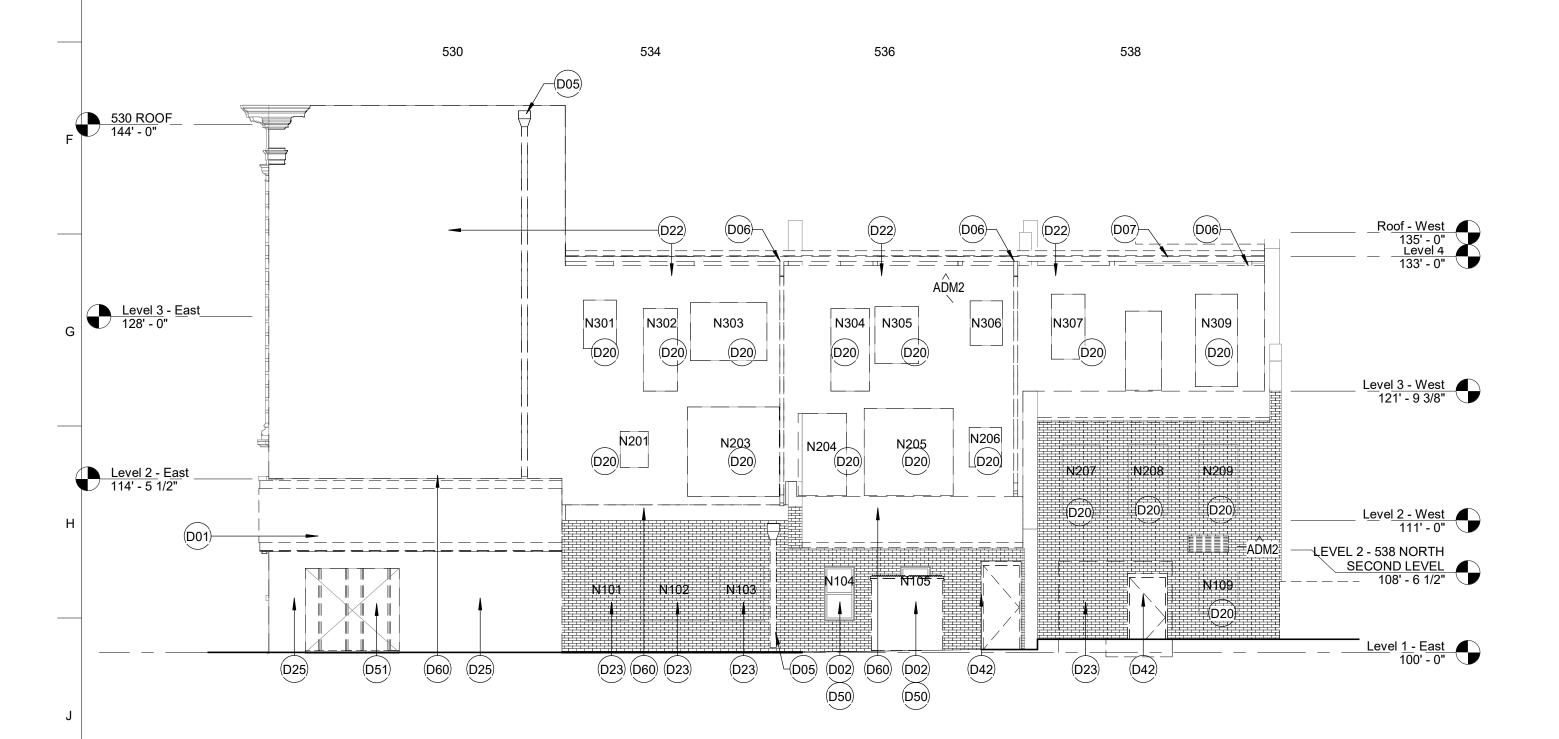
- KEYED NOTES PROPOSED ELEVATION
- NEW SPANDREL PANEL TO MATCH ALUMINUM WINDOW FRAME. NEW THERMALLY BROKEN, PAINTED ALUMINUM SINGLE HUNG WINDOW INSTALLED WITHIN A REOPENED MASONRY OPENING. GLAZING STOPS TO BE BEVELED ON THE EXTERIOR. INSULATED GLASS TO HAVE A VLT OF 70% OR GREATER. REPAIR JAMBS AS REQ'D. USING IN-KIND MATERIALS & METHODS.
- NEW PAINTED WOOD STOOL & APRON UON. NEW ALUMINUM STOREFRONT & TRANSOM. SEE DETAILS.
- PREFINISHED ALUMINUM WINDOW SILL TO MATCH NEW WINDOWS. NEW FIBERGLASS SINGLE HUNG WINDOW. AT INTERIOR, NEW PAINTED WOOD STOOL, TRIM AND APRON, UON. AT EXTERIOR, NEW METAL SILL FLASHING. SEE
- SPECIALITIES AND EQUIPMENT
- NEW METER CENTER NEW EXTERIOR LIGHTS
- NEW TRANSFORMER NEW 10'-9" WIDE CANOPY TO MATCH LENGTH OF NEW STOOP & RAMP. BASIS OF DESIGN: MASA ARCHITECTURAL EXTRUDECK SERIES CANOPY. FASCIA -INDUSTRIAL LIGHT DROP. DECKING - FLAT SOFFIT. DRAINAGE - DIVERTER PLATE & DOWNSPOUNT TIED TO BUILDING DOWNSPOUT ON EAST SIDE OF CANOPY. THRU BOLT CONNECTION WITH COMPRESSIVE SLEEVE TO EXIST MASONRY WALLS ON EAST & SOUTH. TWO 4"X4" POSTS ON WEST.
- HISTORIC 90 REPAIR DECORATIVE METAL USING IN-KIND MATERIALS & METHODS.



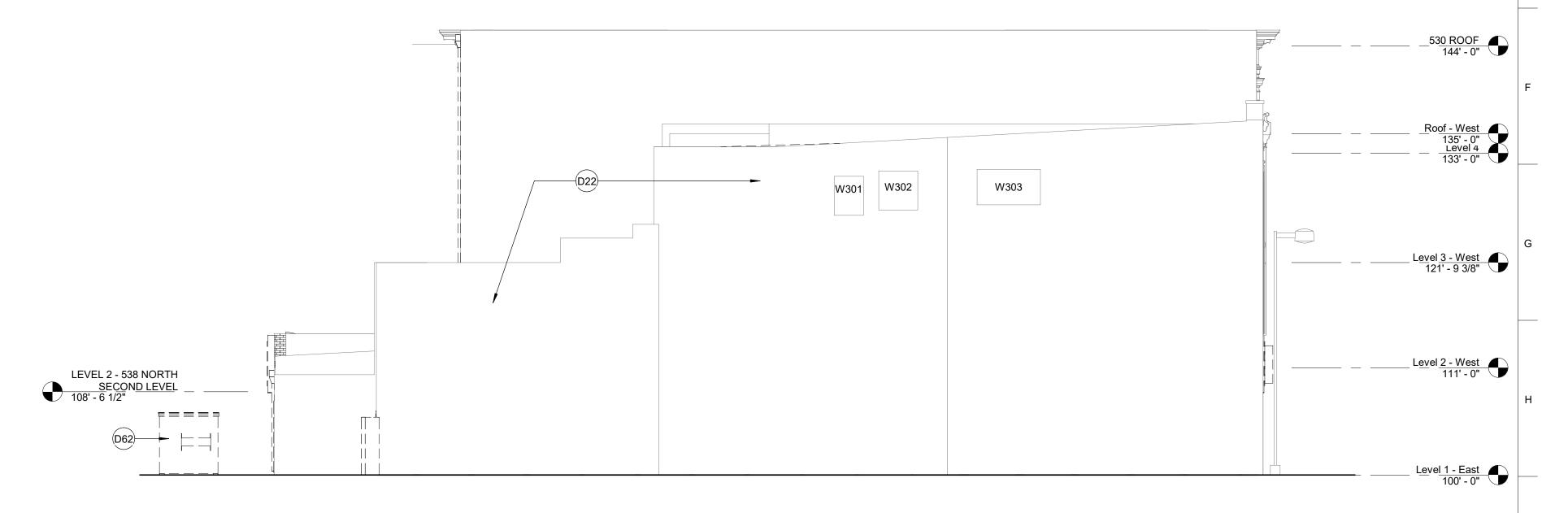
PHOTOGRAPHIC REFERENCE **NECCESSARY STUCCO REPAIR** 

NORTH FACADE LOOKING SOUTHEAST

- NEW ROOF ACCESS LADDER



J1 DEMOLITION NORTH ELEVATION A2.2 SCALE: 1/8" = 1'-0"



J9 DEMOLITION WEST ELEVATION
A2.2 SCALE: 1/8" = 1'-0"



530 W Broadway

COUNCIL BLUFFS, IA 51503

530 W BROADWAY

CONSTRUCTION **DOCUMENTS** 

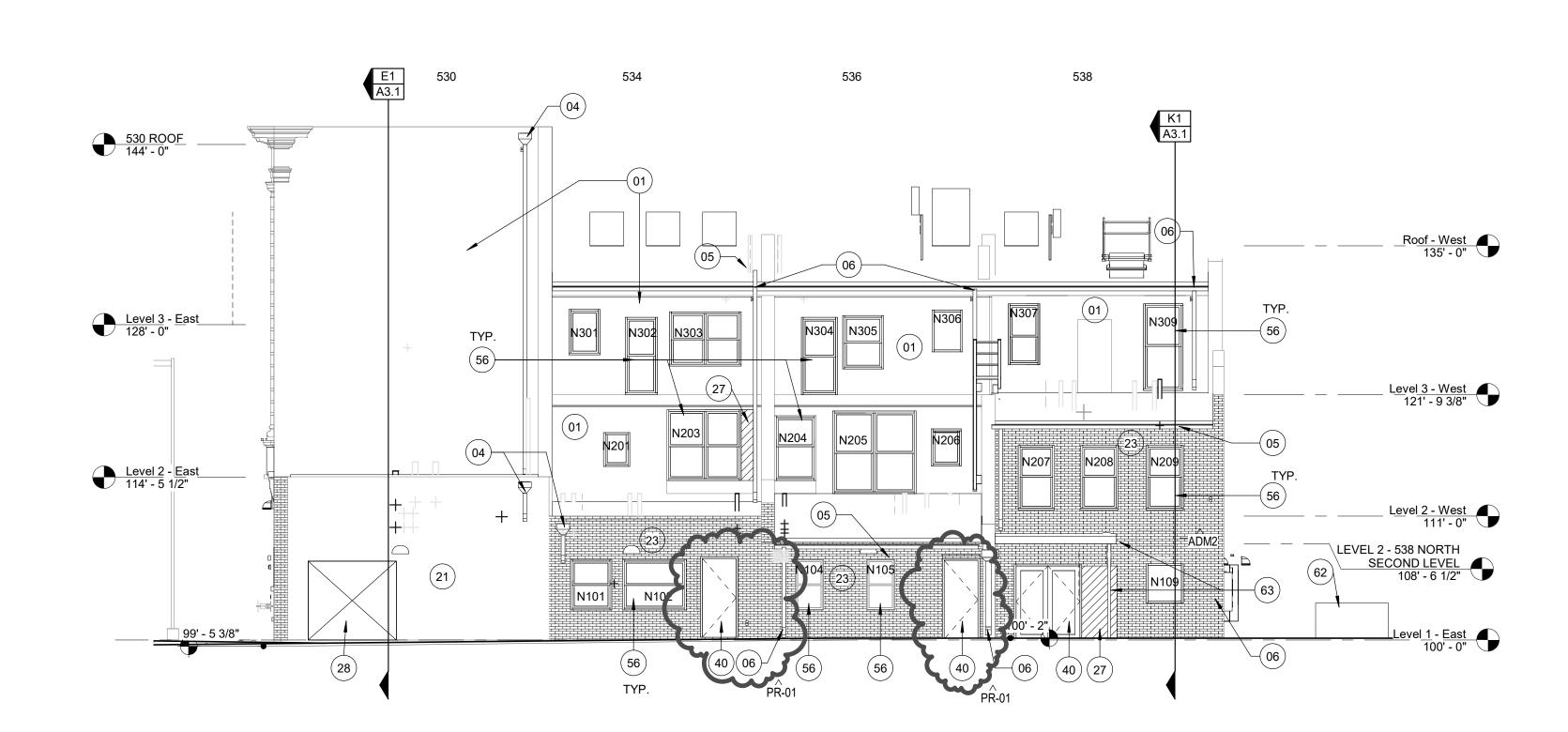
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**EXTERIOR ELEVATIONS -**\_SECONDARY FACADES-

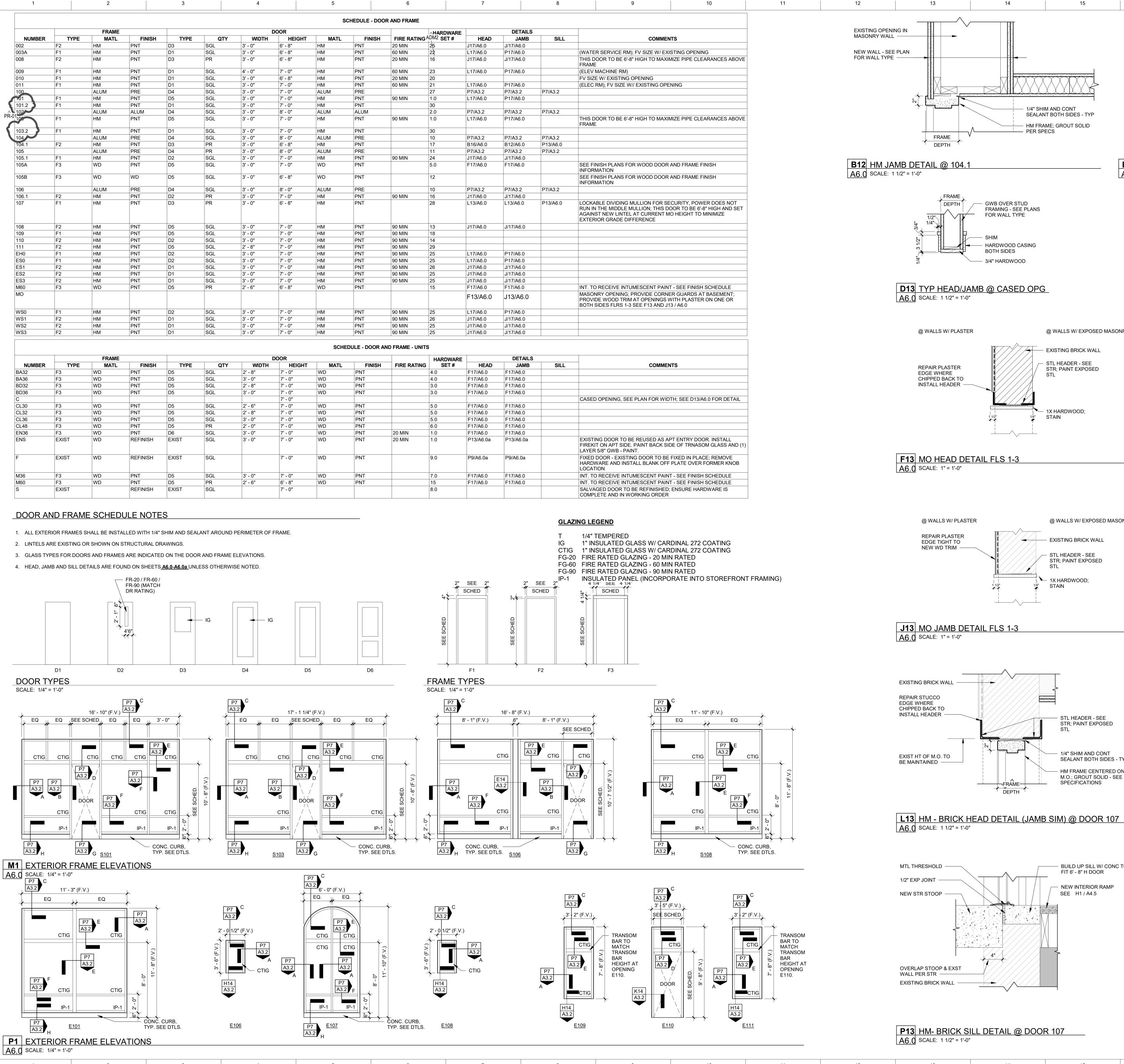
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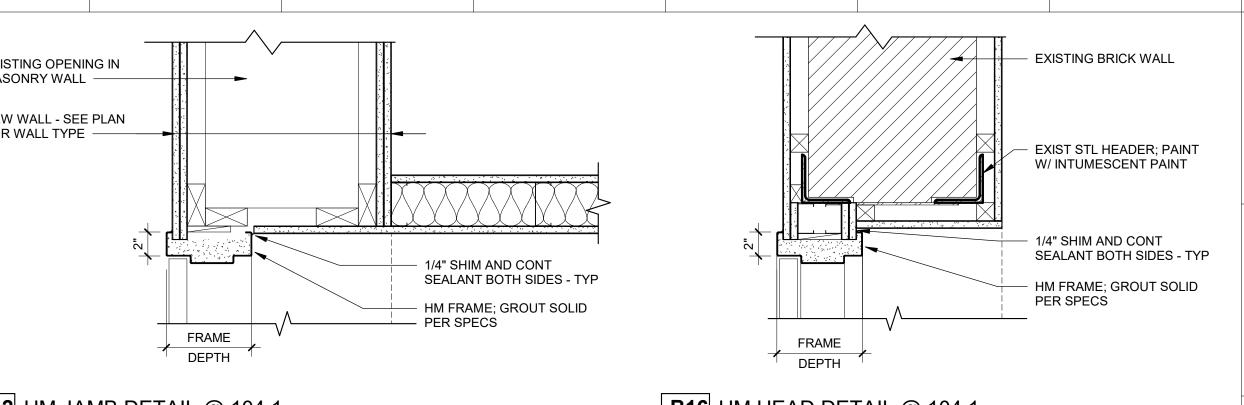


 NEW ELEVATOR PENTHOUSE;
 SEE DETAIL ON SHEET A5.0 <del>-</del> (02) ------NEW ROOF ACCESS **NEW ROOFTOP** HATCH WITH INTEGRAL MECHANICAL UNITS — GUARDRAIL Roof - West 135' - 0" W302 · W303 W301 - M.O. TO REMAIN CLAD IN STUCCO Level <u>3 - West</u> 121' - 9 3/8" TYP THIS FACADE Level 2 - West 111' - 0" LEVEL 2 - 538 NORTH
SECOND LEVEL
108' - 6 1/2"

P9 PROPOSED WEST ELEVATION
A2.2 SCALE: 1/8" = 1'-0"

P1 PROPOSED - NORTH ELEVATION A2.2 SCALE: 1/8" = 1'-0"





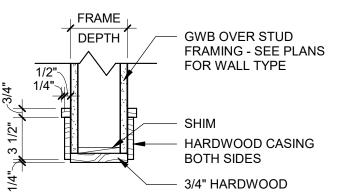
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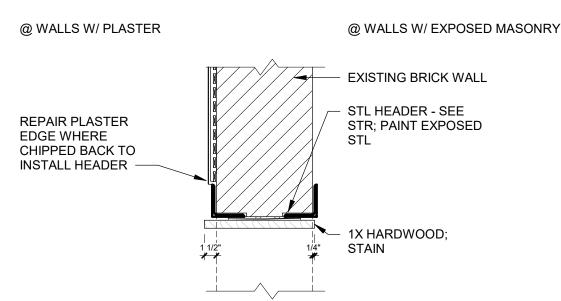
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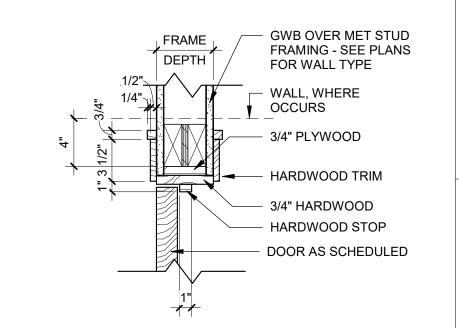
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**B16** HM HEAD DETAIL @ 104.1 A6.0 SCALE: 1 1/2" = 1'-0"



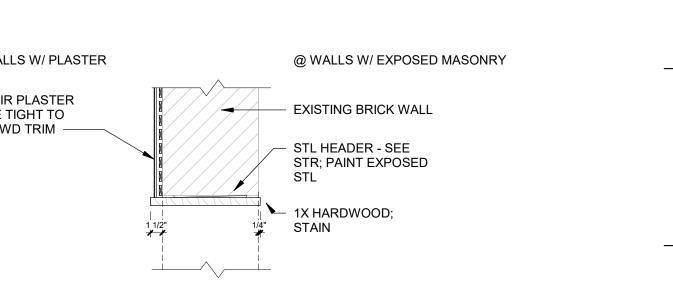
# **D13** TYP HEAD/JAMB @ CASED OPG A6.0 SCALE: 1 1/2" = 1'-0"

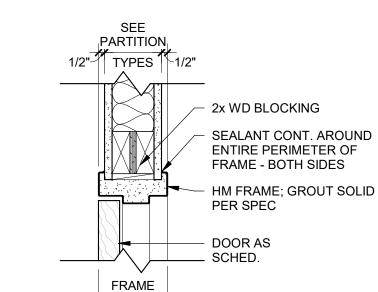




F17 TYP DOOR HEAD/JAMB DETAIL @ APTS

**F13** MO HEAD DETAIL FLS 1-3 A6.0 SCALE: 1" = 1'-0"

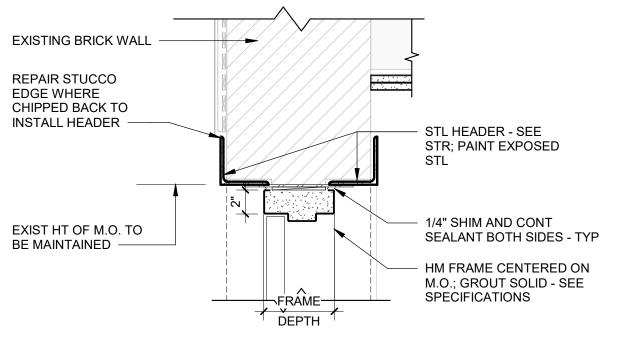


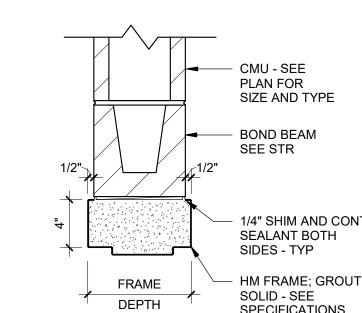


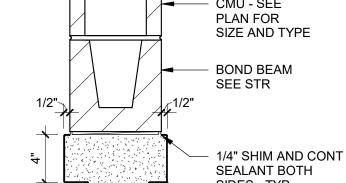
A6.0 SCALE: 1 1/2" = 1'-0"



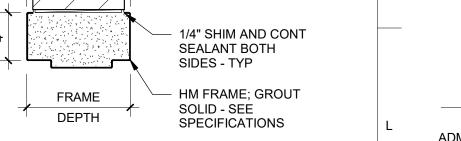
DEPTH

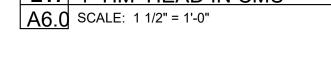


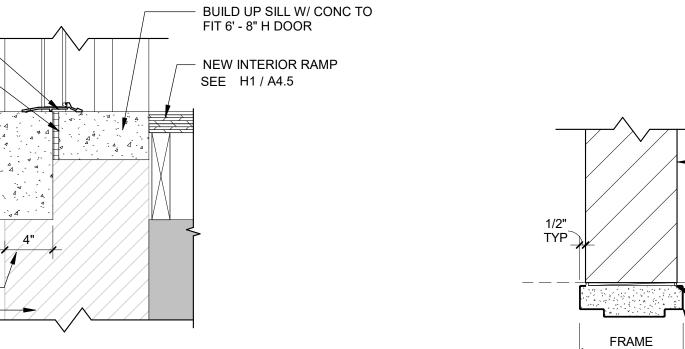


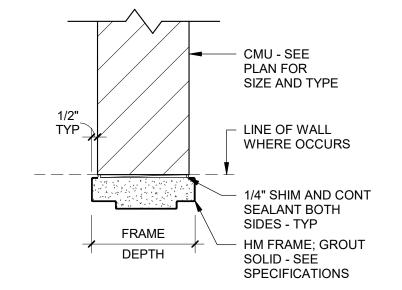


L17 4" HM HEAD IN CMU

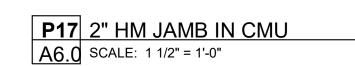








- BRICK SILL DETAIL @ DOOR 107	
F· 1 1/2" = 1'-0"	



 $\triangle$  REVISION PROJECT NUMBER: 19029 DATE: March 16, 2021 COPYRIGHT© 2021 ALLEY POYNER MACCHIETTO ARCHITECTURE, INCORPORATED DOOR AND FRAME SCHEDULE

ALLEY POYNER

MACCHIETTO

ARCHITECTURE

CONSTRUCTION

**DOCUMENTS** 

Addendum No. 2

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04/21/2021

